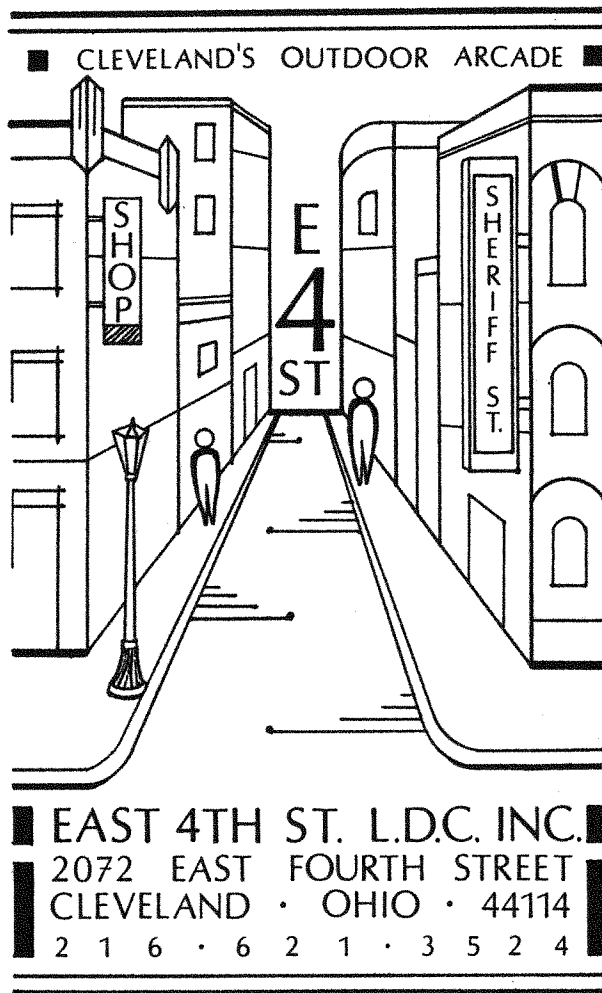


# EAST FOURTH STREET DISTRICT

## URBAN DESIGN GUIDELINES



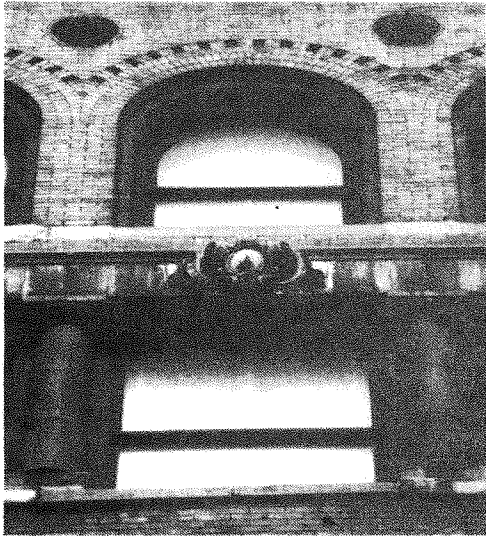
EAST FOURTH STREET

LOCAL DEVELOPMENT CORPORATION INC.

GAEDE SERNE ZOCIN ARCHITECTS INC.  
820 SUPERIOR AVE. NW. CLEVELAND, OHIO 44113

 ARCHITECTURE  
URBAN DESIGN  
HISTORIC PRESERVATION  
INTERIOR DESIGN

216-241-3339



Window Detail,  
Commercial Building (#7),

## **EAST 4th STREET STUDY**

**EAST 4th STREET LOCAL DEVELOPMENT CORPORATION INC.  
2072 EAST 4th STREET  
CLEVELAND, OHIO 44115**

The East 4th Street Merchants Association and East 4th Street property owners joined together to form the East 4th Street Local Development Corporation Inc. on August 26, 1988.

The purposes for which the corporation has been formed are:

To exercise, promote and protect the privileges and interests of the community in and about East 4th Street and to foster a healthy interest in the civic affairs of the community.

To encourage and promote the development, re-development and restoration/preservation of the neighborhood and community in and about East 4th Street.

We would like to thank everyone who has participated and those who, through these guidelines, will participate in the future growth of East 4th Street "A Cleveland Local Historic District".

Sincerely,

**Robert Zimmer**  
President, E. 4th LDC Inc.

GAEDE SERNE ZOF CIN  
ARCHITECTS  
INC.



820 Superior Ave., N.W. Suite 100 Cleveland, Ohio 44113

Robert C. Gaede, FAIA  
Dale R. Serne, AIA  
Bernard Zofcin, AIA

11 April 1989

Mr. Robert Zimmer  
East 4th Street L.D.C., Inc.  
2072 East 4th Street  
Cleveland, Ohio 44113

Re: Urban Design Guidelines  
East 4th Street District  
Cleveland, Ohio

Dear Mr. Zimmer:

This report is presented to the East 4th Street Local Development Corporation as a guide for monitoring architectural and physical change within the East 4th Street District.

The report represents the culmination of a lengthy period of intense investigation into the urban design, architectural, and behavioral issues exhibited in this unique precinct of downtown Cleveland.

The existing pedestrian and retail patterns within the District are very interesting and occur, successfully, every day. This report emphasizes strengthening and reinforcing these patterns of behavior by introducing subtle modifications to the existing conditions which can be to the mutual benefit of property owners, merchants and municipal departments.

Because the East 4th Street District is so diverse, the urban design guidelines presented herein should be interpreted with flexibility and latitude. This is distinct from the conventional historic district approach, which is to standardize and prohibit specific physical changes.

We trust that these urban design guidelines will be of use to the East 4th Street L.D.C., Inc. in their efforts to strengthen and improve this exciting District.

Sincerely,

  
Robert C. Gaede, FAIA

  
Wm. E. Samstag, Project Manager

WES/dsg: 1229  
Encl.



City of Cleveland  
 GEORGE V. VOINOVICH, MAYOR



ROOM 28 • CITY HALL  
 601 LAKESIDE AVENUE  
 CLEVELAND, OHIO 44114  
 (216) 664-2531

CLEVELAND LANDMARKS COMMISSION  
 JOHN D. CIMPERMAN  
 DIRECTOR

This study is an important step in the long term preservation and restoration efforts for one of Cleveland's most intact historic districts. East 4th Street is a diverse group of buildings representing commercial architectural styles dating from 1875 to 1925. The predominance of buildings of what is often called the "Chicago style" and related commercial styles gives East 4th Street a very urban feeling. The use of the Chicago commercial window style and design was characteristic of Cleveland in the late 19th and early 20th century.

The narrow canyon of historic buildings makes East 4th Street an interesting pedestrian street. However, the automobile plays a very large role in providing the urban feeling. The buildings, the pedestrians, and the automobile all play a role in the character of East 4th Street.

A number of long established Cleveland businesses began on East 4th Street when it was known as Sheriff Street. They include Bergman Jewelers (1893), oldest and largest pawn brokerage house in Ohio; the Bonfoey Company (1894), picture framers; and William Krause, theatrical costumers who moved to the street in 1883. In addition, a number of restaurants and cafes were established on Fourth Street to serve the theatrical trade.

The Rathskellar, a popular dinner restaurant that opened in the 1890's is still in business today. A trip to Otto Moser's will take you back to the 1890's when the theater trade frequented that restaurant. The autograph photos that grace the walls provide the images of the growing Cleveland theatrical trade of the late 19th and early 20th century. The entrance of the Euclid Avenue Opera House that opened in 1875, Cleveland's most famous theater of its time, had its main entrance on Sheriff Street (East 4th).

East 4th Street from Euclid to Prospect is a designated Cleveland landmark district and an area listed on the National Register of Historic Places of the National Park Service. The National Register nomination form identifies the district in its statement of significance in this way: "The characteristics of East 4th Street create a significant and distinguishable entity that is a unique block in downtown Cleveland. Most important, the short block creates a sense of place and thus a genuine district for any pedestrian who walks its length."

The local committee headed by Robert Zimmer has provided the leadership that is essential to the success of any revitalization effort. It is my hope that this study and plan will assist them in the restoration and preservation of an interesting historic district of downtown Cleveland and an important part of the historic fabric of this city.

John D. Cimperman  
 Director, Cleveland Landmarks Commission

## EAST FOURTH STREET DISTRICT

### URBAN DESIGN GUIDELINES



CONTENTS

Historic District Designation

Background and Purpose ..... 1

Location/Site Plan Analysis..... 2

Listing of Buildings..... 4

Aesthetic Guidelines ..... 5

    Right-Of-Way ..... 6

    Storefront and Entries ..... 10

    Signage..... 15

    Upper Facades ..... 21

Appendix..... 25

Existing Plan..... Ex 1

Proposed Plan

    Paving/Vehicles ..... A-1

    Lighting/Waste..... A-2

    East Elevation..... A-3

    West Elevation..... A-4



City of Cleveland  
GEORGE V. VOINOVICH, MAYOR



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JOHN D. CIMPERMAN  
DIRECTOR

HISTORIC DISTRICT DESIGNATION

The purpose of an historic district is to encourage the preservation of existing historic structures by means of preserving the district environment and to provide for application of design principles to protect future development in the district.

The major requirement, when the area becomes an historic district, is that the Landmarks Commission review applications for building permits for any exterior alterations that includes signage, windows, awnings, demolitions, removals or construction, that would affect the exterior appearance of the building within the designated area. The purpose of the review is to determine if the application for the building permit would adversely affect any significant historical or aesthetic feature of the property and if it will be appropriate and consistent with the spirit and purpose of the district designation.

After the Commission reviews the application, a "Certificate of Appropriateness" is issued. The Commission must act within 45 days. If the change is disapproved, the Commission has the power to impose and enforce a waiting period of six months, during which time negotiations will be conducted with the applicant in an effort to find a means of preserving the property. If demolition has been proposed, the period may be extended to one year.

In reviewing building plans for both alterations and additions to existing structures, the Commission will apply flexible criteria. The Commission is fully aware that the needs of the 1980's and 90's will be different from those of earlier eras. The Commission wishes to emphasize that it has no authority to compel an owner to undertake any construction work, but can act only if the owner, on his own initiative, proposes to do something.

To assist owners, tenants, and users of the East 4th Street Historic District, a Design Review Committee has been established to advise the Landmarks Commission on the issuance of Certificates of Appropriateness. Prior to applying for a Certificate of Appropriateness at the Commission office, an applicant is advised to contact the Design Review Committee representative. The names of the members are available at the Landmarks Commission office.

Continuing integrity is essential in maintaining the quality of Landmark significance. The owner of a Landmark or a structure within a Landmark District is encouraged to maintain its integrity by observing commonly accepted preservation standards. The Cleveland Landmarks Commission has adopted the Secretary of the Interior's Standards for Rehabilitation which have been issued by the U. S. Department of the Interior. Copies are available at the Commission office, in addition to their inclusion in this publication. Reference to the original Landmark application form, Ohio Inventory Form, and description provides a useful guide to continuing integrity. Again, please check with the Landmarks Commission Office, Room 519 City Hall, Cleveland, Ohio 44114 for information. (216) 664-2531.

John D. Cimperman  
Director, Cleveland Landmarks Commission



Buckeye Building (#9) circa 1910.

## BACKGROUND AND PURPOSE

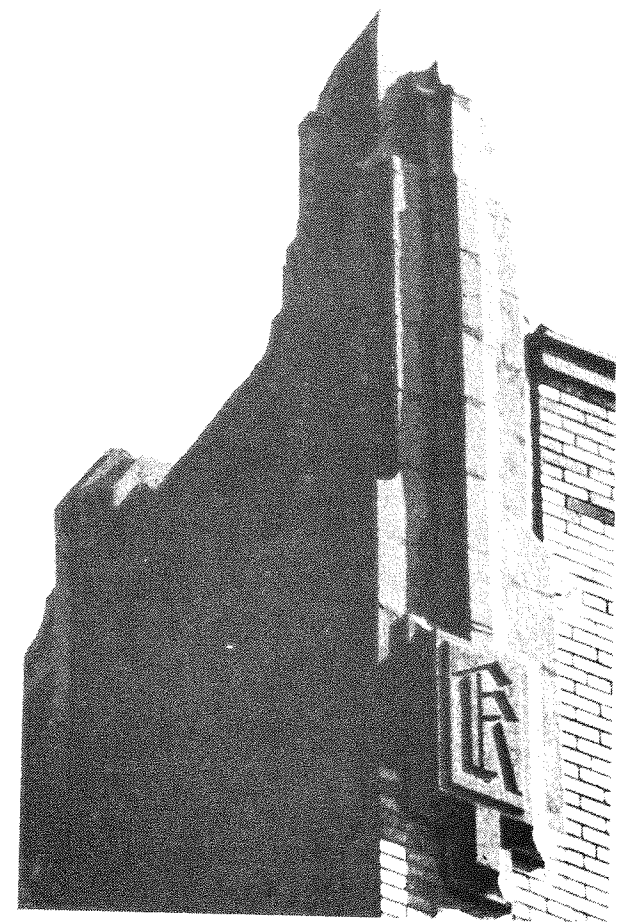
The purpose of this study is to examine the right-of-way, storefronts, signage, and upper facades of the block of East 4th Street between Euclid and Prospect Avenues, now designated as an historic district. The result of this examination will be to establish guidelines to be interpreted by the local Design Review Board and the Cleveland Landmarks Commission to help guide building remodeling and new signage.

The reason for pursuing such a course is to preserve and enhance the unique shopping environment which is East 4th Street. Rather than radical change, this study presents a series of gradual improvements to the existing street and building conditions. It seems inevitable that real estate market pressures on 4th Street will increase as surrounding large-scale downtown developments take form and become occupied. Rather than see East 4th Street develop as a chic shopping mall or a series of parking garages, this study seeks to retain and reinforce the existing urban fabric and improve it in a realistic way which is to the benefit of property owners, merchants, and the downtown community. By coordinating renovation efforts, a unified marketing strategy may be pursued. By the establishment of flexible guidelines, the diversity of architecture and signage may be preserved and enhanced. This type of approach to commercial revitalization is being used successfully in other precincts of the City, such as Ohio City, the Warehouse District, etc. The design standards for East 4th Street will be unlike any others, however, because of the richness of the street's architecture and signage. There will be a need for liberal interpretation of these guidelines while at the same time insisting on the highest quality of design and materials in remodeling efforts.

Further, the preservation and enhancement of East 4th Street will have the additional civic benefit of strengthening the City's urban core. Commercial revitalization of East 4th Street will allow it to take its place among other civic assets such as The Arcade, Playhouse Square, etc. No where else in the City is a turn-of-the-century commercial block as interesting or as intact. Architecturally, it is this completeness, or "outdoor room" quality which should be preserved. This quality is made even more interesting by the variety of signage existing on the street, and the interplay between signs and building facades. Finally, the critical relationship between vehicles, pedestrians, and storefront displays must be strengthened and reinforced.

There are four main phases which can be identified in the redevelopment of the East 4th Street District. Phase One involved the official designation of East 4th as a district worthy of preservation. This was accomplished by an earlier proposal commissioned by the LDC (25 October 1985). Districting is now in place, as the area has been listed as both a Cleveland Landmark District (local designation) and a National Register District (state and federal designation). Phase Two, represented by this study, will involve the establishment of aesthetic guidelines to guide visual change within The District. Phase Three (not yet initiated) will be to develop strategies to return presently unoccupied upper floors of buildings in The District to full use as offices, studios, light manufacturing, and residential lofts. Phase Four would then involve the continued marketing of the redeveloped District as a unique precinct within downtown Cleveland. With municipal, property owner, and merchant cooperation, the full potential of the East 4th Street District may be realized through these four phases of redevelopment.

Cornice detail  
Kresge Building





## LISTING OF BUILDINGS

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>1. Commercial Building<br/>Brick - five story - Classical Revival<br/>#328-334 Euclid Avenue<br/>1909<br/>architect: unknown</p> <p>2. Windsor Block<br/>Brick/stone - five story - High Victorian/Commercial<br/>#340 Euclid Avenue/#2020 E. 4th Street<br/>1876<br/>architect: unknown</p> <p>3. Brick - two story - Commercial<br/>#2034-2036 E. 4th Street<br/>circa 1900<br/>architect: unknown</p> <p>4. Cast Stone - two story - Commercial/Moderne<br/>#2038 East 4th Street<br/>circa 1940's remodeling - original date unknown<br/>architect: unknown</p> <p>5. Krause Building<br/>Brick - six story - Commercial<br/>#2042 -2044 East 4th Street<br/>1913<br/>architect: G. B. Bohm</p> <p>6. Woolworth Building<br/>Brick - six story - Modern Commercial<br/>#2050 East 4th Street<br/>1948<br/>architect: Garfield, Harris, Robinson, Shafer</p> <p>7. Commercial Building (a.k.a. Ten-Busch Building)<br/>Brick - eight story - Commercial<br/>#2052-2060 East 4th Street<br/>circa 1900<br/>architect: G. A. Tenbusch</p> <p>8. Brick - two story - Commercial<br/>#2066-2068 East 4th Street<br/>circa 1940<br/>architect: unknown</p> <p>9. Buckeye Building<br/>Brick - five story - Romanesque/Commercial<br/>#2066-2082 East 4th Street/#305-325 Prospect Avenue<br/>1906<br/>architect: G. A. Tenbusch</p> | <p>10. Kresge Building<br/>Brick - four story - Commercial<br/>#402-406 Euclid Avenue/#2031 East 4th Street<br/>1922<br/>architect: Walker and Weeks</p> <p>11. McCrory Building<br/>Terra cotta - four story - Commercial<br/>#2041-2051 East 4th Street<br/>1923<br/>architect: unknown</p> <p>12. Fredrick Building<br/>Terra cotta - six story - Commercial<br/>#2057-2063 East 4th Street<br/>1012<br/>architect: Willard Kirsh</p> <p>13. Graves Building<br/>Brick - six story - Commercial w/bays<br/>#2067-2073 East 4th Street<br/>1898<br/>architect: J.N. Richardson (formerly of Cudell and Richardson)</p> <p>14. Sincere Building (a.k.a. Prospect-Fourth Building)<br/>Brick - eight story - Commercial<br/>#2077-2079 East 4th Street/#401-411 Prospect Avenue<br/>1915<br/>architect: unknown</p> <p>15. Terra cotta - two story - Commercial<br/>(a.k.a. Kirby Building)<br/>#417-425 Prospect Avenue<br/>architect: William S. Lougee</p> <p>*Note: District also includes #2075 East 4th Street - a nondescript one-story structure built into a previous alley.</p> <p><b>Additional Related Buildings</b></p> <p>16. Commercial Building (a.k.a. Carlin Warehouse)<br/>Brick - six story - Commercial<br/>#320-326 Prospect Avenue<br/>1900<br/>architect: Adolph Sprackling</p> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

## AESTHETIC GUIDELINES

The analysis of the functional and visual aspects of East 4th Street will be broken down into four areas of concern:

- 1) Right-of-Way
- 2) Storefronts and Entries
- 3) Signage
- 4) Upper Facades

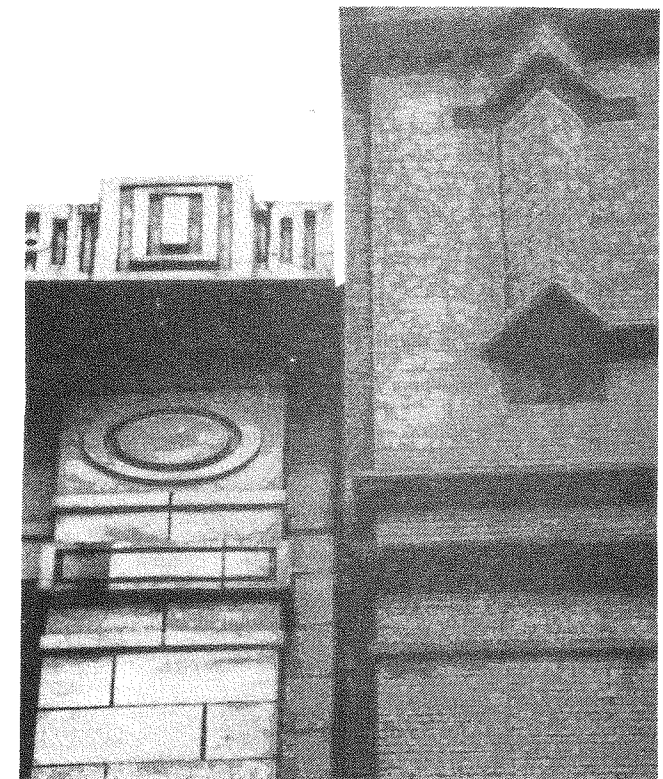
The discussion of these four main areas of concern will constitute the guidelines for visual change within the East 4th Street District. In general, the guidelines will consist of "recommended/encouraged" versus "not recommended/discouraged" designs, proportions, styles, and materials for right-of-way improvements, storefront remodeling, signage, and upper facade restoration.

In some cases, a restorative approach (a return to the original late 19th/early 20th century appearance) may be deemed most appropriate. In many others, a new storefront will be designed to be compatible with the existing historic facades. Most cases will likely involve a blending of these two approaches. While the variety of signage within the District is one of its key assets to be preserved, certain basic limits on size, lighting, and materials should be established to ensure quality installations.

These aesthetic guidelines will first be interpreted by the East 4th Street Local Development Corporation (L.D.C.), Design Review Board (D.R.B.) and then by the Cleveland Landmarks Commission (C.L.C.) to monitor visual change within the District. Through such a process, the District can be redeveloped while simultaneously preserving the diversity of its architecture and discouraging totally unrelated proposals.



Graves Building



Frederick Building

**RIGHT-OF-WAY**

This refers to the approximate 40' wide by 440' long zone between the building fronts, or facades, including the sidewalks and curbs, street surface, and associated street furniture - such as light poles, traffic signs, fire hydrants, trash containers, etc. This would also include the sidewalk and accessories extending east and west from 4th Street along Euclid and Prospect Avenues to the District boundaries.

To a large degree, issues involved in the right-of-way relate to functional and life safety aspects of pedestrian/vehicular movement, street lighting, parking and deliveries, trash containment, and other street appurtenances to facilitate these activities.

There is a possibility at this time that the City will be looking to upgrade the sidewalks/street surfaces of East 4th Street through capital improvement funds. The City's Engineering Department has prepared a cost estimate to do this work. Typically, a portion of this cost is then assessed to property owners through property taxes over an extended time period. The existing poor condition of the right-of-way would appear to make East 4th Street a high priority relative to other areas.



The right-of-way zone

It is the purpose of this analysis to propose subtle modifications to the City plan which would reflect the concerns of the East 4th Street Local Development Corporation (LDC) and the special architectural qualities of E. 4th Street. These modifications are depicted on the accompanying drawings located at the rear of this report.

**A. Sidewalks and Curbs**

1. Existing deteriorated sidewalks should be replaced with new concrete walks in a 2' x 2' grid pattern similar to in front of May Company on Euclid Avenue. The width of the sidewalk should remain at its present 7'-6".
2. The existing stone curb should be flipped over and re-used as much as possible. Some new stone curbing may be necessary. The curb should be raised to a minimum of 6" above the street surface to discourage parking on the sidewalk as presently occurs.
3. Underground vaults below the sidewalks are existing in some portions of the street. These will be retained for continued use after installation of new sidewalk "decks" above. Structural integrity of these vaults must be verified by the property owner and/or City Engineer.
4. Bronze plaques to identify specific noteworthy buildings should be face mounted on the building itself near the main entry rather than in the sidewalk.
5. Parking meters, planters, benches, mail or paper boxes, kiosks or other obstacles should not be permanently installed in the sidewalk zone due to its narrowness. Temporary installations should be discouraged and/or closely monitored by the DRB.

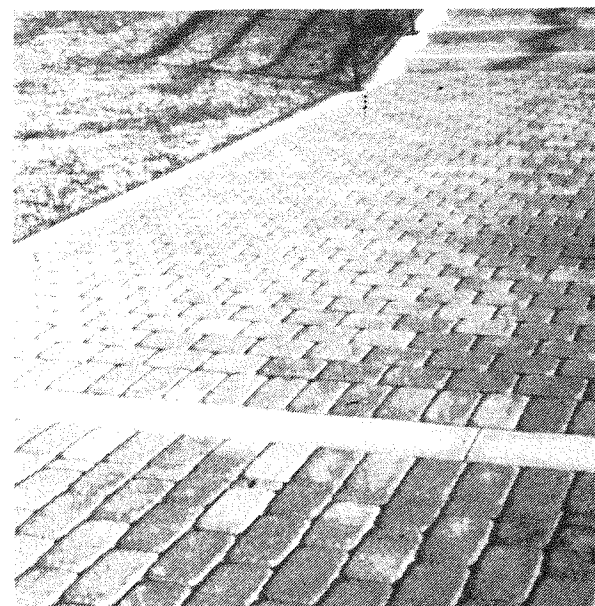
**B. Street Surface**

1. The present roadway surface is in extremely poor condition and needs replacement with a new asphalt surface with proper base conditions.
2. Four new areas of decorative pavers are proposed. These are approximately 24' x 20' and occur at either end of the block and at the third points. The zones at either end will help define the block and act as "gateways" to the District. The zones in the middle will help channel pedestrian crossing in a more controlled manner. The pavers could be similar to those presently used at the new Northcoast Harbor
3. Traffic striping will also be renewed and implemented to help control parking/no parking and delivery zones.



**C. Street Lighting**

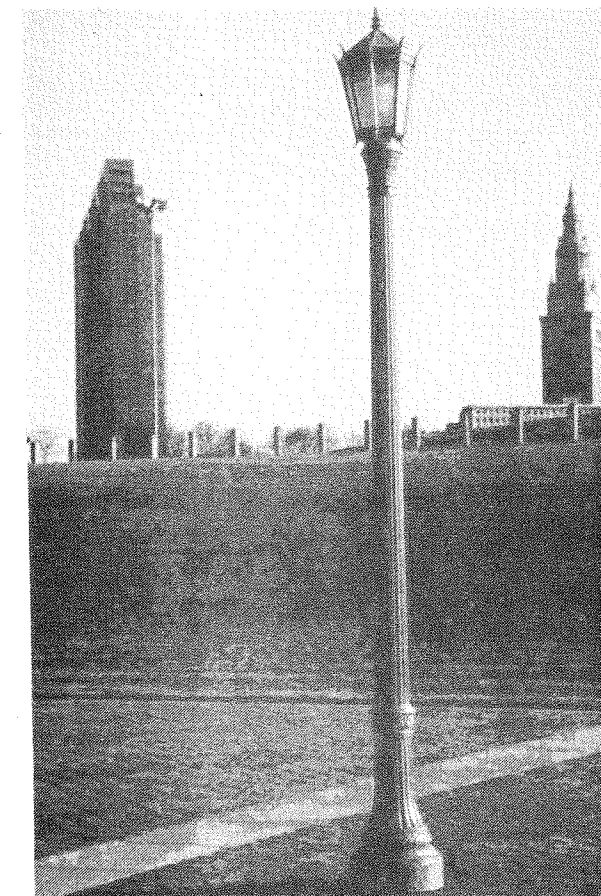
1. Perhaps the most critical and under-utilized aspect of the right-of-way. The District is currently lit by four, 25' high, modern cobra-head fixtures. In addition, there are pairs of cobra-head fixtures at either end of the block, facing Euclid and Prospect, respectively. It is proposed that these eight fixtures remain to provide general street illumination for the block.
2. Eight new historic lampposts with decorative lights (12' high) are proposed to supplement the general illumination provided by the cobra-head fixtures. These lights would be identical to the original turn-of-the-century Cleveland street light as can be presently seen in various parts of the City - notably the Tower City area, the Northcoast Harbor, and Warehouse District (see photo). The two fixtures at the ends of the block would also serve as "gateways" to the District.
3. The two main forms of street lighting outlined in 1 and 2 above would be further supplemented by three additional forms:
  - a. Lighting within display windows is encouraged - provided this light is not obscured by solid rolling shutters at night.
  - b. Lighted signs are also encouraged - these are discussed in further detail later in this report.
  - c. Lighting of building facades and sidewalls with signs is encouraged - dramatic lighting similar to Terminal Tower, BP America, National City Bank, etc.



Decorative pavers at crossing zones



A modern, cobra-head street light (25')



Historic Lamppost (12')

**Pedestrian Security**

1. It is recommended that a full-time security guard be hired to patrol the street during business hours to provide a visible symbol of safety. It is hoped though time and increased downtown activity, business hours and the need for active, visible security will be extended through the evening and weekend hours.
2. Unauthorized street vendors should be prohibited by the LDC. Authorized street vendors, however, should be encouraged as long as they are approved by the LDC and operate in designated retail alcoves.

**E. Vehicular Movement**

1. Parallel parking for merchant customers would occur in 28 spaces as shown on the plan diagram. (rear of book) The entire west side of the block would be customer parking while the east side would have parking for 11 cars in a parallel fashion at the center of the block.
2. There would be no parking meters but signs would be posted limited parking to short-term (30 minutes). It is recommended that the on-street security guard hired by the LDC monitor the duration of parking.
3. Delivery Zones for short-term truck parking could occur in 66'L zones at either end of the east side of the block.
4. No parking (customer or delivery) would be permitted on the four 20'W decorative paver crosswalk zones reserved for pedestrians.
5. The stone curb on either side of the block for its entire length should be raised to a minimum of 6" to prevent parking on the sidewalk, which should be strictly prohibited, since it is dangerous to pedestrians.
6. All parallel parking spaces and delivery zones would be appropriately designated with painted striping on the asphalt road surface to facilitate vehicular movement.
7. Property owners and merchants should not park within the District at any time during business hours since each space represents shop income foregone when it cannot be occupied by a potential customer.
8. Traffic signage must be coordinated with City officials as needed - but should be kept to a minimum and be of a neutral and consistent design.

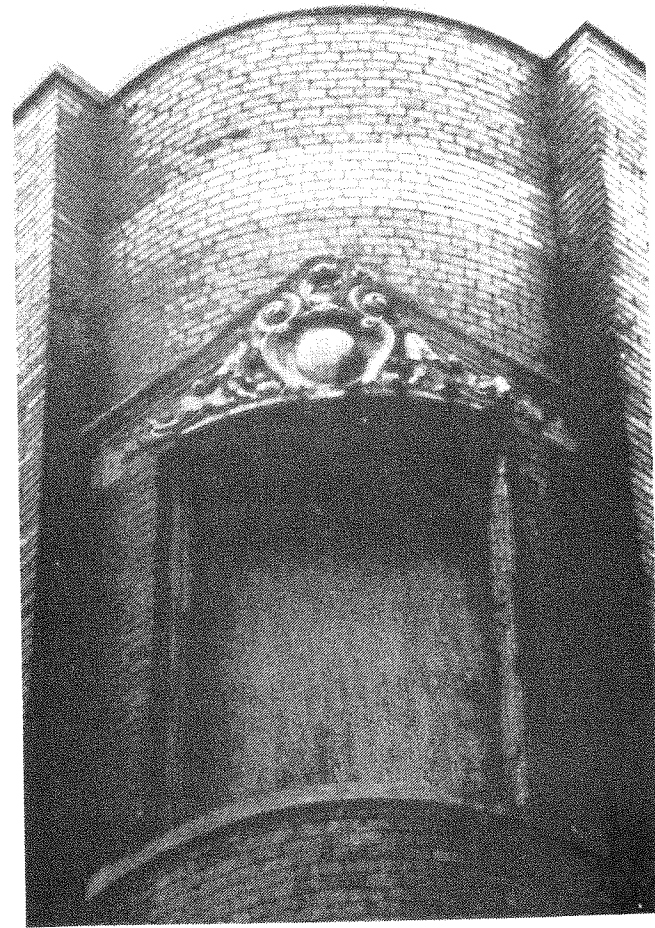
**F. Trash Containment**

**1. Property Owner/Merchant - (generated by)**

This problem is primarily a matter of coordination and timing. Merchant and restaurant trash put out at closing time (late afternoon/early evening) is not picked up until 5:30 a.m. Perhaps this interval could be shortened so trash does not "sit" on the street for extended periods.

Better use of the alleys which extend to the east and west off 4th Street may be made for trash if control and access is improved.

Merchants should "hose-down" or sweep the sidewalk/street in front of their respective stores on a regular basis. The LDC should establish an official policy on this. Water connections may need review and improvement for this.



Buckeye Building

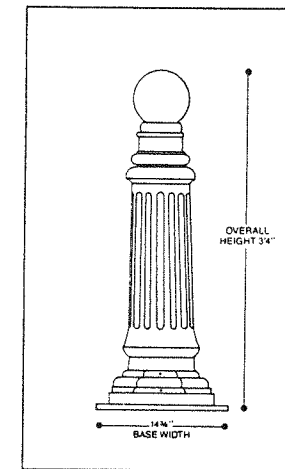
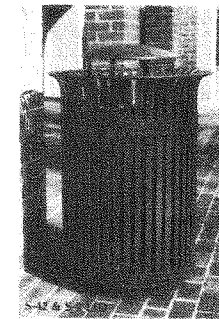


**2. Pedestrian - (generated by - litter)**

Trash generated by pedestrians appears to be the primary trash problem in the District.

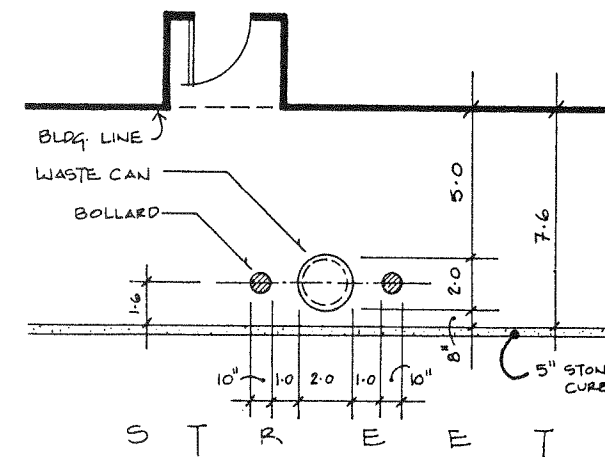
A proposed trash container design consisting of a steel basket with a liner can and associated protective bollards is shown by the accompanying sketch. Recommended placement of several of these typical installations is shown on the accompanying plan diagram.

These installations should help alleviate the primary trash problem in the District by providing an attractive and sturdy opportunity for passers-by to dispose of trash at regular intervals down the block.



steel basket

bollard



proposed trash container design

**G. Miscellaneous Items**

1. Bergman Clock - Long a landmark on the northeast corner of East 4th and Prospect, this clock should be restored to its original appearance (remove masonry panels, shake roof, etc.) and remain as an additional "gateway" or marker for the District.

2. Murals - A recent tradition has been the yearly renewal of painted murals on large expanses of solid wall along the first floor (storefront) facades. These have occurred in primarily two areas - the Windsor Block and the Buckeye Building.

While these efforts have a temporary impact, the long term solution to these areas should be the return of viable retail activity and hence, storefronts, which would make mural painting unnecessary.

3. Underground Utilities - The issues involved in dealing with subterranean electrical, steam/water, natural gas and sewer lines and connections is not part of the scope of this report.

These issues will require coordination between municipal authorities, the respective utility company, and property owners/merchants when right-of-way improvements are undertaken.



Bergman Clock (to be restored)

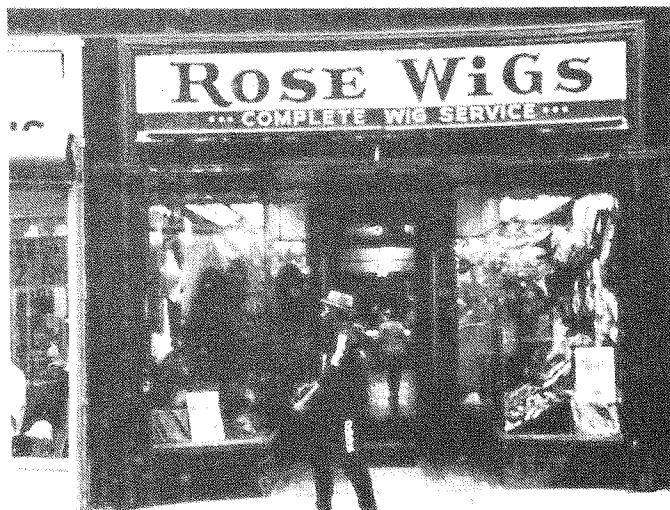
**STOREFRONT AND ENTRIES**

In general, this is the most critical aspect of the aesthetic guidelines because the storefront and display is the connection between the potential customer (pedestrian) and the merchant.

The analysis of the storefront guidelines is aided by the accompanying diagram which shows the typical component parts of a building facade. (see Appendix) The analysis will follow this format and consist of "encouraged/recommended" verses "discouraged/not recommended" designs and materials for these component parts.

A first step regarding any storefront and a proposed remodeling is to determine whether the existing storefront is original and, if not, whether the original storefront is still in-place behind a later veneer material which is covering it.

In some cases, it will be desirable to restore the storefront to its original condition, using historic photos as a guide. In many others, an existing storefront may require minor modifications to make it more compatible. In yet still others, an entirely new storefront may be needed to replace a deteriorated and out-of-date one. Sometimes, a more modern veneer material is considered visually compatible and a document of its time and place (e.g. ferro steel panels or carrara glass). Lastly, a combination of these approaches may be deemed most appropriate by the DRB. In any case, each storefront and changes thereto will present its own challenges in (non)conformity. The existing storefronts of the East 4th Street District represent just about every kind of storefront condition one could find. This diversity is an attribute in that it is visually interesting. It is detrimental in that, if left unchecked, a "seedy" and confused appearance may result. It will be the challenge of the Design Review Board to modulate between these two extremes, and to consider each storefront individually for its overall visual contribution to the District.



Existing Storefront

**A. Entry Platform**

This refers to that part of the sidewalk surface which is not part of the public right-of-way - between the building/property line and the entry door(s).

The existing conditions of this zone are: 1) a terrazzo surface in good condition 2) a concrete surface in fair/poor condition, 3) an older glazed tile (1 x 1) surface, and 4) a newer quarry tile (6 x 6) surface. This zone is usually ramped up slightly to the entry door (2" or less) and sometimes there is a single riser (4"-6") at the sidewalk.

These changes in elevation between finished first floor, entry platform, and sidewalk must also be evaluated for handicapped access on a case-by-case basis to maximize accessibility within the District. Handicapped access must be a criteria for evaluating storefront/building renovations to ensure that it is provided for where possible.

Existing terrazzo surfaces should be retained wherever they are in good condition - which is generally the case. New terrazzo surfaces for this zone are to be encouraged. Lettering of the shop name within the terrazzo pattern (both existing and new) is to be encouraged and preserved.

Other high quality masonry materials such as quarry tile, ceramic tile (nonresidential - for flooring only), colored and/or scored concrete, precast pavers, etc. are encouraged. Decorative patterns in these materials are also encouraged.

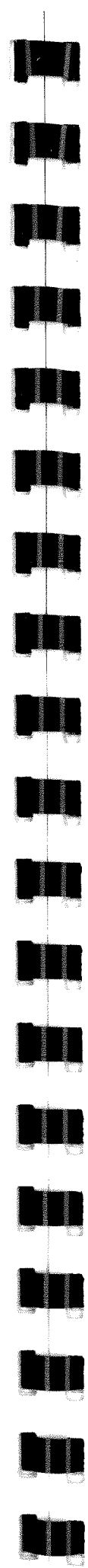
Veneer type materials such as sheet vinyl, vinyl composition tile, carpeting, etc. are not recommended.

Rubber mesh and vinyl loop type mats may be used to prevent the tracking of dirt/mud/water into the shops but they should be of high-quality, dark colors, and consistent design, and not permanent. Indoor/Outdoor carpet rugs and the like are not recommended. These mats should be regularly cleaned along with the entry platform surface.

**B. Bulkhead**

This refers to the storefront "base" or bottom zone - the area between the entry platform/sidewalk surface and the bottom of the storefront window.

This area is most subject to deterioration so often the original material has been replaced or covered over by another material. Existing materials range from original stone or brick, to marble, carrara glass, wood siding, aluminum, masonry panels, ferro steel panels, and a multitude of other later veneers in various states of condition.



In general, an effort should be made to determine whether the original bulkhead is in place and salvageable, which is desirable. If not, a fresh construction should blend with the storefront's other original materials.

High quality masonry materials are preferred for new bulkheads - ones that can withstand high traffic and heavy abuse. Quarry tile, stone, brick, marble, and structural glazed tile are encouraged.

Less durable veneer type materials are discouraged - such as wood siding, plastic, masonite, plywood, and the ubiquitous aluminum panel. Some veneer materials, such as ferro steel panels and carrara glass, may be found to be appropriate for some storefronts (as existing at Rainbow Shops and the Rathskeller).

Often, turn-of-the-century bulkheads were constructed of solid, built-up wood panels that were then painted. This provided a durable and attractive bulkhead that was economical to build and easy to maintain.

Any resolution of bulkhead rebuilding should recognize the need to use materials which will resist the combined abuses of being bumped, salt spray, and freeze-thaw cycles. At the same time, it must be attractive and compatible with the rest of the building's architecture.

**C. The Display Window**

This is the most sensitive area of storefront design - and its importance to the East 4th Street District is even more crucial. The close relationship (both physically and visually) between display window and the pedestrian/customer is very important to the success of East 4th Street as a retail district. The various plan configurations of the shop entries from one end of the block to the other present a strong architectural/urban design statement. The colorful and varied nature of goods displayed in the display windows and the meandering of the passers-by in these alcoves is a relationship to be maintained and intensified.

Unfortunately, this part of 4th Street has generally gone the way of most commercial districts - aluminum frame. While not necessarily inferior, the thin, tarnished aluminum frame cannot measure up in terms of durability and visual substance to the well-detailed wood and iron frames of the turn-of-the-century. The vast majority of existing display windows are aluminum frame. There are some which are mullionless (buted glass) and some which are metal (steel or bronze). The aluminum frame issue is a Catch 22 - while it is not the ideal solution, there is so much of it existing that it demands acceptance as a given. With this in mind, the following guidelines are offered:

New aluminum window frames may be found acceptable if they are of sufficient width and depth - not all aluminum frames are built the same - some are stronger and more substantial visually than others. On the hand, there is a limit to scale, and some frames may be judged too "husky".

Anodized bronze or dark painted finishes are recommended for new aluminum frames, rather than unfinished (silver) frames.

Existing silver aluminum frames may be painted to a darker or more preferred color than the existing aluminum finish. This will require periodic renewal.

Existing thin section aluminum frames may also be fitted with heavier wood "caps" or covers to make them visually more acceptable - assuming this is desired and appropriate for a given storefront.

Other new framing options should be fully explored and encouraged including stainless steel, painted steel, bronze or brass and wood. Wood framing may include multi-paned display windows. In this case, muntins should be integral and wood - not plastic and sandwiched between insulated glass. True leaded glass may also be found appropriate to some storefronts.

Glass may be plate glass or individual panes in true muntins. In either case, it should be tempered glass for safety and security. Tinted or shaded glass is generally not recommended since it would make display goods harder to view. It may be appropriate for some storefronts, however. Shaded or mirrored plastic films applied to the inside of the glass are strongly discouraged.

Existing butted glass and steel frame display windows should be preserved.



Attractive window displays and signage should be encouraged.

**D. Transom**

This is the area above the display window and entry door(s) which is still part of the storefront system but not part of the upper building facade.

The original condition of the transom was usually glazed to allow light to penetrate deep into the merchants shop. Typically, this became covered with a later veneer material - usually obscuring the glass. Sometimes the transom zone became a sign panel in part or full. These are the typical existing transom conditions within the District.

A condition which is somewhat peculiar to East 4th Street is the security screen or grille which is typically mounted in the transom zone.

If the original transom is still in place, it should be re-exposed by removing later veneers and restored. Original leaded or prism glass transoms (a typical period condition) are rare and warrant special restoration.

If the transom has been converted to a sign panel and there is room on the building facade above for signage, then the transom may be restored by relocating the signage above.

If a transom must be a sign panel (or solid panels otherwise), then it should be proportioned and divided in such a way which maintains the original configuration and/or is compatible with the rest of the building's architecture.

Air conditioning units mounted in transom windows are a visual and functional hazard and not recommended. Other A/C options which draw off the building's main mechanical services should be explored.

Transoms should not be covered over for the reason of a suspended acoustic ceiling inside the shop. The suspended ceiling can be stopped short of the transom window and a soffit created. This allows the original transom to remain exposed, which is desirable. The transom offers an unusual opportunity to allow natural light into the merchants shop - allowing for more exciting displays of merchandise.

Transom windows may serve as a base for signage painted on the glass, or other creative displays of merchandise.

Transom windows or paneled transoms must relate to the overall building architecture in proportion, material and color.

**E. Security Screens and Grilles**

If possible, these should be mounted above the transom and on the building face. "See-through" security grilles are strongly preferred to solid metal shutters, which eliminate the shop display from view. The long-term goal must be to maintain the visual connection between display window (merchandise) and pedestrian at all times. It is hoped through increased surveillance and night time activity, the solid steel shutter will eventually become obsolete in the District.

Modern, roll-down, aluminum security grilles are preferred to the older, horizontal-sliding steel grilles. Provision should be made to enclose these horizontal-sliding grilles when they are in the open position (often they are exposed and hazardous).

Merchants should check with the roll-down security manufacturer to see if anodized bronze or painted grilles are available. These finishes may be preferred to the standard silver aluminum which will tarnish with age.

Electronic security should be more extensively used and may preclude the need for security grilles.

Another option for burglar security is security bars mounted inside the display window. In these cases, bars should be of simple design, light in scale, and non-residential in character. This method of security should be encouraged since it does not affect the exterior storefront or building architecture.

Security grilles and their housings should be mounted on the building so as to be least injurious to architectural design and detail. Interior mountings should be fully investigated, since they are preferred.



horizontal-sliding steel grilles.

solid steel shutter



**F. Doors**

Entry doors are a very important part of overall storefront design. Often, the customer's first impression (and subsequent buying habits) is formed by the encounter with the front door to the shop.

Similar to the display window, entry doors in the District have largely gone the way of the unfinished aluminum frame, and this is the typical existing condition. Again, though while not the ideal, it is a condition that must be accepted and dealt with.

Heavy wood framed doors with a central glass panel were common during the turn-of-the-century period. There are some of these doors existing, which should be retained. A return to this style of door should be encouraged during remodeling. Wood doors may be stained or painted.

The original location of the door within the storefront system should be maintained or returned to whenever possible. Door locations which are not original should be permitted only when absolutely necessary for functionality, otherwise, they should be discouraged.

Residential type exterior storm/screen doors installed over the main (weather) door is strongly discouraged.

Dark bronze anodized or painted finishes are recommended over unfinished (silver) aluminum doors for remodeling purposes. Existing aluminum doors may be painted to make them more attractive and compatible but this will require periodic repainting.

Air conditioning units, which are noisy and drip water on customers, should be removed/relocated from the transom above the door wherever possible. Relocation to the rear of the shop is recommended if a light well or alley is accessible.

Hardware for doors should be strong, of the turn-of-the-century period, and non-residential in style and character. Brass or bronze was the typical material.

As per the Ohio Basic Building Code (OBBC), all exit doors must swing out (in the direction of travel during an emergency situation).

Solid doors (metal or wood) are not appropriate for entrances and should be used only at service entries not directly exposed to view.

**G. Awnings and Canopies**

This is an underutilized aspect of storefront design within the District. Most existing canopies/awnings are poor in either condition or aesthetics - or both. These are usually mounted over the transom to shield incoming light.

All canopies and awnings should be self-supporting and cantilevered over the sidewalk. They should be attached to the building face in such a way that they do not interfere with the building architecture.

Canopies and overhangs should not be permanent structures constructed on the building facade - but rather be lighter, temporary materials such as canvas or nylon over a steel framework. The steel frame is then attached to the building rather than built onto it. In no case should vertical posts be used to support the awning above since these will further clutter an already crowded sidewalk.

Awnings can be colorful additions to a storefront and are encouraged. They should be light in scale, a pleasing shape, and may be vibrantly colored and/or patterned to add visual interest to the street. Often, awnings are installed in a row on a series of successive bays of a building with dramatic effect.

All awnings and canopies should be reviewed on a case-by-case basis to ensure that they are high quality installations and materials and appropriate to the overall architecture of the building.

Awnings and canopies present sensitive liability issues regarding clearance above the sidewalk, projection outward, and secure attachment to the building.



Existing bronze anodized aluminum storefront



Existing carrara glass



Temporary tables



Existing ferro steel panels

H. Miscellaneous Issues

1 Windsor Block - east elevation

In general, storefronts should be designed and remodeled to "open-up" to the street rather than close it off. This is in order to preserve the visual connection between pedestrian and display window.

The east facade of the Windsor Block is "closed off" to 4th Street for nearly its entire length (146'). A long term goal should be to "open up" this facade to 4th Street with appropriate retail activity along the first floor of this elevation, rather than a solid wall at street level.

2. Temporary tables and free-standing signs for display and advertising set up in the entry platform zone are permitted but should be closely monitored for size, strength, and attractiveness. In no case, should these be permitted to extend out into the right-of-way where they would be a hazard to passers-by.

3. The subject of merchandise displays is a topic related to the display window and overall storefront design. This topic is without the scope of this report but is a key visual element in the District. The wide range and colorful nature of merchandise within the District should be displayed in such a way that it complements rather than detracts from (or overcomes) the storefront itself. The art of window display becomes, thus, the other component of effective shop window appearance. The DRB should recognize this and work with merchants to establish procedures for monitoring the display of merchandise. It may be desirable for the DRB to conduct workshops on the subject.



merchandise displays



The northeast corner of Prospect & East 4th prior to the construction of the Sincere Building.

SIGNAGE

The subject of signage within the East 4th Street District is extremely sensitive because it is so visually important and largely responsible for defining the architectural character of the District. The varied styles, sizes, and types of signs within the District, in juxtaposition with the buildings and each other, is special and worthy of preservation. This report encourages even greater variety in new signage within the East 4th Street District while at the same time ensuring high quality and safe sign installations.

The conventional approach to historic district signage has been to standardize, limit, and prohibit. This is not recommended for the East 4th Street District. While the DRB may choose to set some basic limits on new signs (these are discussed in the analysis which follows), these should have more to do with life safety and architectural issues rather than any concerted effort to homogenize signage. In other words, a flexible and permissive approach to signage within the District is recommended.

New signage should be professionally designed, fabricated and installed. Amateur sign installations should be strongly discouraged - if not prohibited. This is not only to ensure quality visual results, but also to ensure life safety and code compliance. Hazardous signs can pose difficult liability issues for merchants and/or property owners. New signage should all respect the guidelines set forth in this Report.

New signage will require a Certificate of Appropriateness issued by the Cleveland Landmarks Commission and approved by the local Design Review Board. The procedures and legal times involved in this review process are explained by the Landmarks Commission document included as part of this Report.

The following discourse analyzes potential types of signage which may be permitted (or prohibited) within the District and offers guidelines for the design and installation of each type. Universal criteria for the evaluation of each type would include location, size, shape, materials, lettering, illumination and special features. Each type of sign will be evaluated in terms of these criteria. The important point is to relate the sign to its setting - to make it appear a logical component of the overall storefront and building design. Further, the materials the sign is made of should be compatible with the building facade materials.

A. Sign Panels (or signboards)

The most common type of sign is the wooden sign panel flush-mounted to the face of the building. Usually, this was mounted in a signage zone above the transom and below the storefront cornice, which is recommended. Most historic buildings were designed with a definite facade zone for sign panel mounting, with the sign taking a complimentary shape. As a less desirable alternative, sign panels were sometimes mounted in the transom zone, consuming all or part of it. Sign panels mounted in the transom should conform to its original dimensions and/or divisions, if possible. Sign panels may also be located between upper floors or on parapets as well. In no case, however, should a sign panel consume both the transom zone and signage zone.

One way to prevent this would be for the DRB to establish maximum width/length (or area) limits based on linear building frontage. For example, signs could be limited to 1.2 gross square feet per 1.0 lineal foot of frontage - a building with 50' frontage would be permitted a maximum sign of 60 square feet with single maximum dimensions (height or length) established by the DRB.

Historically, signboards were made from solid wood planking - redwoods were preferred to pines for durability. The modern equivalent of this is plywood -preferably marine grade - again for durability. These materials are recommended. Materials not recommended include lower quality imitations of plywood, such as masonite, plywood paneling, gator (foam) board, and other veneer-type materials which are not durable.

Traditional serif style lettering was most common around 1900 and is recommended. Often lettering was executed in gold or silver leaf, also recommended. An acceptable substitute for gold/silver leaf, which is expensive, is gold or silver paint. Sometimes, lettering was carved from wood and attached directly to the sign panel, which is preferred to painted letters. Other lettering styles must be evaluated by the DRB on an individual basis, with a maximum of two styles to appear on any given sign. The inclusion of the merchants symbol or logo is encouraged on sign panels - as long as it is well coordinated with the overall sign design.

Care should be taken to attach sign panels to the building in such a manner which does not obscure, damage, or cause the removal of important architectural features. If roof mounted, the signboard and supporting brackets should not damage the building, cornice or parapet wall.



Existing sign panels

B. Projecting Signs

This is another common type of sign which is particularly important in establishing the visual quality of the East 4th Street District. The varied sizes/types of projecting signs within the District creates a lively, random "sign architecture" which competes for overall impression with the building architecture.

A fundamental concern regarding projecting signs is clearance above the sidewalk and the DRB should establish a minimum, say 9'-0". Another fundamental limit which should be established is projection (outward) from the building face, or overall width. This may be established at about 3'-0" or 3'-6". A third fundamental would be that no large projecting sign should extend above the cornice or parapet of the building to which it is attached. Regulating the total number of projecting signs may be difficult. There are presently a total of 16 existing projecting signs of varying sizes in the District. The DRB may choose to establish different classes of projecting signs based on overall height and projection (small, medium, large) and establish maximum totals for each class. The DRB may also wish to regulate the type of light and special features for projecting signs - e.g. only a certain number of signs may have neon light, flashing lights and/or moving figures. The point is that there may be a limit at some point in the future to the number and size of projecting signs -even though they are presently encouraged.

Projecting signs and sign panels may be illuminated in many ways. They may use neon, fluorescent, or incandescent light. The light source may be either internal (within the sign) or external (exposed to view). Moving, flashing, and/or theater marquee type lighting is to be encouraged. Restoration of existing lighted projecting signs to full illumination (if not currently active) is recommended, assuming they are aesthetically appropriate and in good condition.

Symbols, logos, and moving figures executed in light are also to be encouraged, if they are in good taste and well-designed.

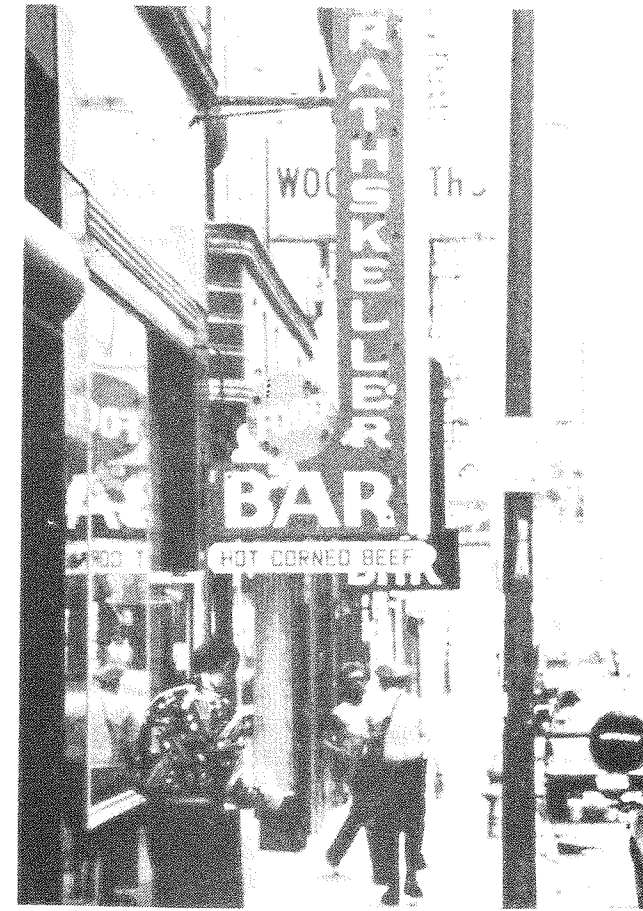
Similar to sign panels, projecting signs must be mounted on the building in the least disruptive way to the existing architectural details.



Existing neon sign



Existing projecting neon sign (to be restored)



Existing projecting signs

C. Signage on/of Glass

This type of signage was also very popular in turn-of-the-century commercial districts and may take many forms.

One of the most common forms was painted signage on (the inside of) the display window. This typically executed in gold leaf, but may also be permanently etched in the window glass. Adhesive plastic "stick-on" lettering and signage is generally not recommended. This type of signage may also appear on the entry door or transom in the form of an address or phone number. In any case, it is important to relate size and location of the sign to the proportions of the framed glass pane on which it appears. Painted symbols and/or glass logos may also be incorporated into the overall sign design.

During the early decades of the 20th century, the names of commercial establishments, as well as other designs, were often done in stained glass and incorporated into transom windows, which at the time were often made of prismatic glass. A local example of this which was recently restored is the Johnson Block in the Warehouse District (S.W. corner of W. 6th and St. Clair). This type of signage is rare and should be preserved if discovered. New designs of this type of signage are encouraged.

Signage on glass may also occur on the inside of upper floor windows - identifying the occupants/services available on these floors to the pedestrian below. There are many existing examples of this in the District. New signs of this type are to be encouraged as currently vacant upper floors become occupied. Existing signs of this type should be preserved as documents of earlier tenants, if feasible.



Existing & new signage on glass is encouraged.



Existing building identification sign

D. Building Identification Signs

Signs which identify the building name or address should occur on the building near the main entrance, if possible. Often, this identification signage is painted on the glass in the transom over the entry doors, which is recommended. A second option is a brass or bronze plaque (aluminum not recommended) which is attached to be the building face to either side of the entry doors. Residential or marine type "stick-on" plastic letters for building (or merchant shop) identification are not recommended. Existing building identification signs which are part of the original construction (e.g. McCrory, Sincere, and Krause Buildings) should remain exposed to view and preserved.

E. District Identification Signs

The local LDC and DRB may wish to consider installation of two "marker" or "gateway" signs which identify the District - one at either end of the block.

F. Public Identification Signs

In contrast to the diversity of signs related to building/merchant identification, signs related to pedestrian/vehicular instruction should be as neutral as possible. Fortunately, there is not a great need for these types of signs within the District. Most instructions can be handled with relatively few signs, which is desirable. Also desirable is a design cohesiveness and unity among signs of this type. All signs for public instruction should be reviewed by the DRB for their necessity, design and placement when streetscape improvements are undertaken. Coordination with necessary municipal authorities (City Traffic Department) can occur at that time with the goal being the minimization and unification of signs of this type.

G. Awning and Canopy Signs

Building or merchant identification may also occur on awnings or canopies attached to the building. Typically, signage appears on the edge, or skirt, of the awning, which is encouraged.

The awning or canopy may also be subtly back-lit or lit from within, but this should be reviewed by the DRB on an individual basis.

The existing canopy at the East 4th entrance to the Sincere Building (#2077) should be restored to its original appearance. The awnings at Royal Novelty and Woodlow's are non-conforming in their residential character and should be removed or replaced.

H. Building Sidewall Signage

Another typical turn-of-the-century technique in signage was the painting of building sidewalls (usually brick) with large advertisement signs. There are several faded, existing examples of this within the District.

Existing advertisements should be preserved "as is" or renewed with fresh paint in thier original configuration, which is encouraged. It may also be desirable to create a new and different sign where one is existing or at a new location - subject to the review of the DRB.

Building sidewall signs may also wish to be flood-lit so that they are visible at night. Light (incandescent or fluorescent) should be chosen with the sign's main coloration in mind.

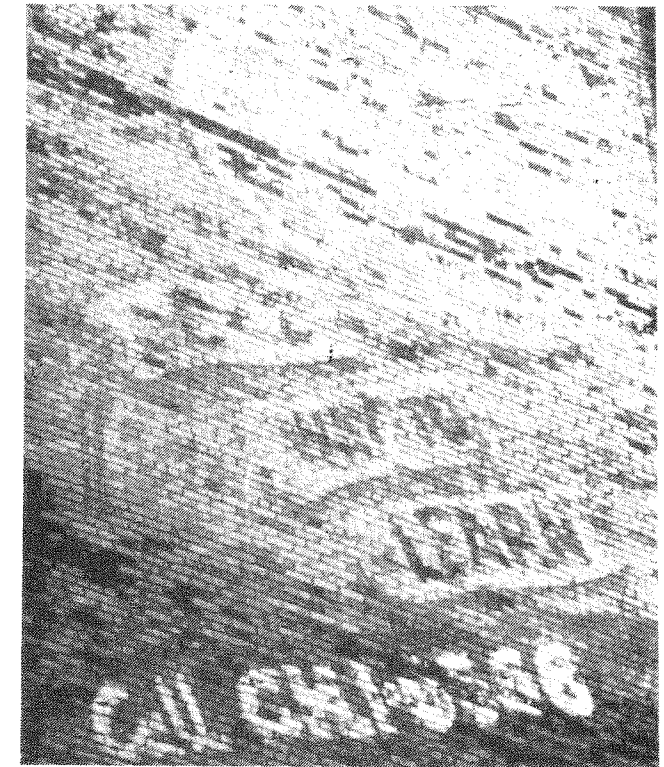
I. Billboards

Billboards of the conventional type - large scale with elaborate and visible supporting systems, roof-mounted, are not recommended for the East 4th Street District.

J. Temporary Signs

Temporary signs used by merchants for advertising and display of goods should be under the review of the DRB to ensure a minimum level of quality and appearance.

Temporary signs should be well-thought out, neatly lettered, and placed in the display window in a thoughtful maner. Hand-lettered signs should be prohibited by the DRB. All temporary signs for display windows should always be mounted inside the glass -not outside.



Existing sidewall signage

Free-standing sandwich board signs are permitted as long as they are professionally designed and fabricated. They must be located and kept behind the building line at all times so as not to pose a hazard to pedestrians. These types of signs should not be permanently installed, but should remain portable.

Banners and flags are encouraged but should also be monitored by the DRB. Presently, Commercial Building (#1 - at #328-334 Euclid Ave.) and the Frederick Building (#12 - at #2057-2063 East 4th Street) have existing flagpoles mounted on the structure. These should be preserved and re-used when redevelopment of these buildings occurs.

New flagpoles on buildings are encouraged as long as they are scaled and placed to compliment the building architecture. Banners may be permitted as judged appropriate by the DRB. Again, they should be professionally executed and not "handmade". Banners may extend across East 4th street but only as approved by the LDC and/or DRB. Banners which extend across the street should be strictly temporary and only for special events (Square to Square, sidewalk sales, etc.). A recent phenomenon which occurs downtown is the temporary hanging of colorful banners from street lights advertising upcoming special events and exhibits. This concept may have merit for adaptation to East 4th Street. In this case, the LDC itself should conduct such a signage program, with rotating banners advertising upcoming events/sales peculiar to the East 4th Street District.

All new flags and banners should be made from high strength and attractive materials (canvas, nylon) which will stand up to the weather. Less durable materials (plastic, fabric) are not encouraged since they will look poor when weathered, and present a trash problem.

**K. Entry Platform Signs**

A common technique in the 1930's and 40's was to spell out the shop name in tile or terrazzo in the deeply recessed floor of the exterior entry. This method of identification is very prevalent in the District.

Existing examples of this type of signage should be preserved as documents of earlier tenants, if feasible. New examples of this type of signage are encouraged where judged appropriate by the DRB. Sometimes this type of signage was incorporated into a patterned tile bulkhead below the display window (vertical plane).



Some examples of projecting signs on East 4th Street.

**L. Non-Conforming Signs**

Existing signs within the East 4th Street District boundaries which do not conform to the guidelines set forth herein should be allowed to remain in place until sign replacement is desired or becomes mandatory due to deterioration or new tenancy.

It may be possible to slightly modify existing signs at relatively low cost so that they are (more) in conformance with the signage guidelines. The LDC and DRB should work with property owners and merchants to this end when existing signs are judged to be non-conforming.

All new replacement signs should be designed, fabricated, and installed in accordance with the signage guidelines.



**UPPER FACADES**

We have considered the first floor facade, or storefront, previously. The upper facade begins at the top of the storefront and extends up to the top (or cornice line) of the structure.

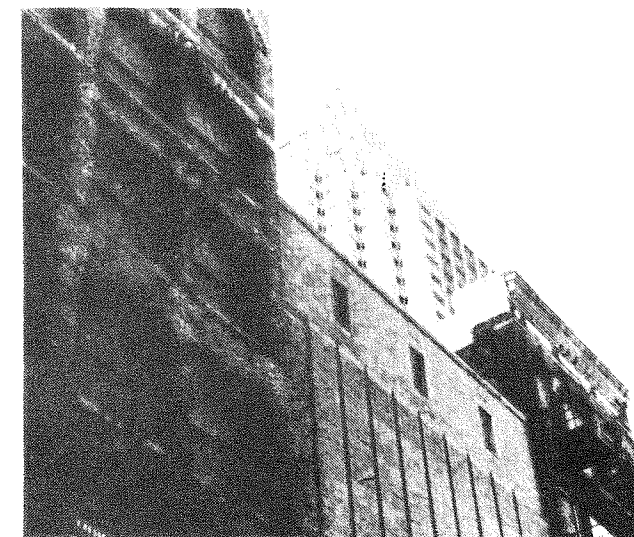
The architectural substance of East 4th Street, which is considerable, is contained largely in the upper facades of the buildings which make up the block. In general, these upper facades remain unchanged from their original turn-of-the-century appearance. Further, there is architectural detail and variety within the common period. The completeness of the block (there are no gaps in the building line) is rare and demands preservation.

**A. Building Cleaning**

Pressure-washing with water (with or without chemicals) is encouraged for upper facades that have become soiled by pollution. Sandblasting is not recommended since it destroys building fabric. Building cleaning should be accomplished by the "gentlest means possible," for each individual structure and its peculiar conditions.

**B. Masonry Repointing**

Repointing of mortar joints between masonry units is important to prevent water penetration. Mortar used for repointing should match the original mortar in ingredients, color, and type of joint. Mortars relying strictly on Portland Cement for coloration and strength (grey color, excessive strength) are strongly discouraged.



Upper facades of buildings on East 4th Street



Existing wood windows with signage (to be preserved)

**C. Windows**

Existing original windows can usually be repaired for extended service rather than replaced. Modern aluminum replacement windows which do not have the same characteristics and proportions of the original windows are strongly discouraged.

If insulated glass is desired for energy reasons, interior mounted storm/screen windows are recommended over exterior mounted storms - which would change the outward appearance of the building. It may also be possible to double glaze the existing wood sash, if they are thick enough.

The mounting of air conditioning units and exhaust fans in upper floor windows is strongly discouraged. Problems of interior climate control should be solved through the main building mechanical systems so as to preclude these visual detractions wherever possible.

Similarly, interior acoustic ceilings should stop short of exterior windows so they may remain fully active and admitting light. Finally, the issue of interior blinds and curtains will affect the exterior appearance of the building. The DRB should monitor these installations as well to ensure they are high quality and well-coordinated. Horizontal or vertical blinds are encouraged treatment since they present a neat and uniform appearance. Garish or "frilly" residential types of curtains are not recommended.

Awnings may be considered for upper floor windows since this was typical of the period. Residential type shutters - whether functional or false, should not be added to the upper facades - except possibly sidewall openings as functioning fire stops.

**D. Cornice or Parapet**

The top edge, or cornice, of each building within the District is a crucial visual element. Taken collectively, the cornice lines constitute the vertical limits to the District and are what give the block its "outdoor room" quality. This element of the building is also called the parapet.

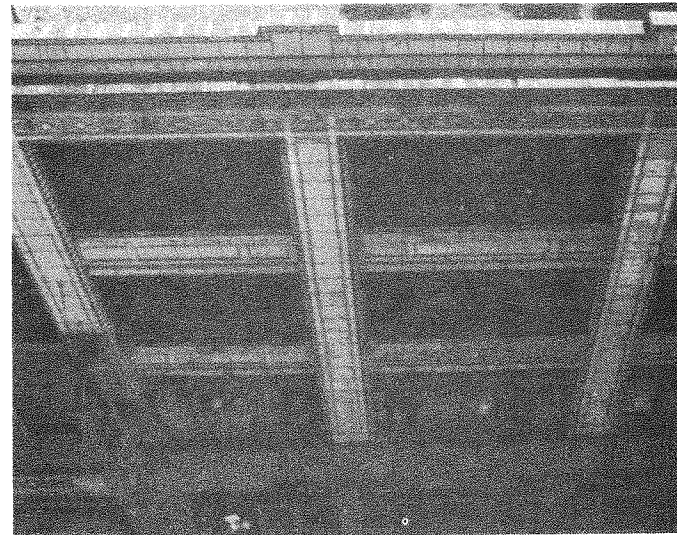
The cornice or parapet is particularly susceptible to deterioration because it is so exposed to the weather. As the parapet deteriorates, cap stones fail and become missing, brick crumbles, wood detail rots, and a safety hazard is created (building elements falling to the street below).

The cornice or parapet should be restored to its original condition wherever possible. Replacement materials should match the originals in color, texture, size and shape.

It may be possible to use a substitute material (such as fiberglass) to simulate an original material (such as metal) when this is cost effective and found visually acceptable by the DRB.

Under no circumstances should an original cornice be jacketed with a veneer type material - such as aluminum, thereby obscuring original features and detail. Nor should ornamental figures be eliminated to reduce the care and cost of repairing a cornice.

Structural reinforcement of the cornice, if determined to be necessary, should not be visible from the street below.



Existing terra-cotta parapet (McCrorry Building)

**E. Dramatic Lighting**

(See also Right-of-Way - Street Lighting above.)

This technique refers to the lighting of the entire upper facade of selected buildings. This is similar to what is now being done with Terminal Tower and other landmarks and is encouraged.

An important consideration is whether white (fluorescent, sodium vapor) or yellow (incandescent) light is appropriate to the inherent coloration of a given facade.



Upper facades of buildings on East 4th Street

While it may not be appropriate to light every building in the District in this manner, certain notable buildings may be selected by the DRB. Further, it may be determined that only certain parts of buildings (i.e. cornices only) should be dramatically flood lit. Or, dramatic lighting may be confined to the lighting of a sign painted high on a brick sidewall.

**F. Fire Escapes**

There are three existing front fire escapes within the District - two on the Windsor Block and one on the Krause Building.

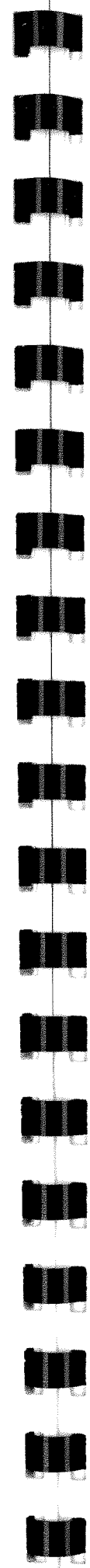
These elements of the upper facade should be retained since they are necessary for fire safety and are important visually.

Fire escapes should be regularly maintained so as to be functional and safe. They should be painted to prevent corrosion and ensure that they are attractive-looking.

Other fire escapes which do not face directly onto East 4th Street (side or rear walls) should also be retained and repaired for life safety reasons.



Existing fire escapes should be preserved (Windsor Block)



## BIBLIOGRAPHY

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5. **Preservation Briefs #11 - Rehabilitating Historic Storefronts**, H. Ward Jandl, National Park Service, Technical Preservation Services, Washington, D.C., September 1982.
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9. **"Heart of Willoughby", Revitalization Guidelines**, Kim F. Zarney/TOWNSCAPE and Robert C. Gaede, Architect, City of Willoughby, Ohio, September 1980
10. **A Recommended Sign Ordinance for Willoughby, Ohio**, Robert C. Gaede Architects, Inc. /David Hartt Planning Consultants/and Kim F. Zarney/TOWNSCAPE, Office of the Planning Commission, Willoughby, Ohio, June 1982.
11. **National Register Nomination for East 4th Street, Cleveland, Ohio**, prepared by Robert Zimmer, East 4th Street Merchants Association, November 1986.
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## APPENDIX

### Storefront Evolution Series

#### 1. THE ORIGINAL FACADE

The most prominent features of this early 20th century structure were its bay windows (A) topped by tile roofs (B) signage, display windows, and entrance areas (C). All were in proportion to each other.



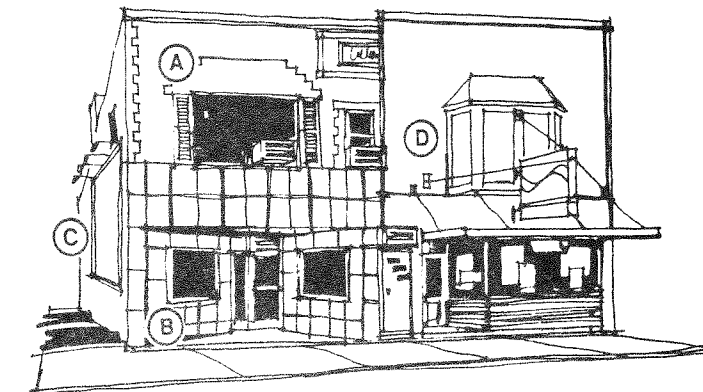
#### 2. MAJOR STOREFRONT CHANGES

Transom areas (A) have become boxed as well as a bay window (B). Projecting signage (C) and a metal canopy have further visually split the structure. Bulky air conditioning units (D) have been placed in upper floor windows.



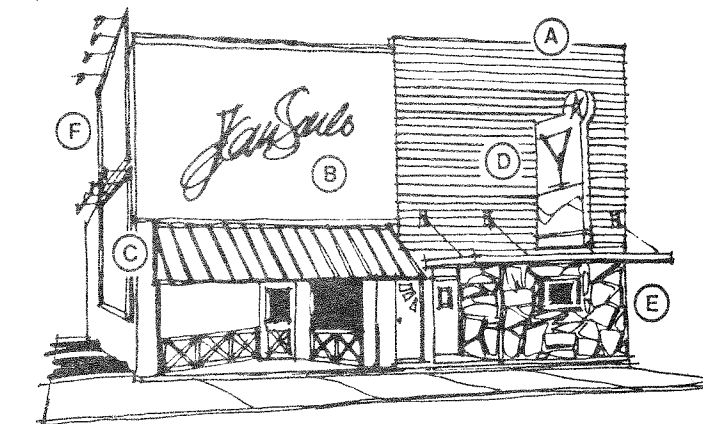
#### 3. TWO SEPARATE FACADES ARE CREATED

Replaced by a single window (A), a void has been created by the loss of the bay window. Display window has been blocked in (B). Side windows have become blocked by a billboard (C) and new facing material has been extended over half of the structure.



#### 4. THE ORIGINAL FACADE IS NOW GONE

The uppermost trim has been removed (A). New fascia (B) and a mansard canopy (C) have been added. The remaining window has been covered over (D). Stonework has added yet another texture (E) and a second billboard has been added (F).



(Illustration: Kim Zarney/TOWNSCAPE)

**Arcade** — a blind or open range of arches with pier or column supports.

**Arch** — a means of spanning an opening by the use of small units of masonry.

**Architrave** — in classical architecture the member between the capital and frieze; also door or window trim.

**Ashlar** — rectangular units of dressed masonry.

**Baluster, Balustrade** — a small railing support; the railing and its balusters are a balustrade.

**Battlement** — a parapet having indentations or slots; known also as crenelation.

**Bay** — a structural division of a building.

**Bay Window** — a projecting, windowed bay resting on a foundation.

**Belt Course** — a horizontal band around a building, often of a contrasting material.

**Board and Batten** — vertical siding consisting of flat members with narrow projecting strips to cover the joints.

**Bracket** — a member which supports a cantilevered section.

**Buttress** — an engaged pier designed to strengthen a wall.

**Cantilever** — a projecting section, beam or upper floor.

**Capital** — the uppermost part of a column or other support.

**Clerestory** — an upper windowed portion of a building designed to provide natural light to a high-ceilinged room.

**Colonnade** — a row of columns carrying an entablature.

**Column** — a vertical support, usually round, normally having three parts: base, shaft and capital.

**Console** — a decorative bracket of greater height than projection.

**Coping** — the capping member of a wall or parapet.

**Corbel** — a support produced by extending successive masonry units out from the wall surface.

**Corbel Table** — a range of corbels, often arcaded.

**Cornice** — the top section of a classical entablature; also the projecting terminus of a wall.

**Cresting** — decoration along a roof ridge.

**Dado** — decorative treatment given the lower part of an interior wall.

**Dentil, Denticulated, Denticular** — a row of small rectangular blocks forming a molding; a cornice or other member having this molding is denticulated or denticular.

**Dormer** — a structure, usually gabled, which projects from a roof.

**Engaged** — a column or pier attached to, and appearing to be partially embedded in, a wall.

**Entablature** — the construction above the classical column capital, consisting of architrave, frieze and cornice.

**Facade** — the front or "face" of a building.

**Fascia** — the lowest member of a classical cornice; also a horizontal band which is part of an entablature.

**Finial** — the decorative, pointed terminus of a roof or roof form.

**Frieze** — the middle member of a classical entablature, often decorated.

**Gable** — the triangular part of an end wall under the pitched roof.

**Gable Roof** — a single-pitched roof having a gable at each end.

**Gambrel Roof** — a double-pitched roof.

**Half Story** — a habitable space, usually produced by dormers, above the cornice of a building.

**Hipped Roof** — a roof having a slope on all four sides; a hip is the line of meeting of two of these slopes.

**Hoodmold** — a projecting molding over a window or door.

**Jamb** — the side of a doorway or window opening.

**Keystone** — the top member of an arch.

**Light** — an individual pane of glass.

**Lintel** — a beam supported on vertical posts at its ends — the most common method of spanning an opening.

**Mansard Roof** — a pitched roof having two slopes, the lower one of which is much steeper than the upper.

**Modillion** — a decorative bracket of greater projection than height.

**Mullion** — a vertical member dividing a window into individual lights.

**Muntin** — a horizontal member dividing a window into individual lights.

**Ogee** — an S-curve or inverted S-curve; the term is used to describe the shape of an arch, a molding, etc.

**Order** — the form of the column and its entablature in classical architecture.

**Oriel** — a bay window supported on corbels or brackets.

**Palladian Motif** — an opening consisting of an arched center section flanked by lower linteled sections having entablatures.

**Parapet** — a low protective wall at the edge of a roof.

**Pediment** — a triangular or segmental-curved gable.

**Pier** — a vertical supporting member.

**Pilaster** — an engaged pier, sometimes having a capital and base.

**Plate** — in wood construction, the horizontal member at the top of a wall which supports the roof structure.

**Portico** — a usually pedimented porch supported by columns.

**Quoin** — decorative treatment sometimes given the masonry at the corners of a building.

**Rock-faced** — stone which has a natural, undressed surface.

**Rosette** — a circular floral ornament.

**Row Buildings** — structures built as part of a row of similar buildings, sharing side walls and roof.

**Rubble** — undressed, broken stone used in buildings.

**Rustication** — stone with emphasized joints, achieved by beveling the edges or giving the edges a special decorative treatment.

**Sash** — a frame designed to hold window glass.

**Scrollwork** — open woodwork produced by a jigsaw.

**Shaft** — the section of a classical column between the base and the capital; also used to describe the middle sections of buildings.

**Siding** — exterior wall covering which generally consists of wood boards nailed to a frame.

**Sill** — the horizontal member located at the top of a foundation supporting the structure above; also used to describe the horizontal member at the bottom of an opening.

**Soffit** — the underside of an architectural element.

**Spandrel** — the surface at the side of an arch; in frame structures the spandrel is the blank space between windows in successive stories.

**Storefront** — the street-level facade of a commercial building, usually having display windows.

**Terra Cotta** — decorative clay units which are fired in molds.

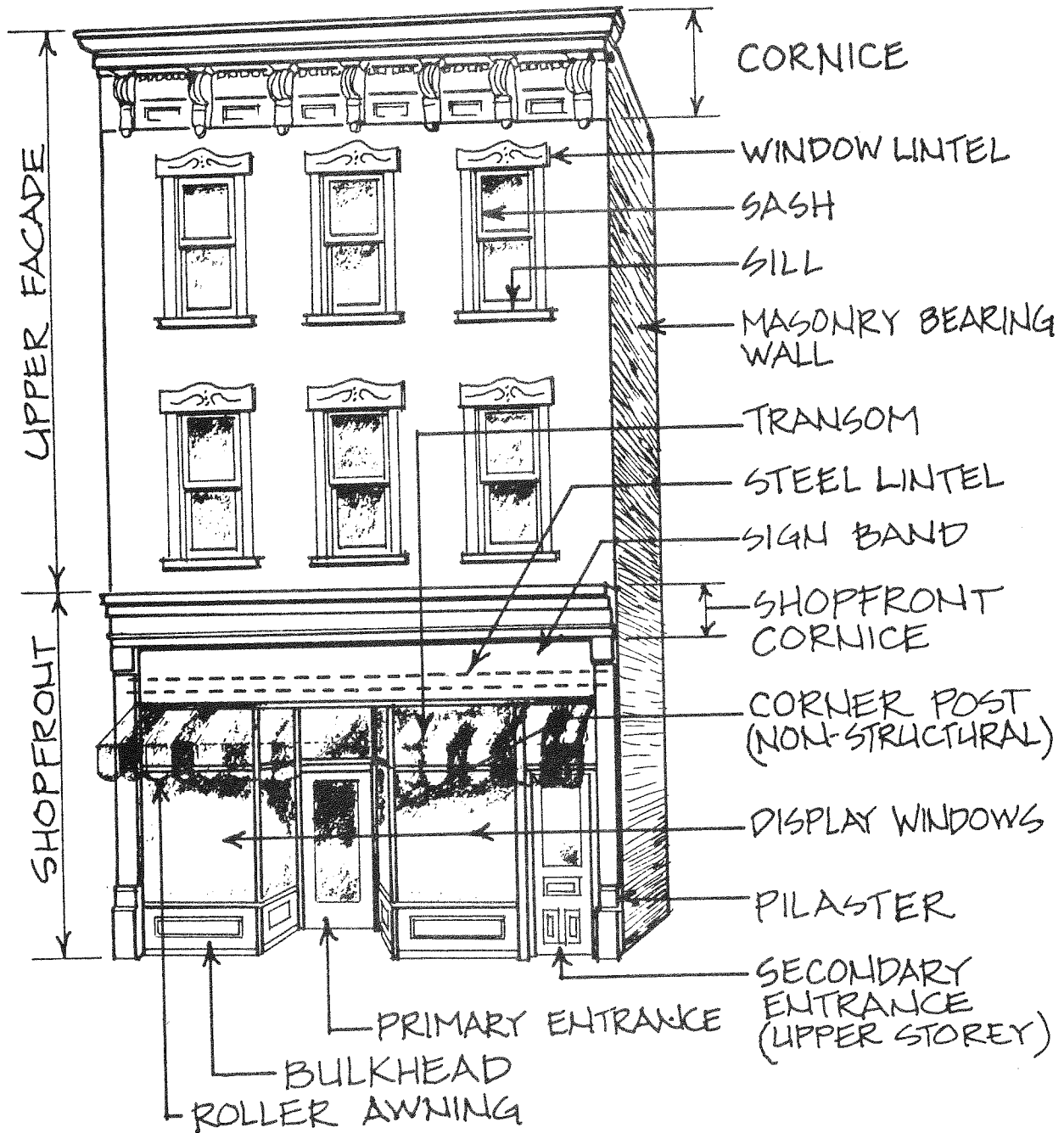
**Transom Window** — a small operable or fixed window located above a door or other window.

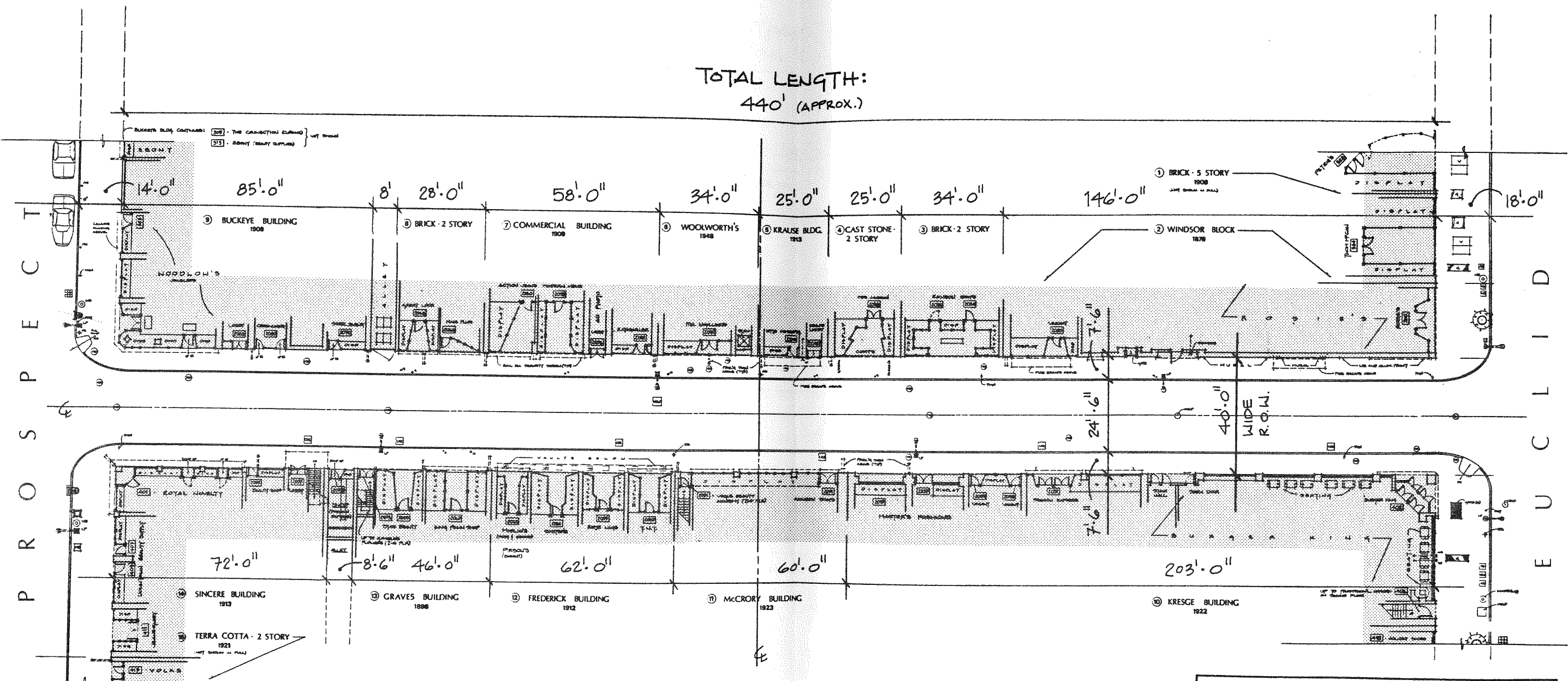
**Wainscot** — a decorative treatment, normally wood, given the lower part of interior walls.

**Water Table** — a projecting belt course located above the foundation to direct water away from it.

Source: Main Street Ohio

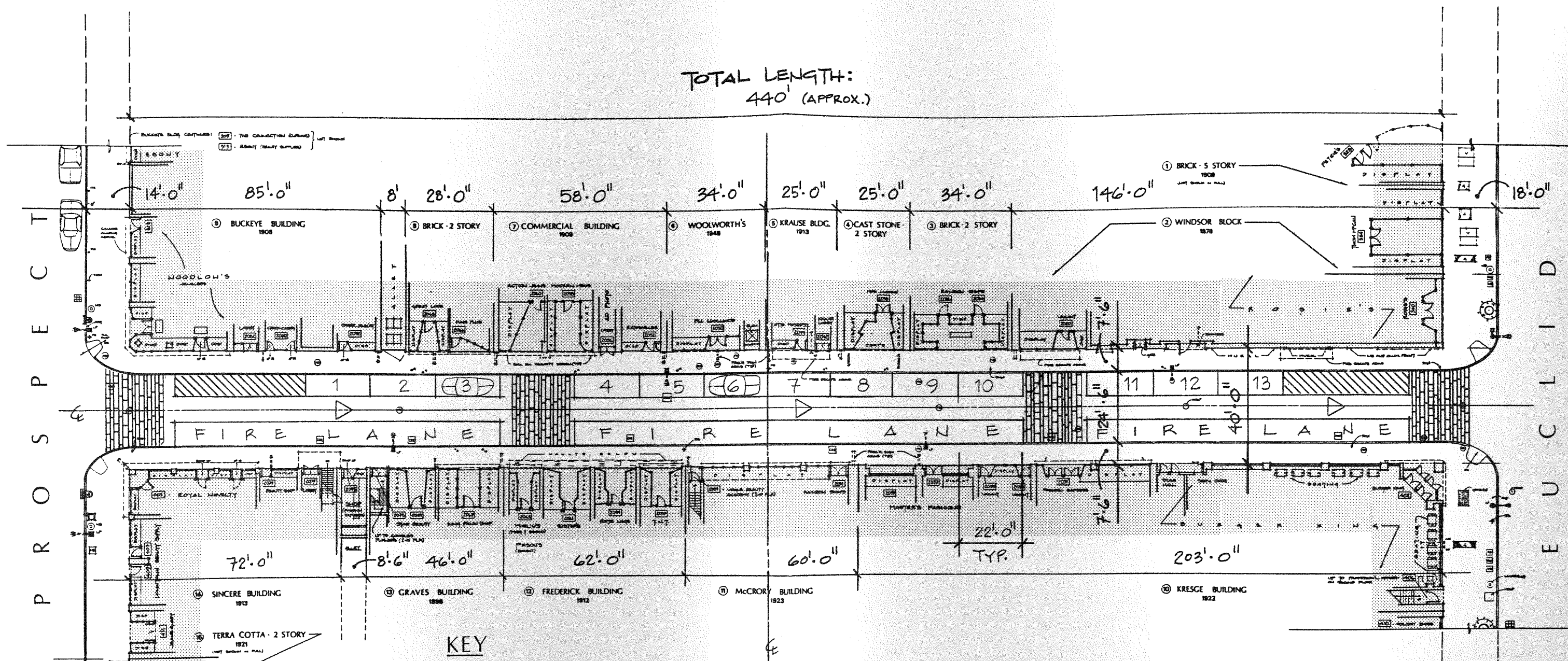
# TYPICAL FACADE COMPONENTS





EAST 4TH STREET DISTRICT CLEVELAND OHIO	
<b>EXIST. PLAN</b>	job #: 8907 date: 3/89 scale: 1/32"
NORTH	<b>GAEDE SERNE ZOF CIN ARCHITECTS INC.</b> 820 SUPERIOR AVE. NW. CLEVELAND, OHIO 44113 ARCHITECTURE URBAN DESIGN HISTORIC PRESERVATION INTERIOR DESIGN 216-241-3399
EX-1	

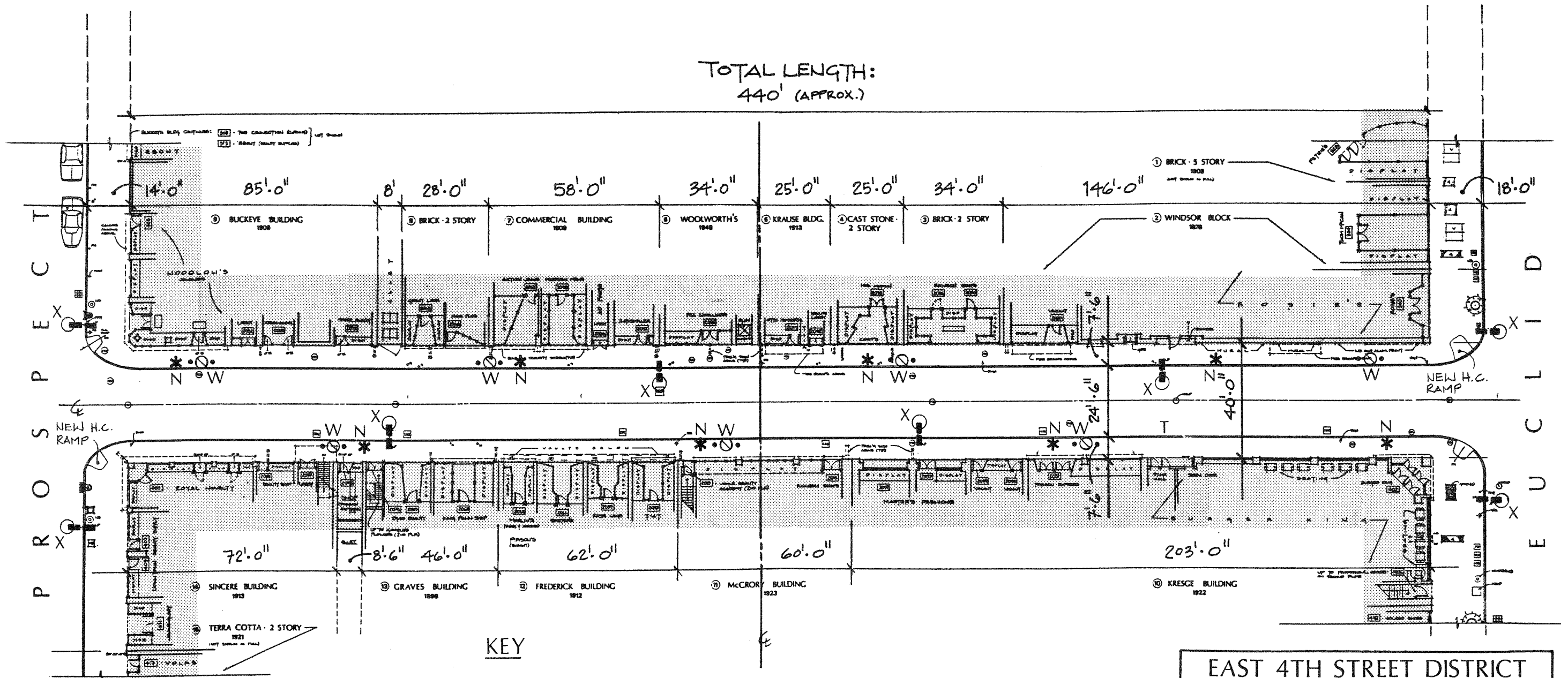
TOTAL LENGTH:  
440' (APPROX.)



- KEY**
- 13 • PARALLEL PARKING SPACES
  - DELIVERY ZONES
  - DECORATIVE PAVERS

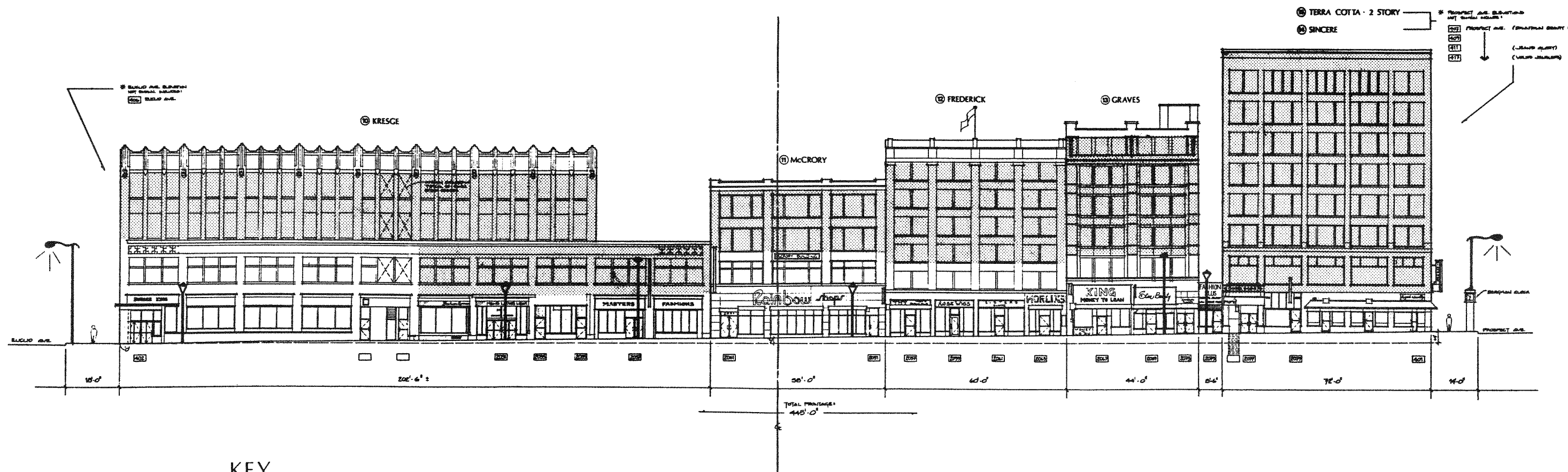
EAST 4TH STREET DISTRICT CLEVELAND OHIO	
<b>PROP'D PLAN</b> (PAVING/VEHICLES)	job #: 8907 date: 3/89 scale: 1/32"
GAEDE SERNE ZOFKIN ARCHITECTS INC. 820 SUPERIOR AVE. NW. CLEVELAND, OHIO 44113 ARCHITECTURE URBAN DESIGN HISTORIC PRESERVATION INTERIOR DESIGN	
<b>A.1</b>	

TOTAL LENGTH:  
440' (APPROX.)

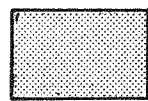


- KEY**
- (X) — • EXIST. COBRA HEAD FIXTURE
  - (N) — • NEW HISTORIC LITE FIXTURE
  - (W) — • WASTE CONTAINER/BOLLARDS

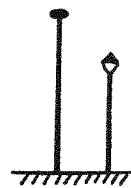
EAST 4TH STREET DISTRICT CLEVELAND OHIO	
<b>PROP'D PLAN</b> (LIGHTING/WASTE)	job #: 8907 date: 3/89 scale: 1/32"
NORTH	GAEDE SERNE ZOF CIN ARCHITECTS INC. 820 SUPERIOR AVE. NW. CLEVELAND, OHIO 44113 ARCHITECTURE URBAN DESIGN HISTORIC PRESERVATION INTERIOR DESIGN 216-241-3339
<b>A-2</b>	



**KEY**

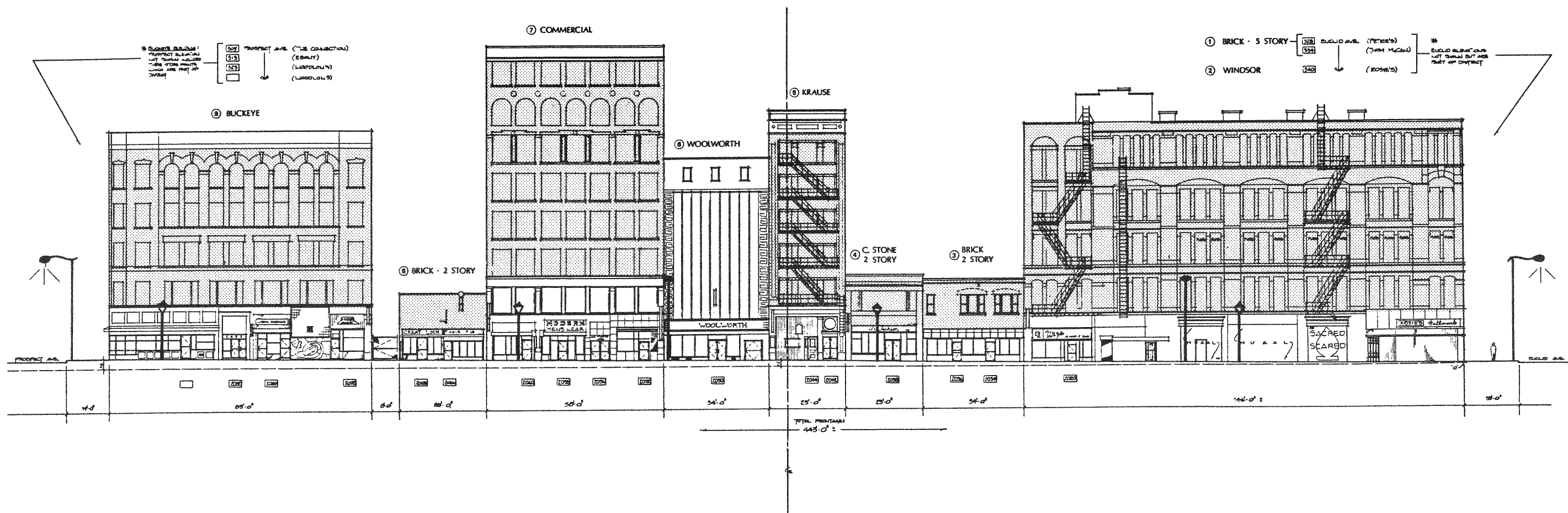


• SHADING DENOTES UNOCCUPIED UPPER FLOORS



• EXIST. COBRA HEAD FIXTURE  
• NEW HISTORIC LITE FIXTURE

EAST 4TH STREET DISTRICT CLEVELAND OHIO	
EAST ELEV.	job #: 8907 date: 3/89 scale: 1/32"
	GAEDE SERNE ZOF CIN ARCHITECTS INC. 820 SUPERIOR AVE. NW. CLEVELAND, OHIO 44113 ARCHITECTURE URBAN DESIGN HISTORIC PRESERVATION INTERIOR DESIGN 216-241-3339
	A-3



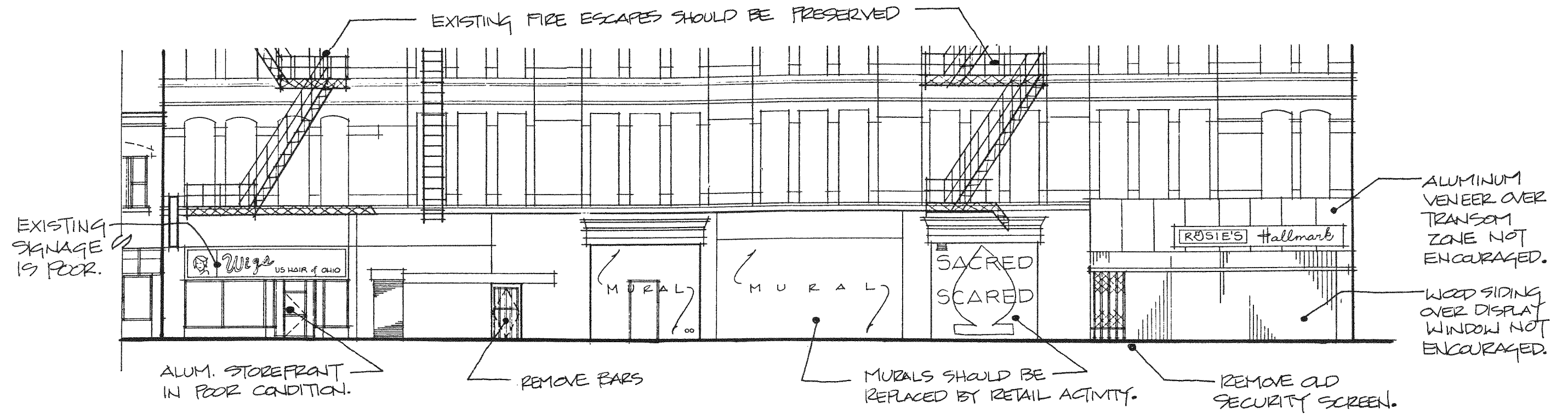
\* COBERTE BRICKS:  
 PROTECT ALLWAYS  
 W/1" THICK GROUT  
 - 1/2" FOR POINTS  
 - 1/4" FOR JOINTS  
 - 1/4" FOR POINTS  
 - 1/4" FOR JOINTS

① BRICK - 5 STORY  
 ② WINDSOR  
 BUCKINGHAM (PETERS)  
 (1914 MASON)  
 (BOOKS)

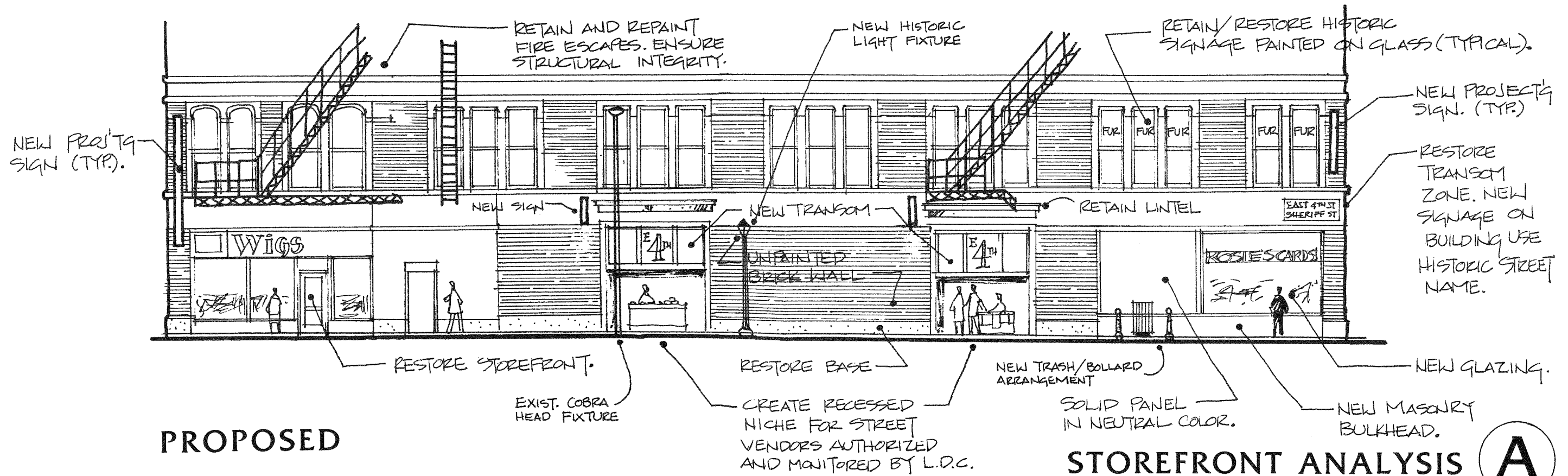
**KEY**

- SHADING DENOTES UNOCCUPIED UPPER FLOORS
- EXIST. COBRA HEAD FIXTURE
- NEW HISTORIC LITE FIXTURE

EAST 4TH STREET DISTRICT CLEVELAND OHIO	
WEST ELEV.	job #: 8907 date: 3/89 scale: 1/32"
 NORTH  GAEDE SERNE ZOF CIN ARCHITECTS INC. 820 SUPERIOR AVE. NW CLEVELAND, OHIO 44113 ARCHITECTURE URBAN DESIGN HISTORIC PRESERVATION INTERIOR DESIGN 216-241-3399	A-4

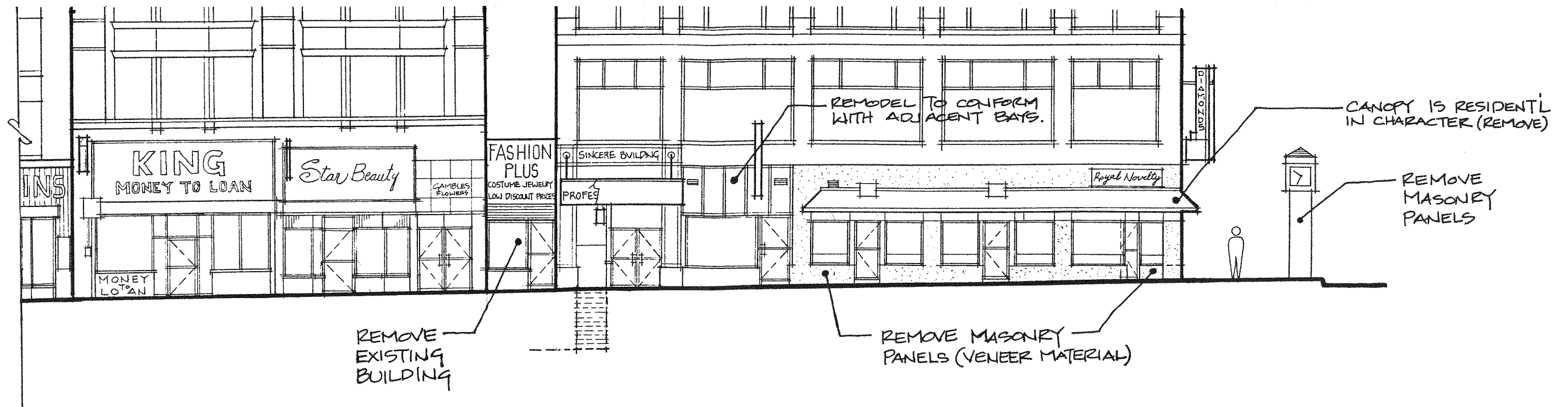


**EXISTING** • NO SCALE

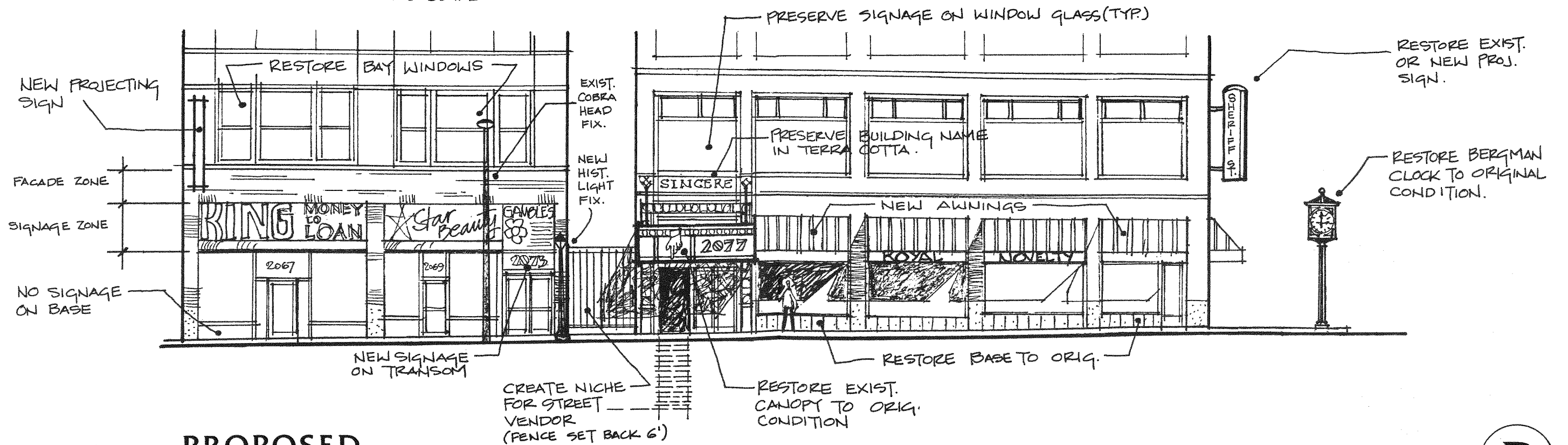


**PROPOSED**

**STOREFRONT ANALYSIS** A



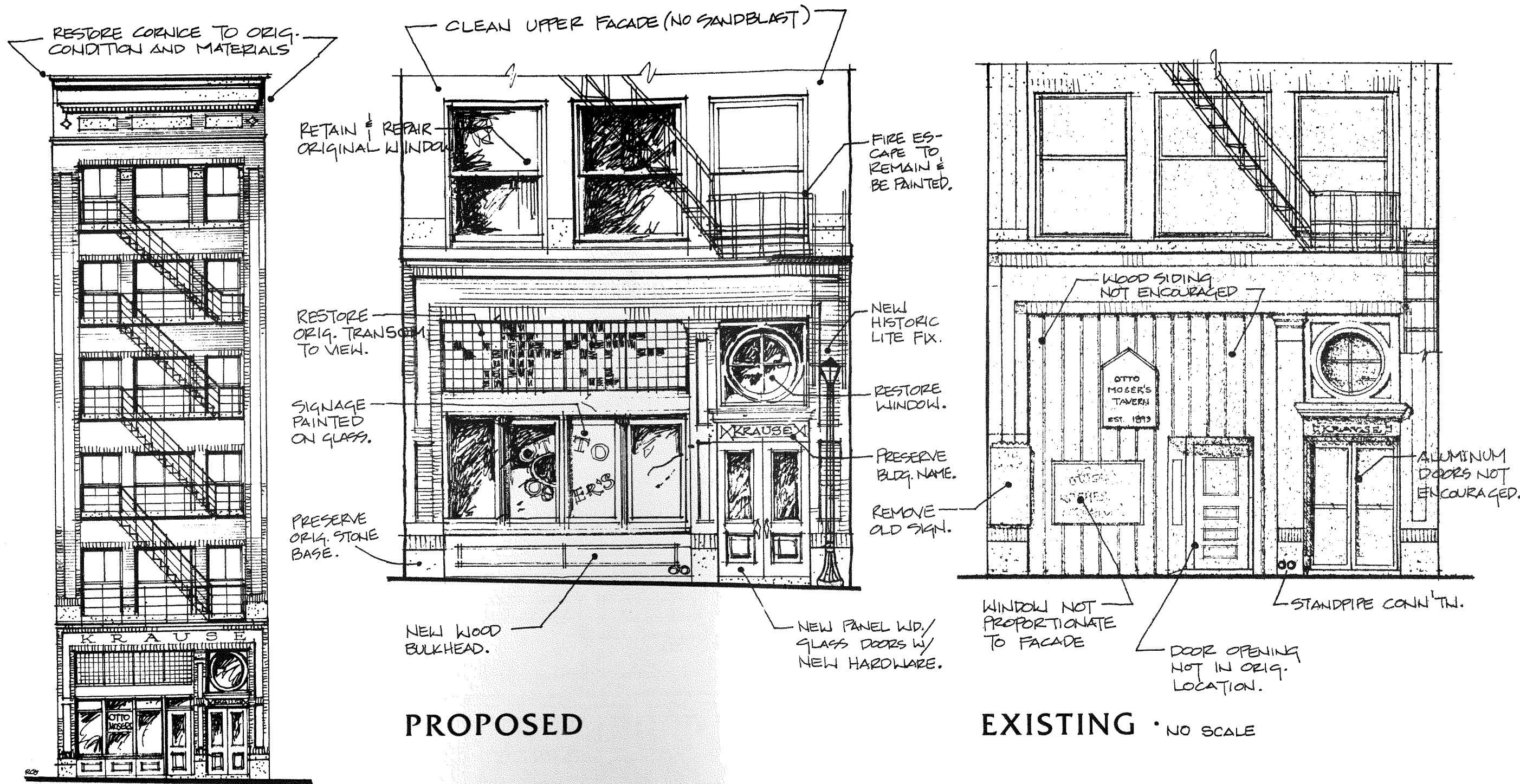
EXISTING • NO SCALE



PROPOSED

STOREFRONT ANALYSIS

B

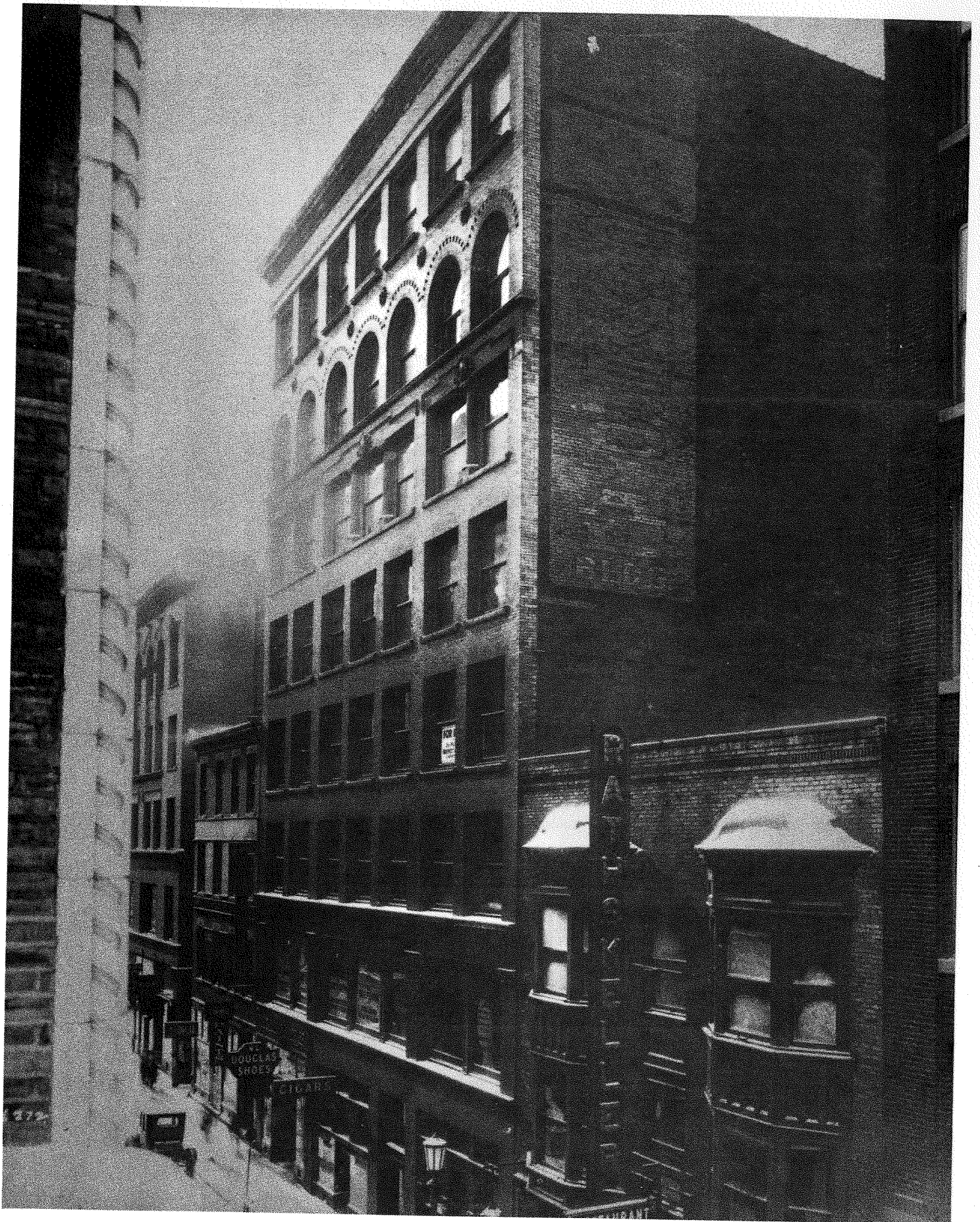


**PROPOSED**

**EXISTING** • NO SCALE

**UPPER FACADE**

REMODELED OR RESTORED STOREFRONTS MUST BE DESIGNED SO THAT THEY ARE COMPATIBLE IN PROPORTION/MATERIALS TO THE UPPER BUILDING FACADE.



East 4th Street, circa 1900



**East 4th Street, circa 1910**  
**(Source: Western Reserve Historical Society)**