



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

# Cleveland Board of Zoning Appeals

June 08, 2026

**\*\*PLEASE MUTE YOUR MICROPHONE\*\***

Arleesha Wilson, Chairwoman  
Elizabeth Kukla, Secretary



# Cleveland Board of Zoning Appeals

## P R E A M B L E

In compliance with notification requirements of Ohio's open meeting law and section 101.021 of the Codified Ordinances of Cleveland, Ohio, 1976, notice of this meeting has been publicly posted.

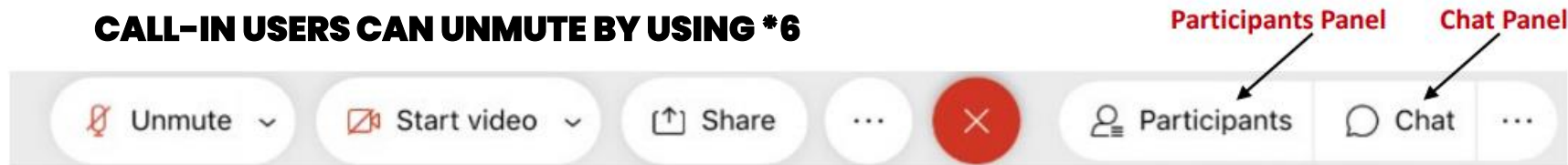
All boards and commissions under the purview of the City Planning department conduct their meetings in a manner modeled after Robert's Rules of Order. Actions during the meeting will be taken by voice vote. Recusals from any vote due to a conflict of interest should be stated for the record prior to the taking of any vote.

In order to ensure that everyone participating in the meeting has the opportunity to be heard, we ask that online participants use the raise hand feature before asking a question or making a comment. The raise hand feature can be found in the participants panel on the desktop and mobile version and activated by clicking the hand icon. Please wait for the Chair or facilitator to recognize you and be sure to select unmute and announce yourself before you speak. When finished speaking, please lower your hand by clicking on the raise hand icon again and mute your microphone.

We will also be utilizing the chat feature to communicate with participants. The chat feature can be activated by clicking the chat button located on the bottom of the Webex screen.



**CALL-IN USERS CAN UNMUTE BY USING \*6**



June 08, 2026

# Cleveland Board of Zoning Appeals

## P r e a m b l e

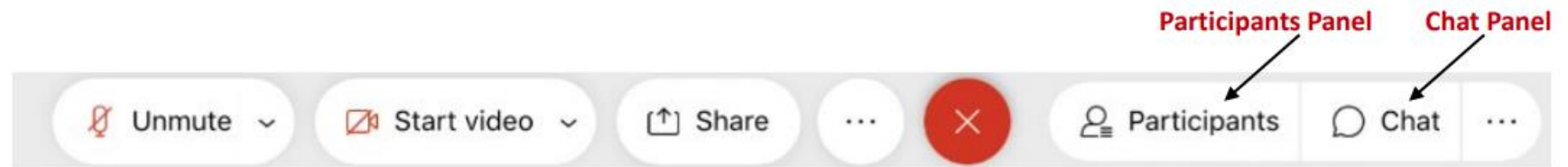
ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.

THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE FOR PUBLIC VIEW.

WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.

**ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER HAVE BEEN CONSIDERED.**

WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.



June 08, 2026

# Cleveland Board of Zoning Appeals

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## Order of the Hearing:

1. Description of the case will be read into the record.
2. Any person wishing to speak on the matter will be sworn in.
3. Project team will present their proposal.
4. Board members will have the opportunity to ask questions.
5. Those in favor of the project will have the opportunity to speak.
6. Those in opposition of the project will have the opportunity to speak.
7. The Secretary will read any written correspondence.
8. City Planning Commission will give their recommendation.
9. Councilmember, if present, will give comments.
10. Project team may respond to any comments made by other parties.
11. Board members may ask additional questions or suggests conditions.
12. Motion will be made and seconded.
13. Secretary will call the role.

## Rules of the Hearing:

1. Please speak clearly for the record; our Court Reporter can only record one voice at a time.
2. Do not speak unless recognized by the Chair.
3. All conversation must go through the Chair (no back and forth conversations)
4. Hold your comments until the speaker is done speaking.
5. At the request of the Chair Comments may be limited to 2 minutes.

# Cleveland Board of Zoning Appeals

## PROTOCOL FOR PUBLIC COMMENTS

This meeting of Cleveland's Board of Zoning Appeals is a lawful meeting that follows the following policies regarding public commentary, per Section 605.04 of the Codified Ordinances:

- a) No person, with purpose to prevent or disrupt a lawful meeting, shall do any act which obstructs or interferes with the due conduct of such meeting.
- b) Members of the public may provide public comment if required by law, in accordance with our rules, and sometimes at the discretion of the chair.
  - Disruptions include, but are not limited to, speaking out of turn and/or making loud utterances that interfere with the due conduct of this lawful meeting, and may constitute a misdemeanor and a violation of Section 605.04.
- c) If this meeting is substantially disrupted, the Chair will call for a recess, and the room will be cleared.
  - Persons who violate the City Ordinances and commit misdemeanors may be subject to prosecution.
- d) When this body is able to return from recess, then in compliance with the Ohio Open Meeting Act, if applicable, and Section 101.021 of the Codified Ordinances, the meeting will be open to the public.

# Cleveland Board of Zoning Appeals

## Call to Order & Roll Call

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

June 08, 2026

# Cleveland Board of Zoning Appeals

## Postponements/Withdrawals



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

June 08, 2026

# Postponements / Withdrawals

## Calendar No. 24-089

## 4843 Wendell Ave

## Ward 3

Shelter The People Cleveland, owner, proposes to establish use as a church, nonprofit charitable offices and assembly space in a B1 Two-Family Residential District. The owner appeal for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

June 08, 2026

1. Section 337.03(b) which states Two-Family Residential District allows uses as regulated in a One-Family Residential District.
2. Section 337.02 (f)(1) which states that churches and other places of worship must be at least 15 feet away from other premises in a Residential District. Proposed use is less than 15 feet away from adjoining premises.
3. Section 337.02(3)(g) which states that charitable institutions, not for correctional purposes, must be at least 30 feet away from other premises in a Residential District. Proposed use is less than 30 feet away from other premises in a Residential District.
4. Section 349.04(e) which states accessory off-street parking spaces for places of worship and assembly uses require 1 space per 6 seats. No parking is provided on site.
5. Section 359.02(a) which states that a nonconforming use of a building or premises, which has been discontinued, shall not thereafter be returned to such nonconforming use.

## Calendar No. 26-050

## 11709 Lorain Ave.

## Ward 12

May Morscher, owner, and Anew Behavior Health LLC., propose to change use from office to mental health center in a Local Retail Business Zoning District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. Section 343.01 which states that Mental health center not permitted; permitted in Institutional Research District 340.02(b)
2. Section 349.04(d) which states that 1 parking space for each 300 square feet of gross floor area is required.

# Cleveland Board of Zoning Appeals

## Public Hearing

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

June 08, 2026

Bobby Soha, owner proposes to establish use as a bar/restaurant with billiards table on the first floor and a dwelling on the second floor in a B1 Multi-Family Residential District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

June 08, 2026

1. **Section 343.01(b)(2)(F)** which states that the proposed bar/restaurant is not permitted in Multi-Family but is first permitted in Local Retail Business
2. **Section 343.11(b)(2)(L)** which states that billiards use is first permitted in General Retail Business District provided the use is sufficiently sound insulated to confine the noise to the premises.
3. **Section 347.12(a)(1) & (2)** which states that no such billiards use shall be established within five hundred (500) feet of a residential district or day care center, kindergarten, elementary or secondary school, public library, church, playground, public or nonprofit recreation center or community center. Property is adjacent to residential district.
4. **Section 347.12 (a)(2)** which states that no such use shall be established within five hundred (500) feet of another such use.
5. **Section 349.04** which states that accessory parking spaces shall be provided with one per dwelling unit, plus one (1) for each 6 seats or total parking area equal to 3 times the gross floor area, whichever is greater.
6. **Section 349.05 (a) & (b)** which states that
  - a) The required accessory off-street parking facility shall be located on the same lot as the use for which it is provided or on a lot within four hundred(400) feet of the nearest boundary of the lot upon which the use is located measured by a straight line between the two (2) points. All such parking spaces shall be located behind the setback building line. No such parking space shall be located within ten (10) feet of any wall of a residential building or structure if such wall contains a ground floor opening designed to provide light or ventilation for such building or structure.
7. **Section 349.05(b)** which states that the separate lot upon which such accessory parking facilities are provided shall be in the same ownership or control as the building or use to which the parking facilities are accessory.
8. **Section 347.08(a)** which states that Trash areas and refuse containers shall be located in such manner that they shall not be visible from the public street or from any lot or lots designated for residential purpose. Such trash areas shall be screened with opaque fencing not lower than the height of the refuse containers therein. Adequate vehicular access to and from such area or areas for collection of trash and/or garbage shall be provided at reasonable hours.

June 08, 2026

**SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:**

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU  
ARE ABOUT TO GIVE IS THE WHOLE TRUTH AND  
NOTHING BUT THE TRUTH?

**Please Raise Your Hand.  
Reply with I DO and YOUR NAME.**

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June 08, 2026

# HISTORY OF THE PROPERTY



June 08, 2026

# LEGAL STANDARD

Calendar No. 26-048: 3258 W. 73<sup>rd</sup> St.

Madam Chair, Members of the Board, Appellant is requesting use variances and area variances from the minimum distance, parking, and trash requirements of the zoning code.

To obtain the use variances, Appellant must prove that denying the request:

1. Will result in an **unnecessary hardship** particular to the property such that there will be no economically feasible use of the property without the variances;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variances will not be contrary to the purpose and intent of the zoning code.

To obtain the area variances, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variances will not be contrary to the purpose and intent of the zoning code.



Zoning

- One Family
- Two Family
- Multi-Family
- Semi-Industry

June 08, 2026



CCGIS, CCFO, Map data © OpenStreetMap contributors, Microsoft, Facebook, Google, Esri Community Maps contributors, Map layer by Esri

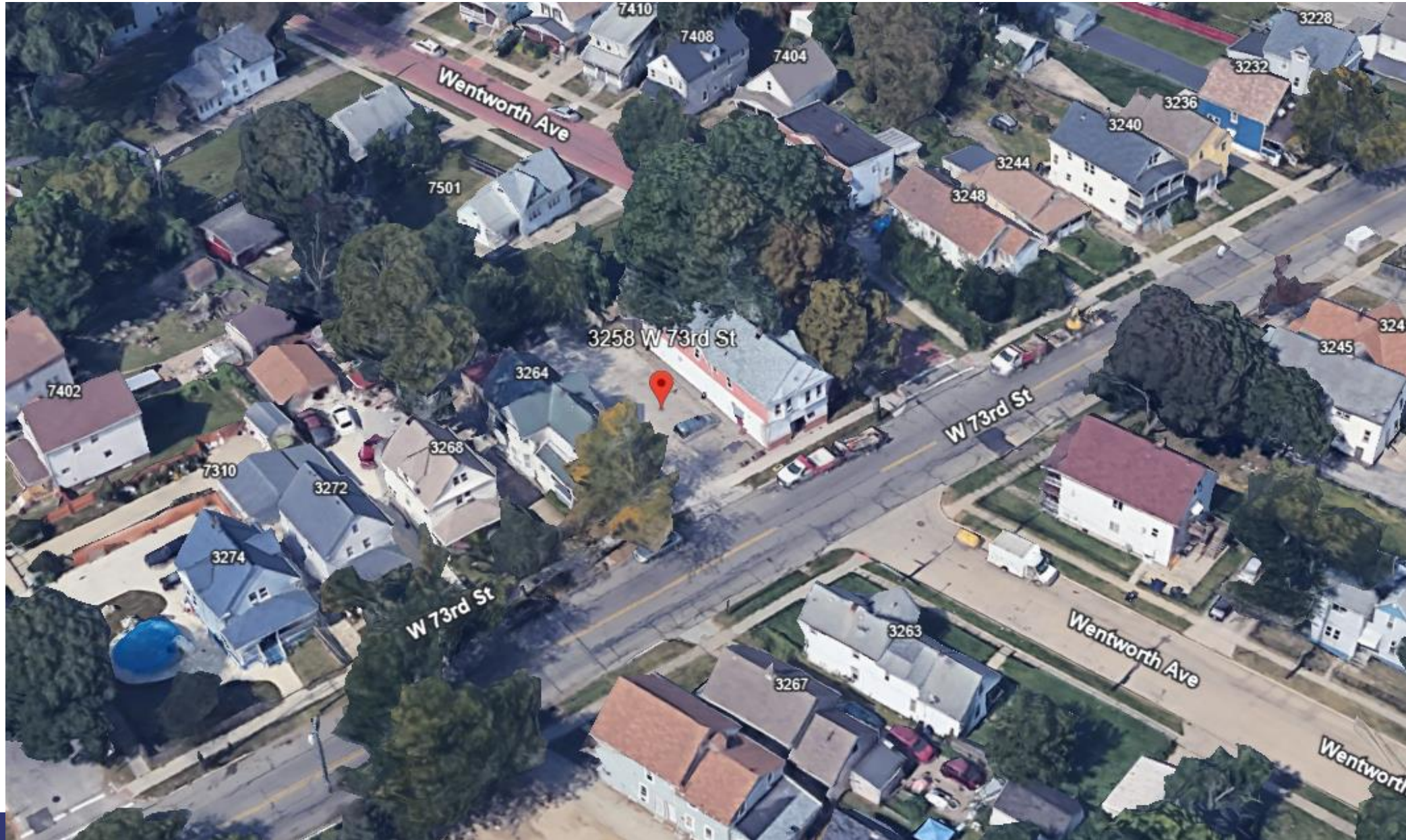
Neville Ave

Calendar No 26-048

3256 W 73rd St.

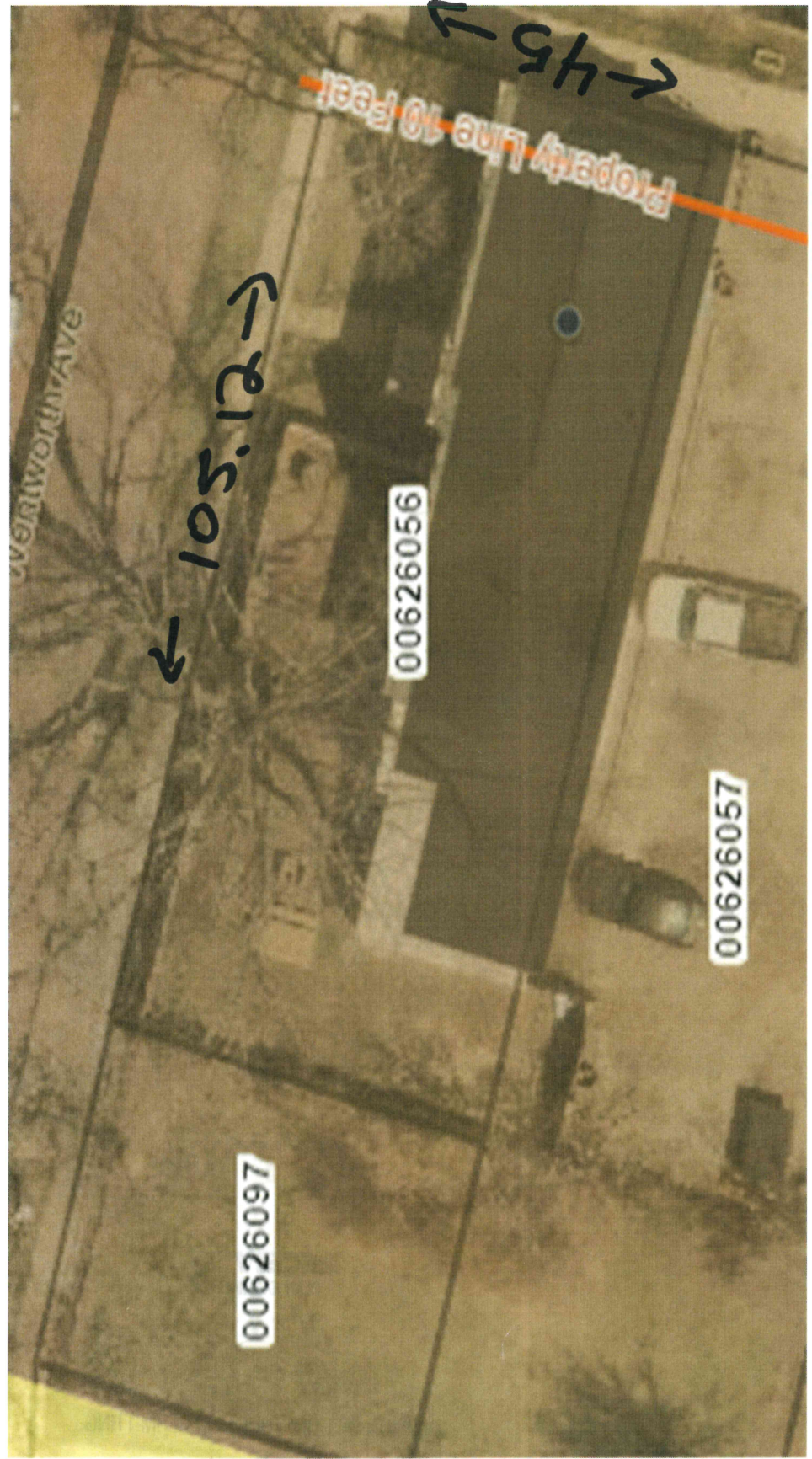


June 08, 2026



20102  
CLEVELAND 44102  
3256 W. 73RD ST

Denied 3/30/20



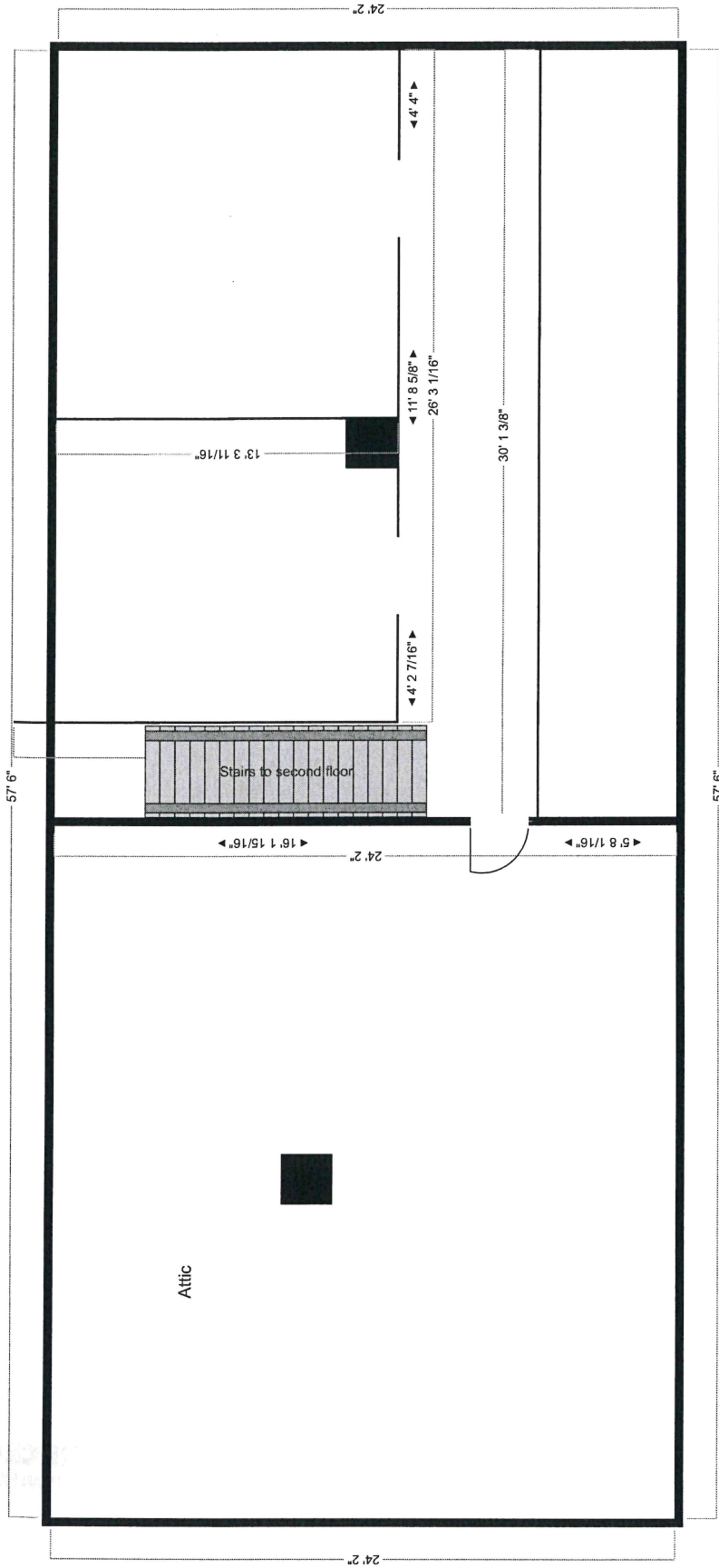
Bob by SMC  
 beh. schm @ gmail.com  
 3256 W. 73  
 ammet + rep.  
 Zoned MF-B1

Bu -> not permitted in  
 MF  
 Wash -  
 Parking  
 Not in TOD

2nd Floor DU  
 1st Floor Bar/caf  
 B. (links to h.w.)

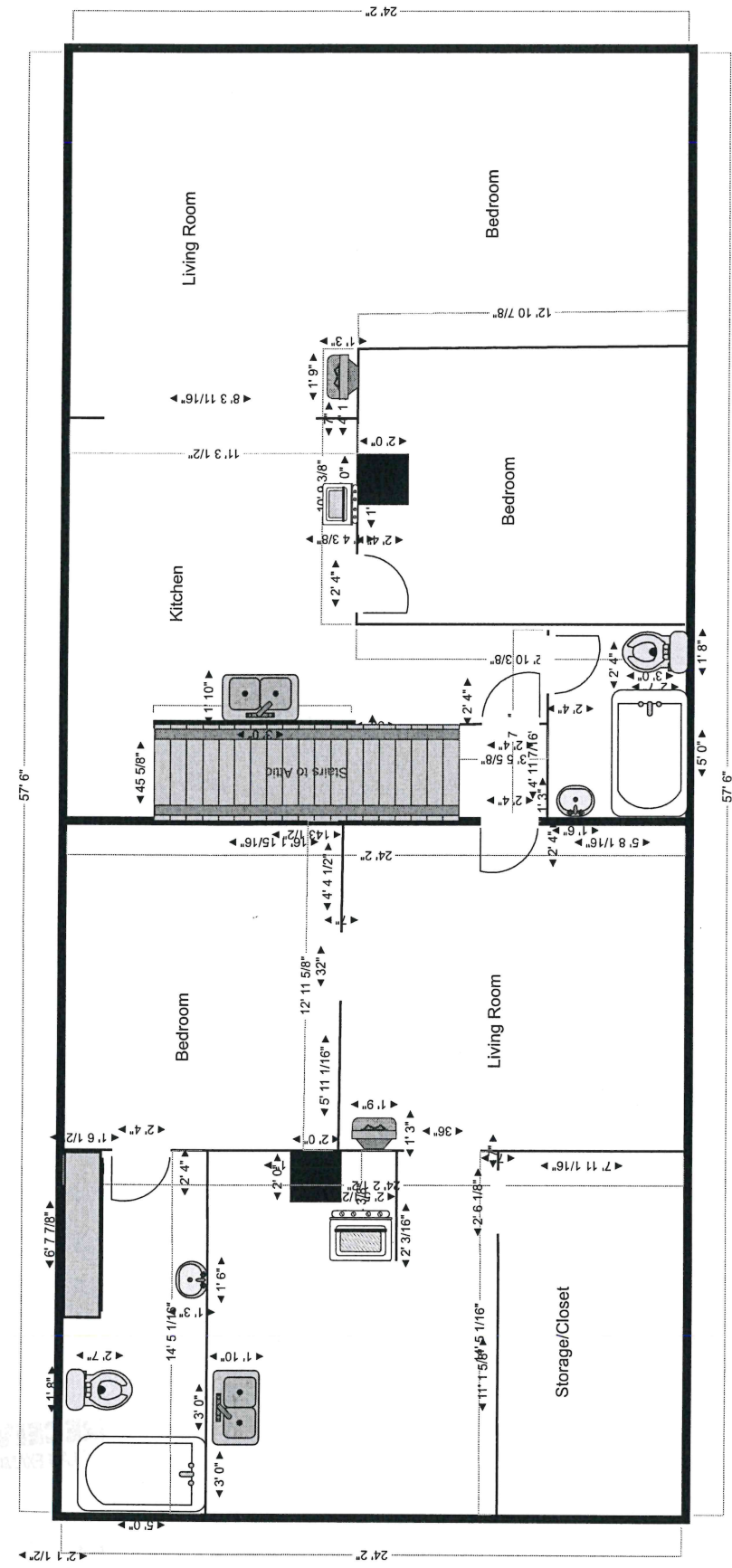
852 &

The Hill Pub  
3256 West 73rd St  
Cleveland, OH 44102



3rd Floor Attic/Unused

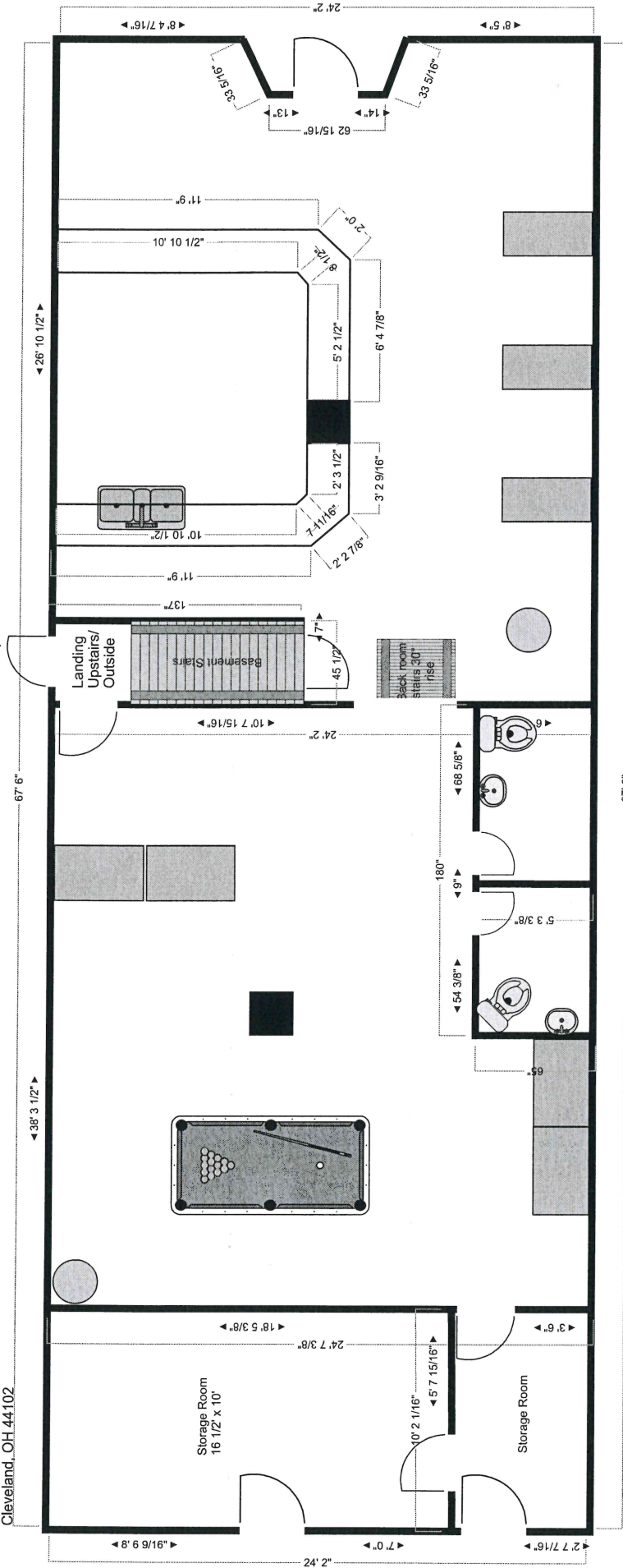
The Hill Pub  
3256 West 73rd St  
Cleveland, OH 44102



2nd Floor

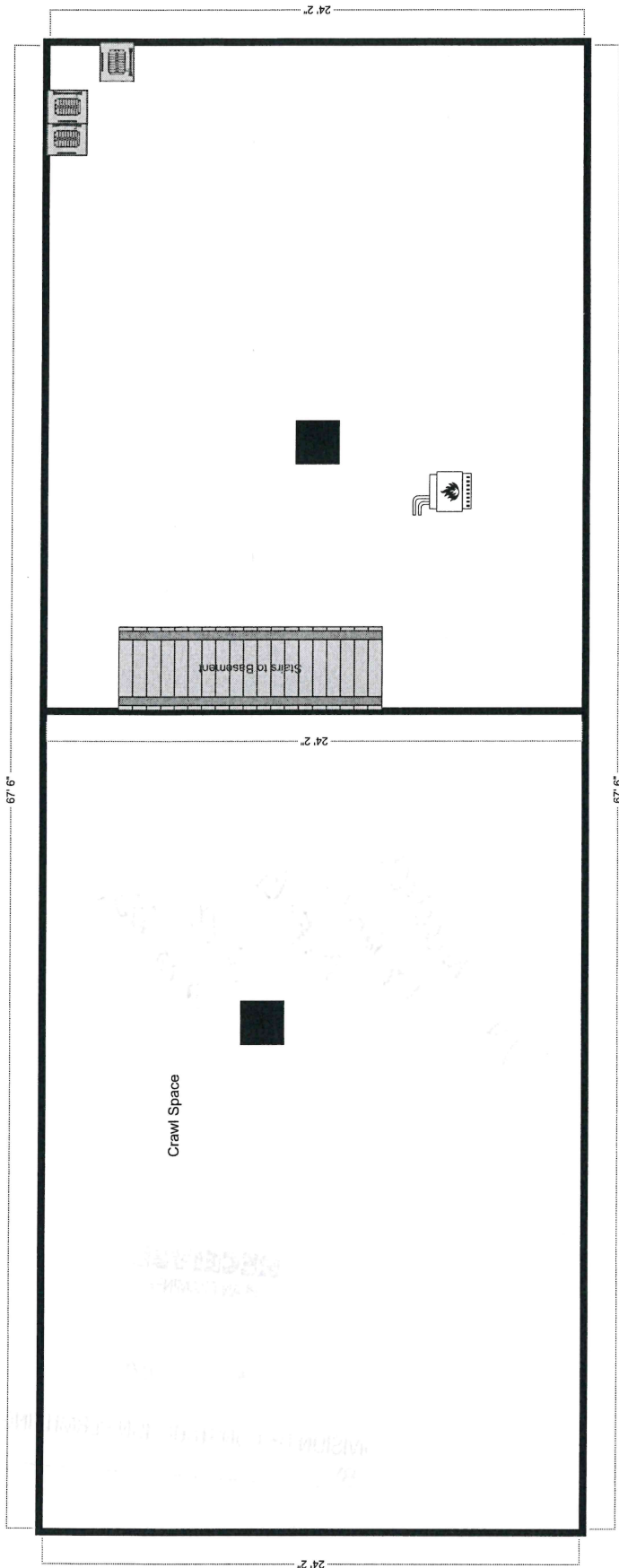
1 unit 2nd Floor  
24x57

The Hill Pub  
3256 West 73rd St  
Cleveland, OH 441102



*Dim w/ B.II.orders*

The Hill Pub  
3256 West 73rd St  
Cleveland, OH 44102



Basement

Cleveland Holding Group LLC, owner proposes to change use of existing two-family dwelling to a three-family dwelling in a Two-family Residential District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

June 08, 2026

1. **Section 349.03(a)** which states that a three-family dwelling unit is not permitted in Two-Family District; first permitted in Multi-Family Residential District.
  2. **Section 337.03(c)** which states that the Board of Zoning Appeals may grant special permits for remodeling of existing dwelling house to provide for more than two dwelling units but not more than six dwelling units provided that:
    - a) The square feet of lot area to be allotted to each dwelling unit is in accordance with the area regulations included in Chapter 355. In this case 7,200 square feet are required and the appellant is proposing 5,200 square feet.
    - b) The dwelling units to be created will not be smaller than two (2) rooms and a bathroom.
    - c) There will be no exterior evidence that a remodeled dwelling house is occupied by more than two (2) families, except such as may be permitted by the Board.
    - d) The building when altered or erected and when occupied will conform to all the applicable provisions of the Building and Housing Codes and as the Commissioner of Building and the Commissioner of Housing so certify.
    - e) Garage space or hard-surfaced and drained parking space will be provided upon the premises for the cars of the families to be accommodated on the premises at the rate of not less than one (1) car per family.
  3. **Section 349.05(a)** which states that no parking space shall be located within ten (10) feet of any wall of a residential building or structure if such wall contains a ground floor opening designed to provide light or ventilation for such building or structure.
-

June 08, 2026

**SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:**

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU  
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Reply with I DO and YOUR NAME.**

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June 08, 2026

# HISTORY OF THE PROPERTY



June 08, 2026

# LEGAL STANDARD

**Calendar No. 26-049:**                      **10225 Bernard Ave.**

Madam Chair, Members of the Board, Appellant is requesting a use variance and an area variance from the parking requirements of the zoning code.

To obtain the use variance, Appellant must prove that denying the request:

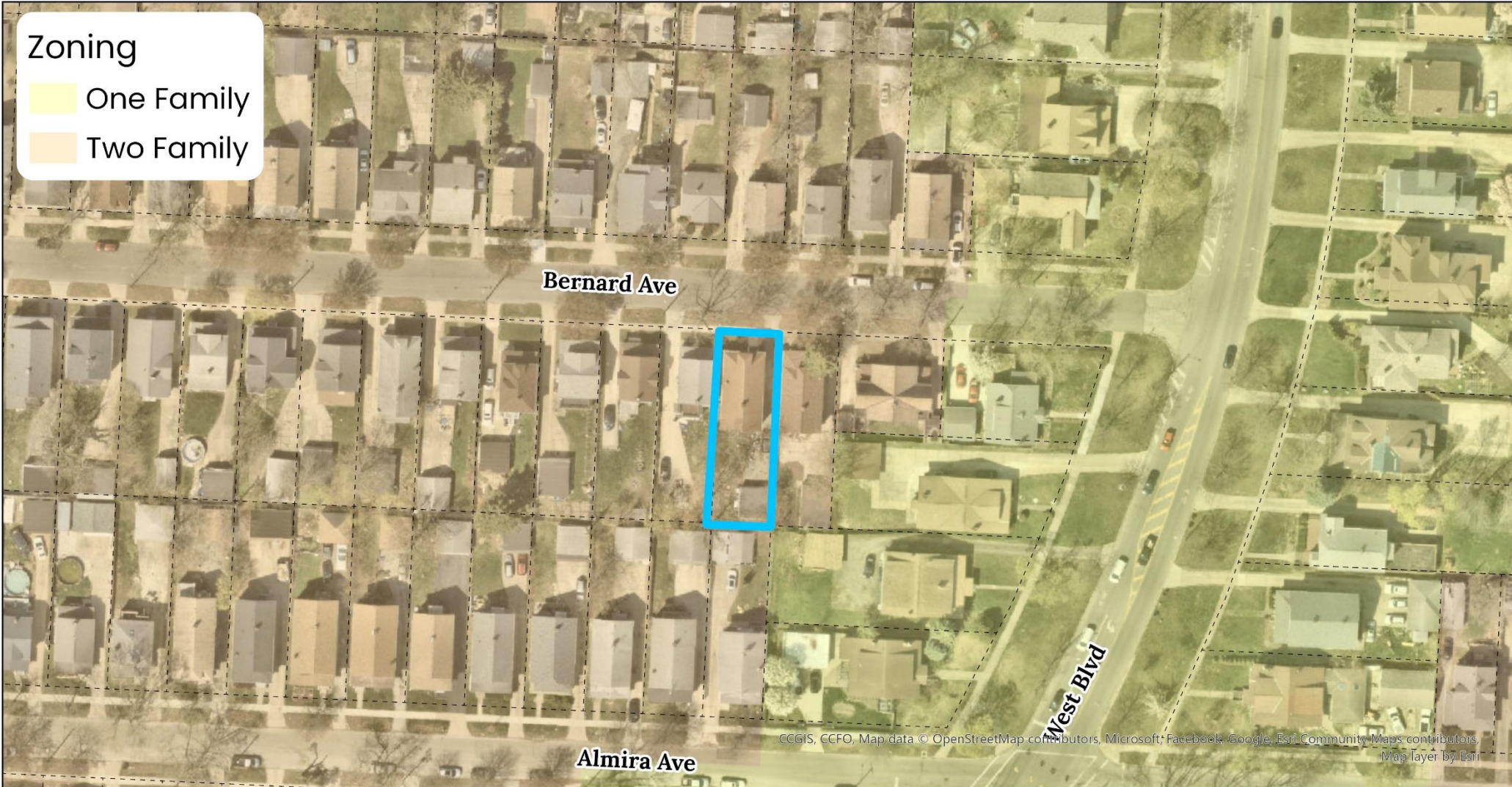
1. Will result in an **unnecessary hardship** particular to the property such that there will be no economically feasible use of the property without the variance;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variance will not be contrary to the purpose and intent of the zoning code.

To obtain the area variance, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variance will not be contrary to the purpose and intent of the zoning code.



June 08, 2026



**Zoning**  
One Family  
Two Family

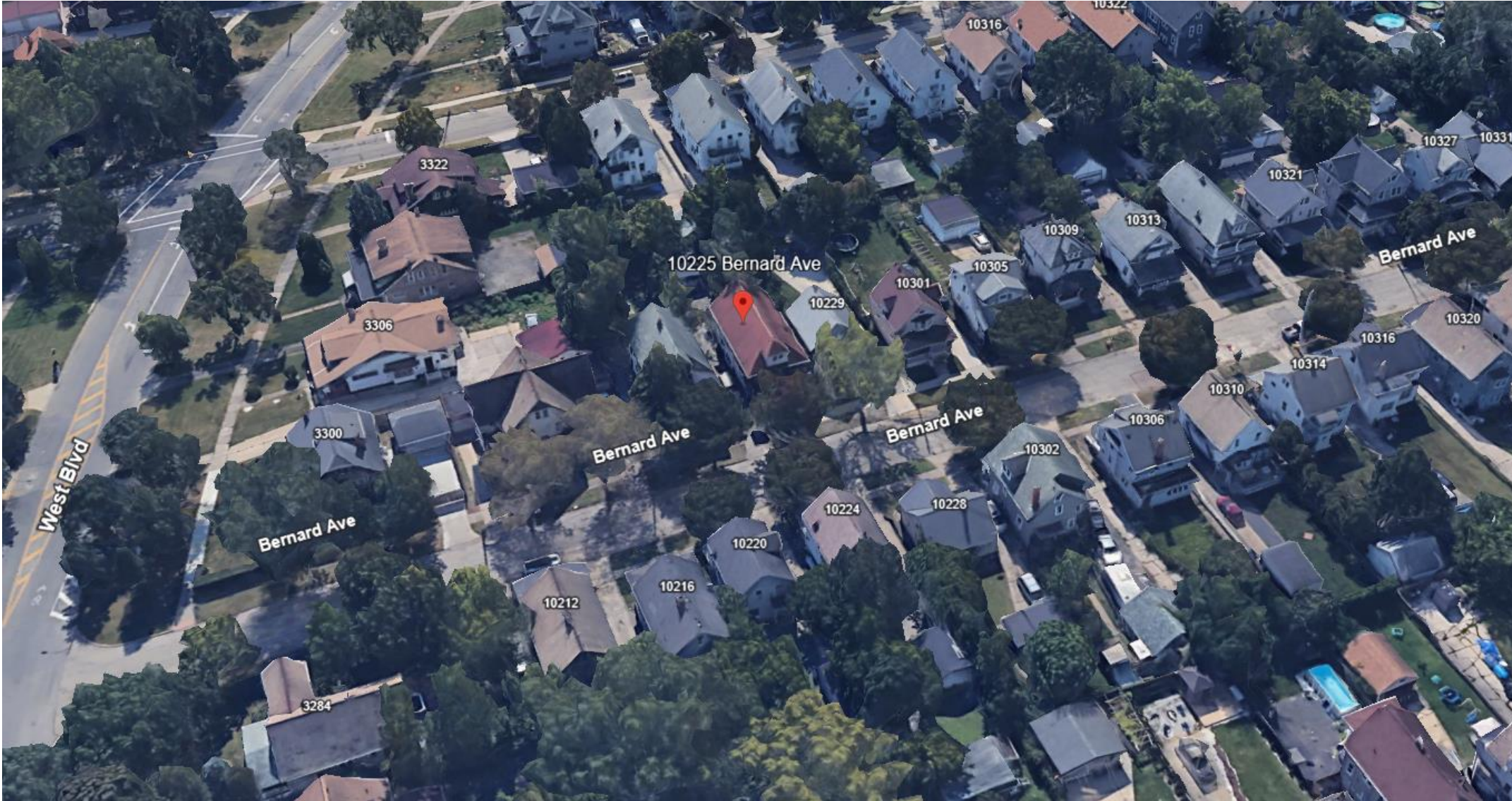
Bernard Ave

Almira Ave

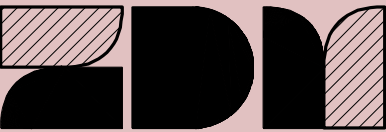
West Blvd

CCGIS, CCFO, Map data © OpenStreetMap contributors, Microsoft, Facebook, Google, Esri, Community Maps contributors, Map Layer by Esri

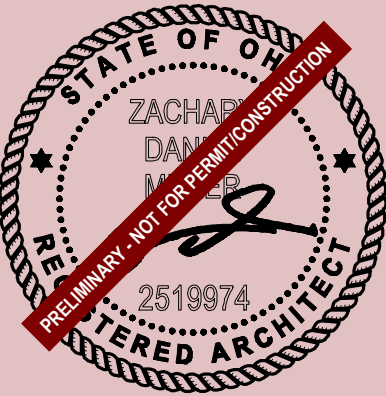
June 08, 2026



# 10225 BERNARD AVE NEW 3RD FLR UNIT & INT ALT



ZACHARY D. MILLER  
REGISTERED ARCHITECT  
STATE OF OHIO  
c. (412) 228 2626  
e. zacharymiller.arch@gmail.com



PROJECT ADDRESS  
10225 BERNARD AVE  
CLEVELAND, OH. 44111  
PARCEL 017-11-014  
PROJECT NAME

## PROJECT DESCRIPTION

INTERIOR ALTERATIONS TO EXISTING +/- 3,000 SF TWO-FAMILY HOME IN 2F-B1 ZONING DISTRICT; VARIANCES NEEDED. NO CHANGES TO FOOTPRINT & NO EXTERIOR WORK.

**FIRST FLOOR/UNIT 1:** NEW KITCHEN LAYOUT & NEW BEDROOM.

**SECOND FLOOR/UNIT 2:** NEW UL-RATED (UL-301) CEILING W/ 2 LAYERS OF 5/8" TYPE X GYP. BD. ON CEILING TO ACHIEVE 2-HR FIRE SEPERATION PER R302. NO LAYOUT WORK.

**THIRD FLOOR/UNIT 3:** CURRENTLY UNFINISHED. NEW UL-RATED (UL-301) CEILING, WALLS, AND FLOORS W/ 2 LAYERS OF 5/8" TYPE X GYP. BD. ON CEILING TO ACHIEVE 2-HR FIRE SEPERATION PER R302. NEW INTERIOR FINISHES AND LAYOUT TO CREATE (1) BEDROOM UNIT.

## PROJECT DIRECTORY

ARCHITECT	ZACHARY D. MILLER	(412) 228 2626
CONTRACTOR	TBD	TBD
OWNER	GOLDBRIDGE REI	(818) 448 5339

## DRAWING INDEX

SHEET	DESCRIPTION
T1.0	SCOPE INFO + DRAWING INDEX
S1.0	ZONING REVIEW SITE PLAN
A1.0	BASEMENT PLAN, CROSS SECTION, AND UL-RATED WALL/CEIL. DTL.
A2.0	FIRST FLOOR DEMO/PROPOSED PLANS
A3.0	SECOND FLOOR DEMO/PROPOSED PLANS
A4.0	THIRD FLOOR DEMO/PROPOSED PLANS

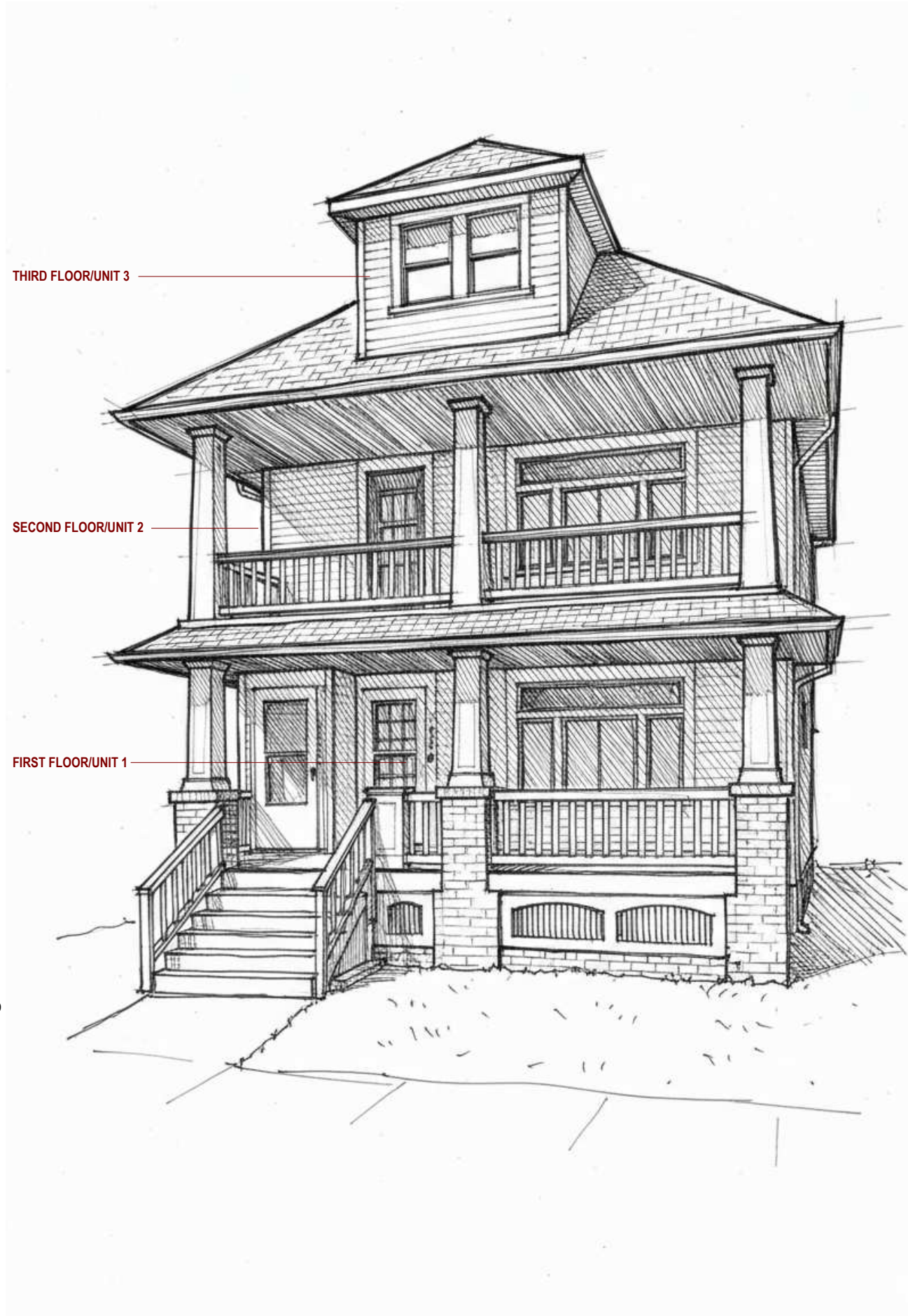
## GENERAL NOTES

- ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE OHIO BUILDING CODE, ALL STATE, LOCAL AND OTHER CODES.
- DIMENSIONS AND CONDITIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR(S) PRIOR TO ORDERING AND CONSTRUCTION MATERIALS. REPORT ANY DISCREPANCIES BEFORE PROCEEDING W/THE WORK. DO NOT SCALE DRAWINGS.
- EACH CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE DESIGN. ANY REVISIONS, CHANGES, DEVIATIONS, OR INCONSISTENCIES BETWEEN THE AS-BUILT CONDITIONS AND THESE DRAWINGS SHALL IMMEDIATELY BE REPORTED TO THE ARCHITECT BEFORE CONSTRUCTION.
- IT IS THE INTENT OF THESE DRAWING TO HAVE ALL OF THE WORK DONE AND COMPLETED IN A GOOD MANNER. ALL WORK SHALL BE FURNISHED AND INSTALLED COMPLETE IN EVERY DETAIL, READY FOR SATISFACTORY OPERATION, AND ALL REQUIRED APPARATUS AND MATERIAL SHALL BE FURNISHED EVEN THOUGH NOT SPECIFICALLY MENTIONED HEREIN.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY MATERIALS OR APPARATUS BELIEVED TO BE INADEQUATE, UNSUITABLE, IN VIOLATION OF LAWS, ORDINANCES, RULES, OR REGULATIONS OF AUTHORITIES HAVING JURISDICTION PRIOR TO CONSTRUCTION.
- ALL MATERIALS, FINISHES AND EQUIPMENT SHALL BE ERECTED, INSTALLED, CONNECTED, CLEANED, ADJUSTED, TESTED, CONDITIONED AND PLACED IN SERVICE IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
- NO EXTRAS WILL BE AUTHORIZED UNLESS THEY ARE APPROVED IN WRITING BY THE OWNER.
- EVERY CONTRACTOR SHALL CARRY WORKMEN'S COMPENSATION AND LIABILITY INSURANCE. CONTRACTORS' LIABILITY INSURANCE SHALL INCLUDE A "HOLD HARMLESS" CLAUSE TO INDEMNIFY THE ARCHITECT AND THE OWNER AGAINST ANY AND ALL CLAIMS THAT MAY ARISE DURING THE LIFE OF THE CONTRACT.
- EACH CONTRACTOR AND SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN CONSTRUCTION TOOLS AND MATERIALS. EACH CONTRACTOR AND SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE WORK. EACH CONTRACTOR AND SUB-CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS.
- EACH CONTRACTOR SHALL KEEP THE AREA CLEAN AT ALL TIMES; REMOVE ALL RUBBISH FROM THE PREMISES EACH DAY. AFTER COMPLETION OF THE WORK, THE SITE SHALL BE CLEANED WHEREVER SUCH CLEANING IS REQUIRED, INCLUDING AREAS OF THE BUILDING MADE DIRTY BY THE CONSTRUCTION WORK. EACH CONTRACTOR SHALL REMOVE FROM THE PREMISES TRASH, RUBBISH, TOOLS, EQUIPMENT, EXCESS MATERIALS. THE SITE IS TO BE LEFT IN PERFECTLY CLEAN CONDITION.
- ALL LAWS IN FORCE AT THE BUILDING LOCATION SHALL GOVERN. EACH CONTRACTOR AND SUB-CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THOSE LAWS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THESE DRAWINGS.
- PROTECT EXISTING OCCUPANCY WHICH IS TO REMAIN IN CONTINUOUS OPERATION. CAREFULLY REMOVE PORTIONS THAT ARE TO BE REMOVED AND PROTECT PORTIONS THAT ARE TO REMAIN TEMPORARILY OR PERMANENTLY IN PLACE. PROVIDE SHORING AS REQUIRED.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL PAYMENT TO THE GENERAL CONTRACTOR.
- NO SMOKING IN THE HOUSE. ALL CIGARETTE BUTTS TO BE REMOVED FROM PREMISES.

## DESIGN CRITERIA/CALCULATIONS

- GROUND SNOW LOAD: 30 PSF
- BASIC WIND SPEED: 110 MPH (ULT), EXP B; 90 MPH, DESIGN SPEED
- WIND EXPOSURE CATEGORY - B
- HIGH WIND DESIGN CRITERIA - B
- SEISMIC DESIGN CATEGORY - B
- WEATHERING - SEVERE
- TERMITE AREA: HEAVY TO MODERATE
- WINTER DESIGN TEMPERATURE: 50 F
- FLOOR LOADS FOR DECKS AND FLOOR JOISTS  
30 PSF LIVE LOAD  
15 PSF DEAD LOAD
- 12 PSF WIND LOAD (90 MPH MAX)  
30 PSF SNOW LOAD
- CONCRETE COMPRESSIVE STRENGTH:  
4000 PSI FOR 28 DAYS
- LOAD BEARING VALUE OF SOIL: 1500 PSI
- ENERGY EFFICIENCY MINIMUMS - 2018 IIEC:  
ROOF: INSULATION ENTIRELY ABOVE DECK: R-30CI  
METAL FRAME WALLS: R13 + R 7.5CI  
SLAB ON GRADE: R10
- DESIGN CRITERIA:  
CLEVELAND, OHIO CLIMATE ZONE: 5  
ROOF DESIGN LOADS:  
15 PSF DEAD LOAD  
12 PSF WIND LOAD (90 MPH MAX)  
30 PSF LIVE LOAD  
30 PSF SNOW LOAD  
DOORS: R4.75  
RESIDENTIAL GARAGE DESIGN LOADS  
FLOOR CONCRETE SLAB ON GRADE  
ROOF 30 PSF LIVE LOAD  
15 PSF DEAD LOAD  
12 PSF WIND LOAD (90 MPH MAX)  
30 PSF SNOW LOAD

MINIMUM LIVE LOAD - 1ST FLOOR: 100PSF



ARCHITECTURAL DRAWINGS FOR:  
**10225 BERNARD AVE  
NEW 3RD FLR UNIT &  
INT ALT**

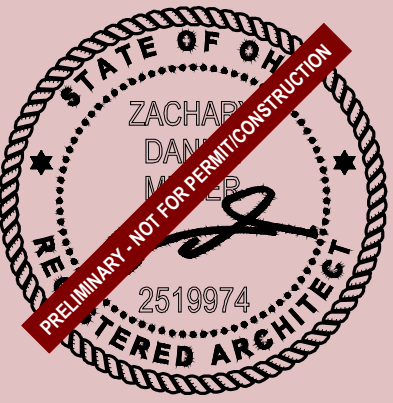
PREPARED FOR:  
CLEVELAND HOLDING GROUP LLC //  
GOLDBRIDGE REI

ISSUE
SURVEY - 01/08/2026
DRAWING SET - XX/XX/2026
CITY SUBMISSION - XX/XX/2026

TITLE SHEET  
**T1.0**



ZACHARY D. MILLER  
 REGISTERED ARCHITECT  
 STATE OF OHIO  
 c. (412) 228 2626  
 e. zacharymiller.arch@gmail.com



PROJECT ADDRESS  
 10225 BERNARD AVE  
 CLEVELAND, OH. 44111  
 PARCEL 017-11-014  
 PROJECT NAME

ARCHITECTURAL DRAWINGS FOR:  
**10225 BERNARD AVE**  
**NEW 3RD FLR UNIT &**  
**INT ALT**

PREPARED FOR:  
 CLEVELAND HOLDING GROUP LLC //  
 GOLDBRIDGE REI

ISSUE  
 SURVEY - 01/08/2026  
 DRAWING SET - XX/XX/2026  
 CITY SUBMISSION - XX/XX/2026



SITE PLAN  
**S1.0**



**BERNARD AVE**

1153

01711016

017110045

01711012

01711013

01711015

130

130

130

130

130

65

01

40

40

40

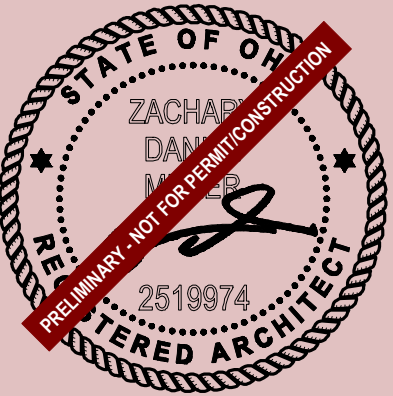
40

181.42

1 SITE AERIAL/PLAN (NO EXTERIOR WORK)  
 SCALE: 1"=20'



ZACHARY D. MILLER  
REGISTERED ARCHITECT  
STATE OF OHIO  
c. (412) 228 2626  
e. zacharymiller.arch@gmail.com



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CLEVELAND, OH. 44111  
PARCEL 017-11-014  
PROJECT NAME

ARCHITECTURAL DRAWINGS FOR:  
**10225 BERNARD AVE  
NEW 3RD FLR UNIT &  
INT ALT**

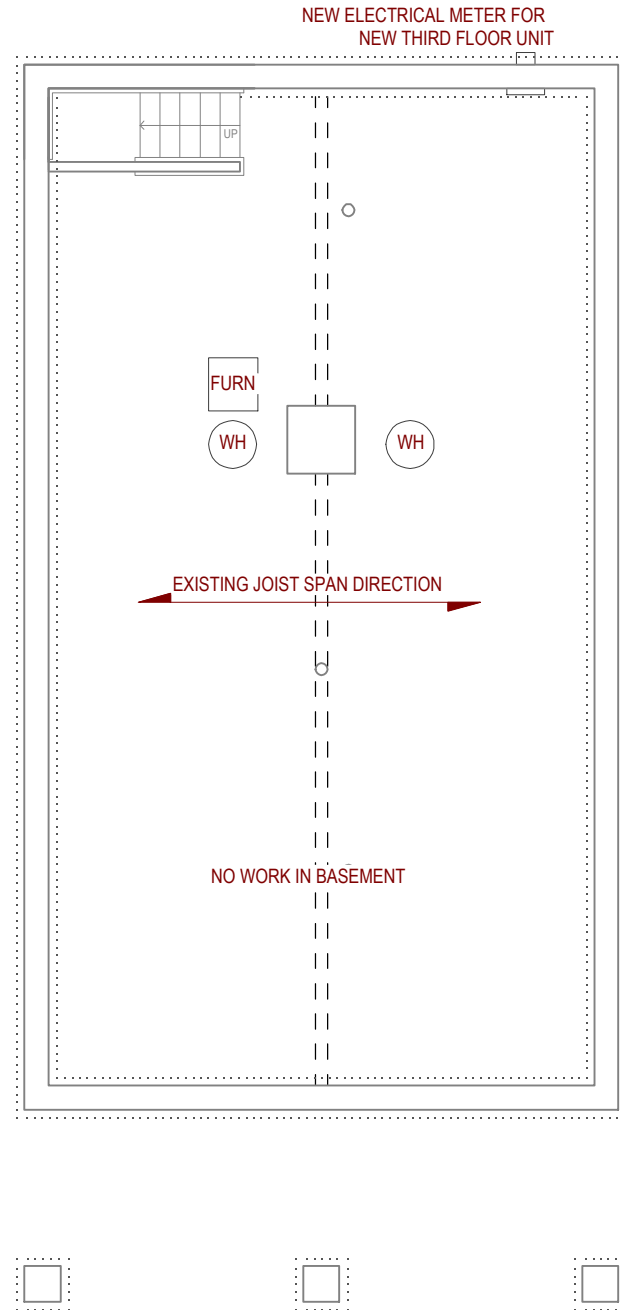
PREPARED FOR:  
CLEVELAND HOLDING GROUP LLC //  
GOLDBRIDGE REI

ISSUE  
SURVEY - 01/08/2026  
DRAWING SET - XX/XX/2026  
CITY SUBMISSION - XX/XX/2026

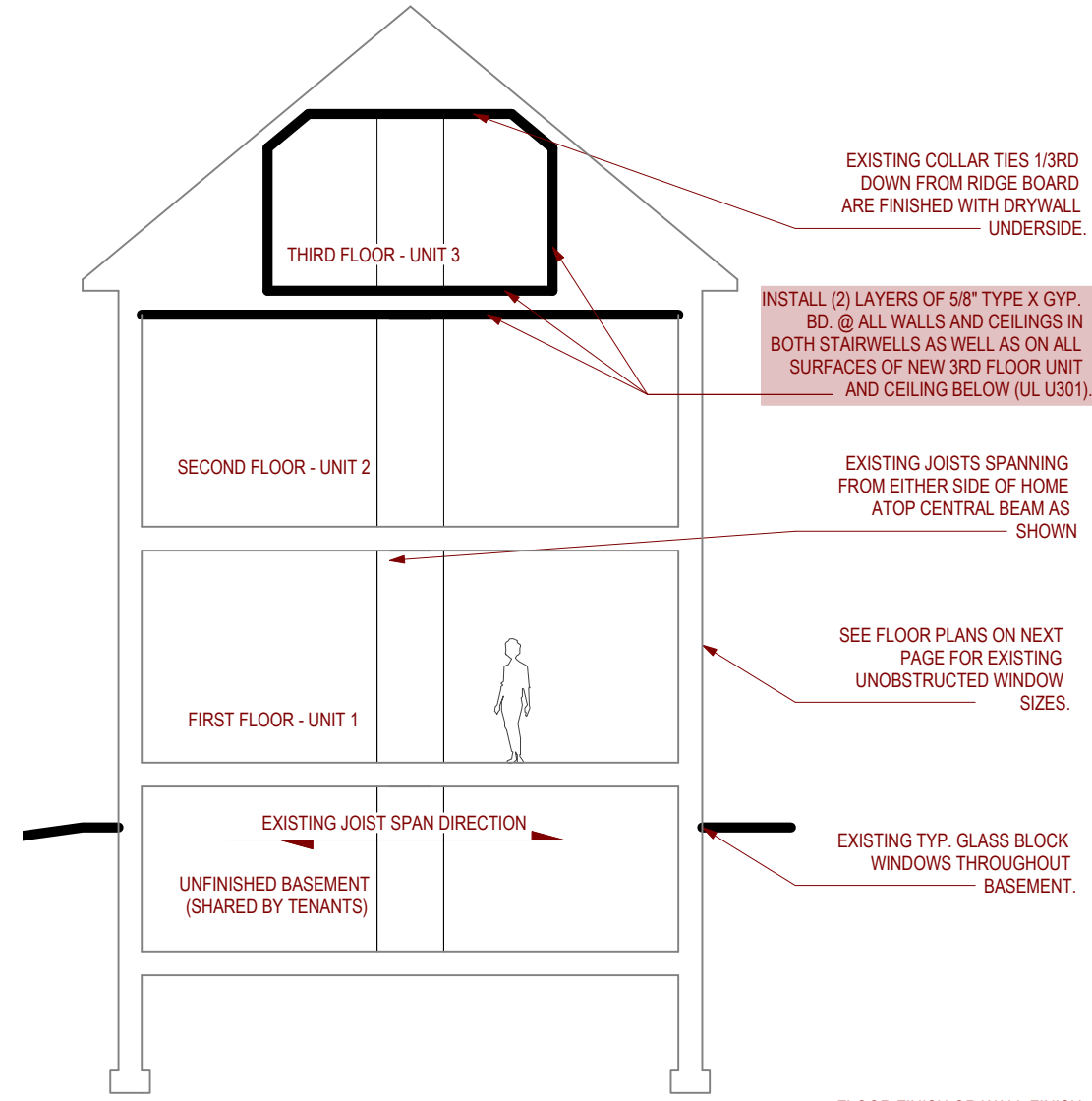
BSMNT PLAN + SECTION  
**A1.0**  
CALLED NORTH

EXISTING WINDOW SCHEDULE (SEE TAGS ON PLAN)

WINDOW	QTY	TYPE	SIZE
1	2	FRONT PIC. W/ TRANSOM	10'-0" W X 5'-4" H
2	2	SIDE CASEMENT A	4'-0" W X 2'-2" H
3	3	SIDE (2) DBL HNG A	5'-7" W X 4'-0" H
4	2	SIDE (2) DBL HNG B	5'-3" W X 4'-0" H
5	2	REAR CASEMENT	3'-2" W X 2'-2" H
6	7	SINGLE DBL HNG	2'-6" W X 4'-0" H
7	2	SIDE CASEMENT A	2'-6" W X 2'-6" H
8	1	STAIRCASE DBL HNG	2'-6" W X 4'-0" H
9	2	THIRD FLOOR DBL HNG	2'-6" W X 4'-0" H

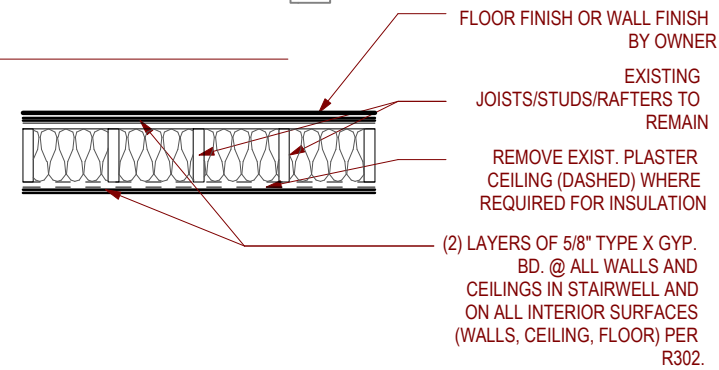


1 BASEMENT PLAN (NO WORK)  
SCALE: 1/8"=1'-0"



2 FULL CROSS SECTION  
SCALE: 1/8"=1'-0"

3 UL U301 2-HR FIRE RATING WALL/CEILING DETAIL  
SCALE: 3"=1'-0"

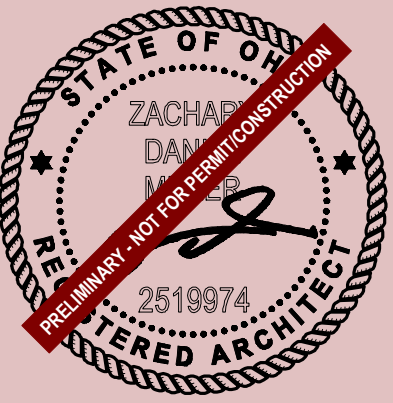


**DRAWING SYMBOL LEGEND:**

EXISTING WALL	=====
DEMOLISHED OR RELOCATED WALL/COMPONENT	===== ===== =====
NEW WALL	=====



ZACHARY D. MILLER  
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 STATE OF OHIO  
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 e. zacharymiller.arch@gmail.com



PROJECT ADDRESS  
 10225 BERNARD AVE  
 CLEVELAND, OH. 44111  
 PARCEL 017-11-014  
 PROJECT NAME

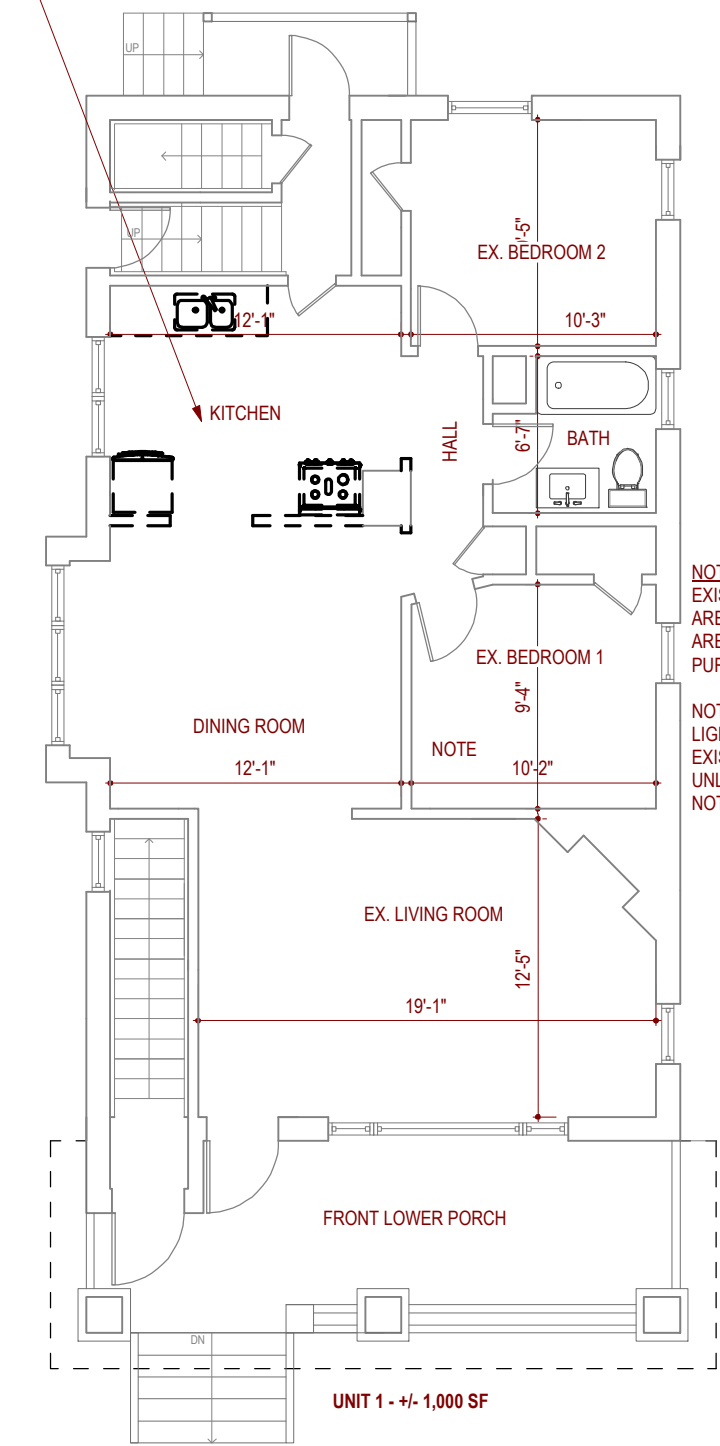
ARCHITECTURAL DRAWINGS FOR:  
**10225 BERNARD AVE  
 NEW 3RD FLR UNIT &  
 INT ALT**

PREPARED FOR:  
 CLEVELAND HOLDING GROUP LLC //  
 GOLDBRIDGE REI

ISSUE  
 SURVEY - 01/08/2026  
 DRAWING SET - XX/XX/2026  
 CITY SUBMISSION - XX/XX/2026

CALLLED NORTH  
 FLOOR PLANS  
**A2.0**

REMOVE NON STRUCT. WALLS SHOWN DASHED &  
 OLD KITCHEN APPLIANCES/MILLWORK

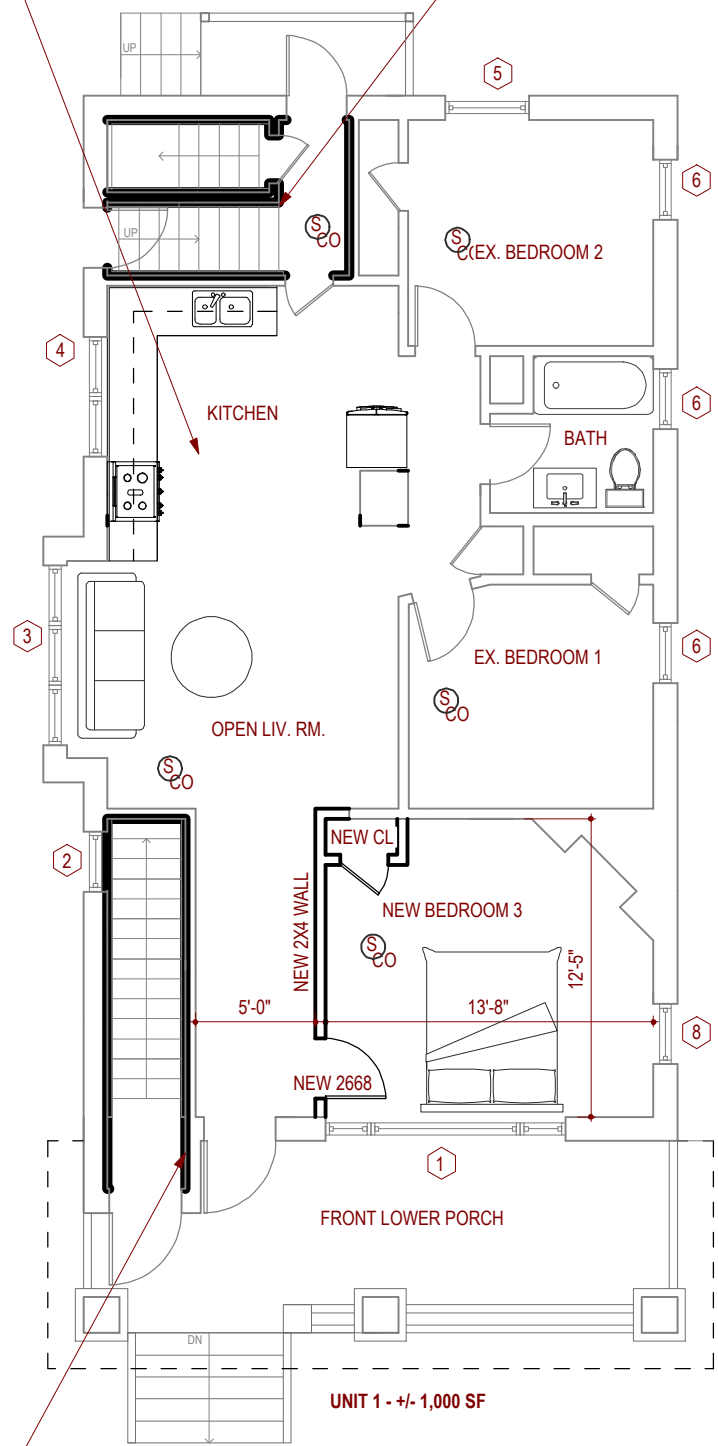


NOTE: ALL SHOWN  
 EXIST. DIMENSIONS  
 ARE APPROXIMATE AND  
 ARE FOR PLAN-REVIEW  
 PURPOSES ONLY.  
 NOTE: ALL OUTLETS,  
 LIGHTING, AND MEP IS  
 EXISTING TO REMAIN  
 UNLESS OTHERWISE  
 NOTED.

1 FIRST FLOOR DEMO PLAN (EXISTING UNIT 1)  
 SCALE: 1/8"=1'-0"

INSTALL (2) LAYERS OF 5/8" TYPE X GYP. BD. @ ALL  
 WALLS AND CEILINGS IN BOTH STAIRWELLS.

NEW KITCHEN LAYOUT. NEW MILLWORK &  
 COUNTERTOPS. ALL MEP TO REMAIN.



NOTE: ALL  
 WINDOWS COMPLY  
 WITH R310 FOR  
 EGRESS/RESCUE  
 AND ARE EXISTING  
 TO REMAIN. ANY  
 COMMENTS FROM  
 ZONING IN TERMS  
 OF ADDING SAFETY  
 COMPONENTS WILL  
 BE CONSIDERED  
 AND DULY NOTED.

INSTALL (2) LAYERS OF 5/8" TYPE X GYP. BD. @ ALL  
 WALLS AND CEILINGS IN BOTH STAIRWELLS.

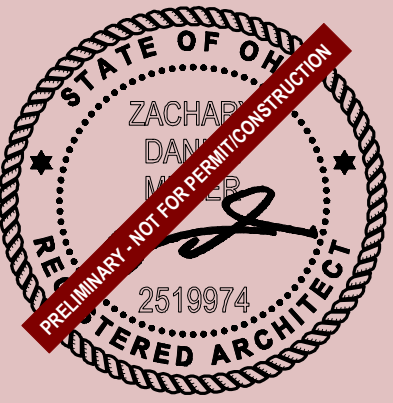
2 FIRST FLOOR PROPOSED PLAN (EXISTING UNIT 1)  
 SCALE: 1/8"=1'-0"

**DRAWING SYMBOL LEGEND:**

EXISTING WALL	———
DEMOLISHED OR RELOCATED WALL/COMPONENT	== ==
NEW WALL	====



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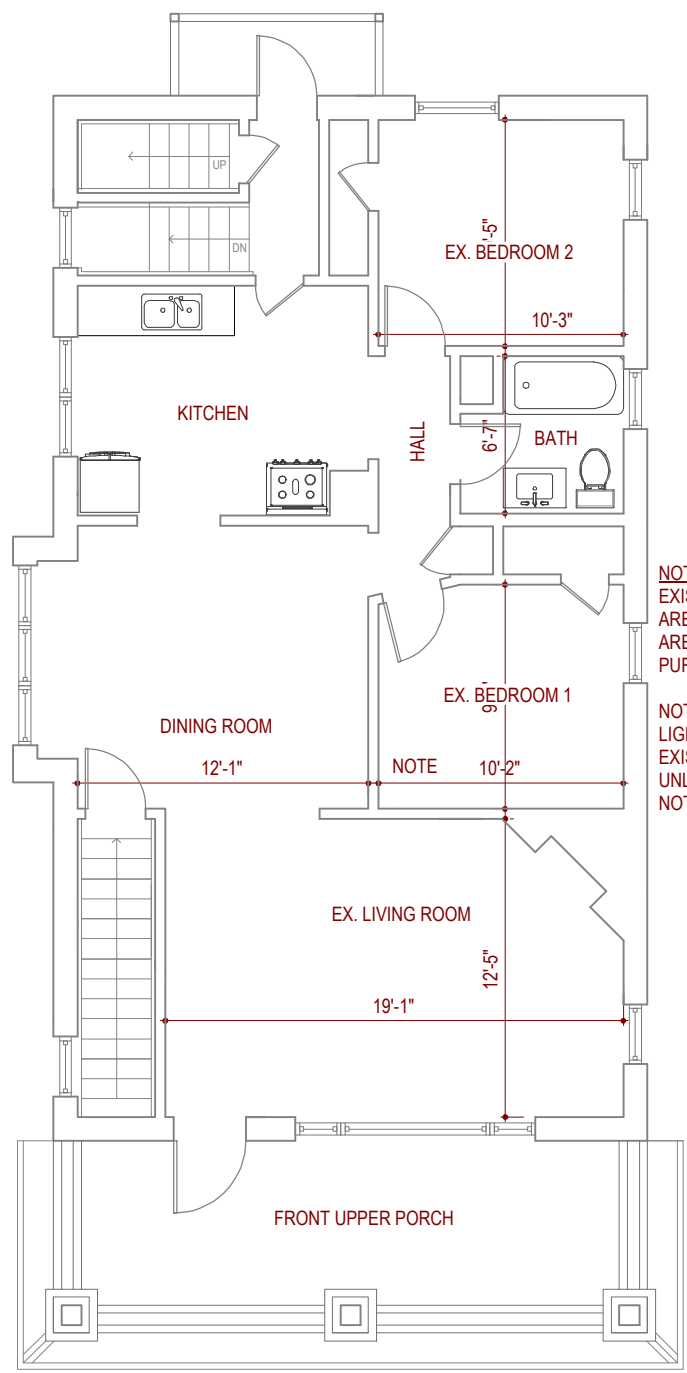
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PREPARED FOR:  
CLEVELAND HOLDING GROUP LLC //  
GOLDBRIDGE REI

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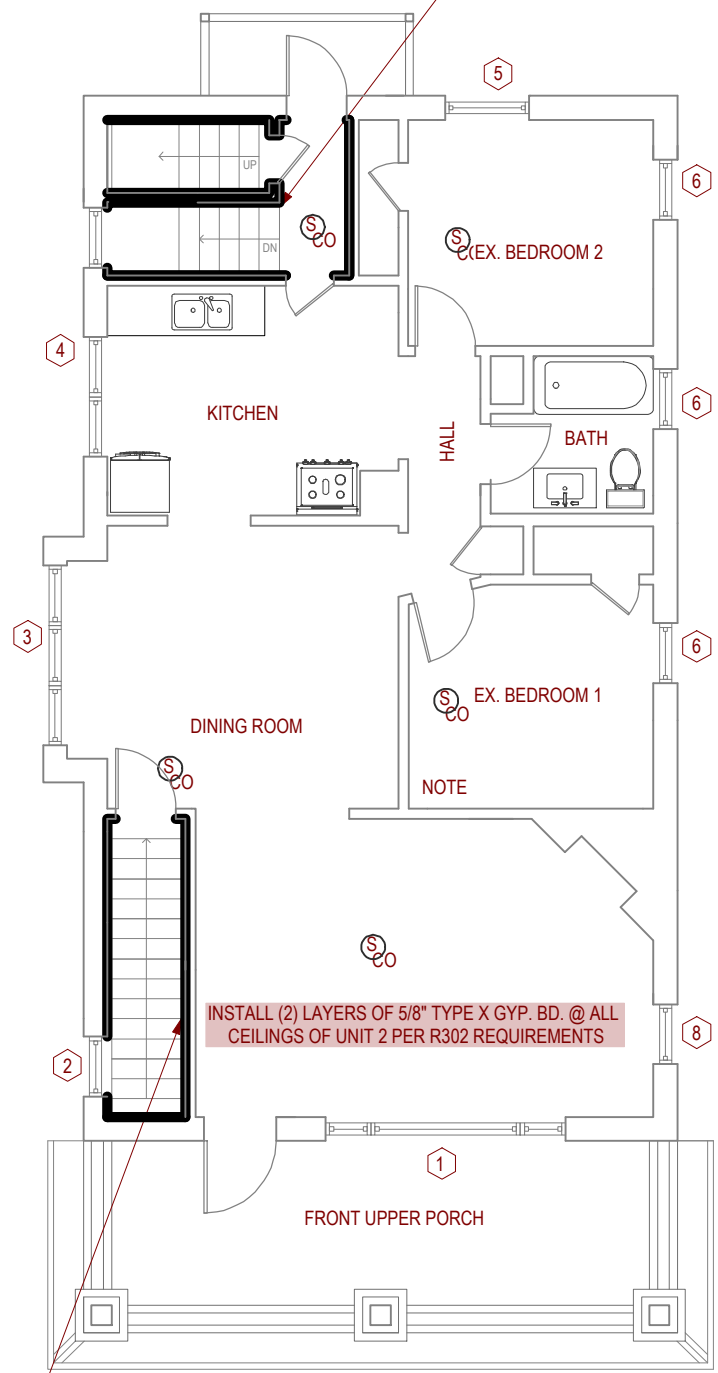
CALLLED NORTH  
FLOOR PLANS  
**A3.0**



NOTE: ALL SHOWN EXIST. DIMENSIONS ARE APPROXIMATE AND ARE FOR PLAN-REVIEW PURPOSES ONLY.  
NOTE: ALL OUTLETS, LIGHTING, AND MEP IS EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

UNIT 2 - +/- 1,020 SF

1 SECOND FLOOR DEMO PLAN (EXISTING UNIT 2)  
SCALE: 1/8"=1'-0"



NOTE: ALL WINDOWS COMPLY WITH R310 FOR EGRESS/RESCUE AND ARE EXISTING TO REMAIN. ANY COMMENTS FROM ZONING IN TERMS OF ADDING SAFETY COMPONENTS WILL BE CONSIDERED AND DULY NOTED.

INSTALL (2) LAYERS OF 5/8" TYPE X GYP. BD. @ ALL CEILINGS OF UNIT 2 PER R302 REQUIREMENTS

UNIT 2 - +/- 1,020 SF

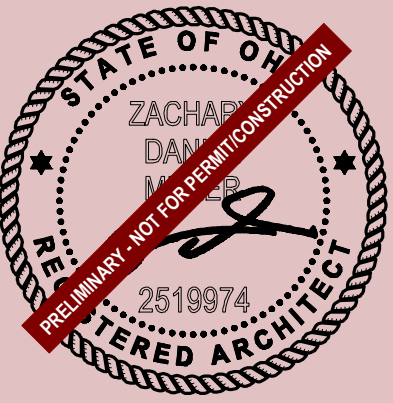
2 SECOND FLOOR PROPOSED PLAN (EXISTING UNIT 2)  
SCALE: 1/8"=1'-0"

**DRAWING SYMBOL LEGEND:**

EXISTING WALL	—
DEMOLISHED OR RELOCATED WALL/COMPONENT	==
NEW WALL	===



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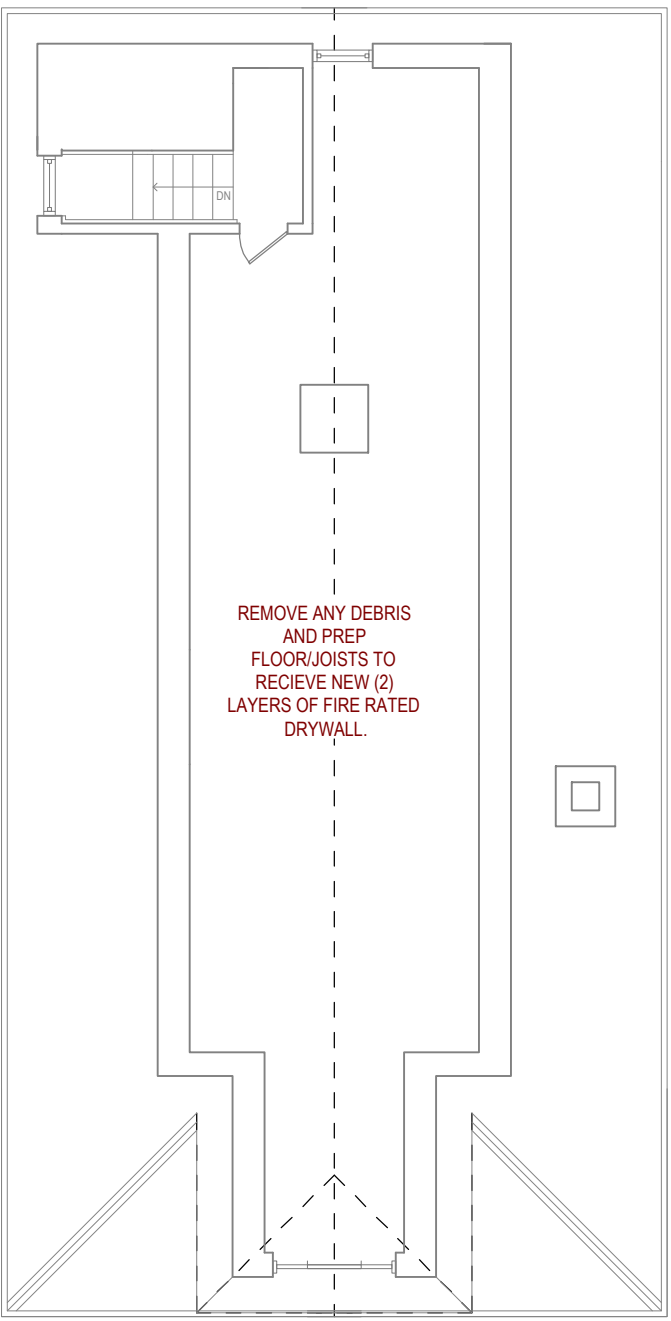
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PREPARED FOR:  
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ISSUE  
 SURVEY - 01/08/2026  
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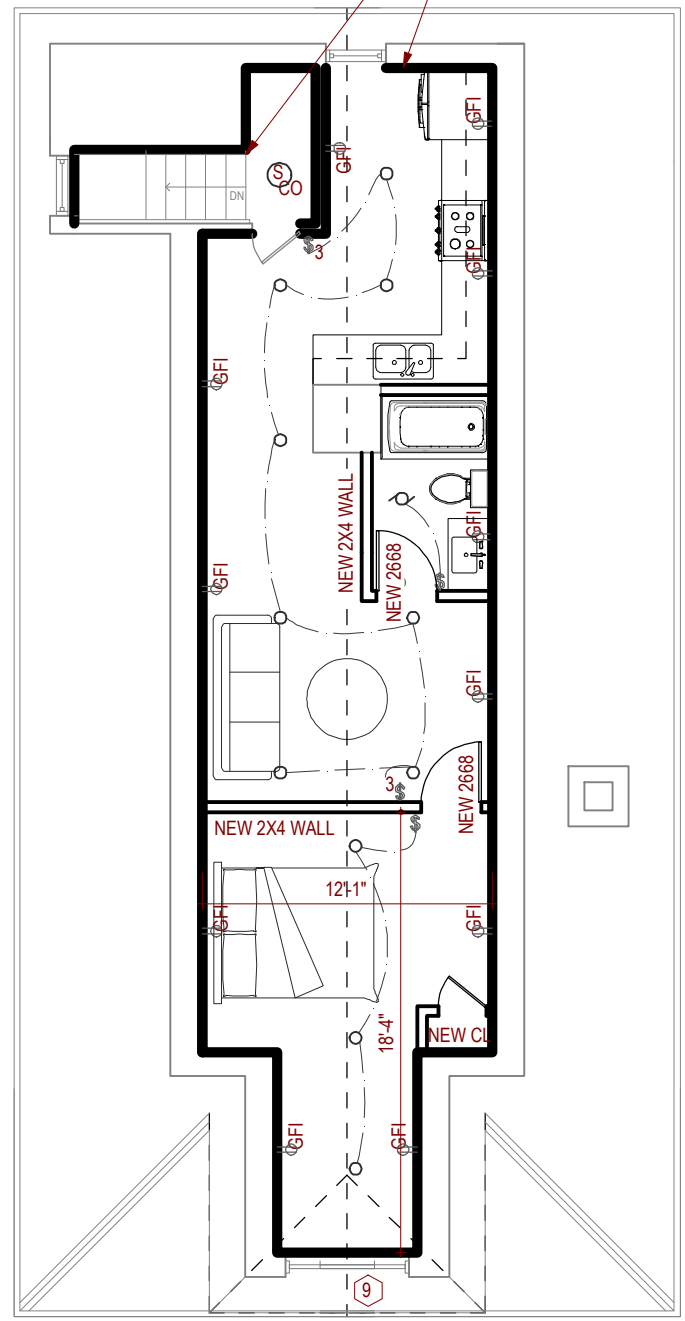
CALLLED NORTH  
 FLOOR PLANS  
**A4.0**

INSTALL (2) LAYERS OF 5/8" TYPE X GYP. BD. @ ALL WALLS AND CEILINGS IN STAIRWELL AND ON ALL INTERIOR SURFACES (WALLS, CEILING, FLOOR) PER R302. R-49 INSULATION IN ALL RAFTER CAVITIES; FUR OUT AS REQUIRED.



NEW UNIT 3 - +/- 510 SF

1 THIRD FLOOR DEMO PLAN (NEW UNIT 3)  
 SCALE: 1/8"=1'-0"



NEW UNIT 3 - +/- 510 SF

2 THIRD FLOOR PROPOSED PLAN (NEW UNIT 2)  
 SCALE: 1/8"=1'-0"

NOTE: ALL WINDOWS COMPLY WITH R310 FOR EGRESS/RESCUE AND ARE EXISTING TO REMAIN. ANY COMMENTS FROM ZONING IN TERMS OF ADDING SAFETY COMPONENTS WILL BE CONSIDERED AND DULY NOTED.

**DRAWING SYMBOL LEGEND:**

EXISTING WALL	=====
DEMOLISHED OR RELOCATED WALL/COMPONENT	===== ===== =====
NEW WALL	=====

# Cleveland Board of Zoning Appeals

## Old Business

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

June 08, 2026

**BOARD OF ZONING APPEAL  
OLD BUSINESS  
June 08, 2026**

<b>Cal. No. 26-045:</b>	<b>1804 E. 40<sup>th</sup> St.</b>	<b>(AW,AF,NH,PR)</b>
<b>Cal. No. 26-046:</b>	<b>6802 Herman Ave.</b>	<b>(AW,AF,NH,)</b>
<b>Cal. No. 26-045:</b>	<b>1212/1260 Sumner Ave.</b>	<b>(AW,AF,MM)*</b>
<b>Cal. No. 26-041:</b>	<b>5475 Marginal Rd.</b>	<b>(AW,AF,NH,MM)*</b>
<b>Cal. No. 26-042:</b>	<b>9717 Dickens Ave.</b>	<b>(AW,AF,NH,MM)</b>
<b>Cal. No. 25-188:</b>	<b>2850 W. 11<sup>th</sup> St.</b>	<b>(AW,AF,NH,PR,MM)*</b>
<b>Cal. No. 25-189:</b>	<b>2854 W. 11<sup>th</sup> St.</b>	<b>(AW,AF,NH,PR,MM)*</b>
<b>Cal. No. 25-190:</b>	<b>2858 W. 11<sup>th</sup> St.</b>	<b>(AW,AF,NH,PR,MM)*</b>
<b>Cal. No. 25-191:</b>	<b>2862 W. 11<sup>th</sup> St.</b>	<b>(AW,AF,NH,PR,MM)*</b>
<b>Cal. No. 25-106:</b>	<b>1037 Starkweather Ave.</b>	<b>(AW,AF,NH,PR)*</b>
<b>Cal. No. 25-089:</b>	<b>3533 Carlyle Ave.</b>	<b>(AW,AF,NH,PR,MM)*</b>
<b>Cal. No. 25-063:</b>	<b>2442 Professor Ave.</b>	<b>(AW,AF,NH,PR,MM)*</b>
<b>Cal. No. 24-214:</b>	<b>1469 East 116<sup>th</sup> St.</b>	<b>(AF,NH,PR,AW,MM)*</b>

~	Items received
*	Pending the receipt of requested information by the Board.
***	Request for Rehearing/Reconsideration.

**AFFIRMATION:**

**Calendar No. 24-186: 2023 W. 26<sup>th</sup> St.**

AHA Market House LLC. was granted variances to construct a 3-story apartment building on December 9, 2024. The full construction drawings are taking longer than expected. This will be their third affirmation.

**UPCOMING POSTPONEMENTS: NONE**

**Misc. :**

**THE FOLLOWING APPEAL HAS BEEN WITHDRAWN BY THE APPLICANT:**

**Calendar No. 26-040 4724 w. 130<sup>TH</sup> St.**

Vietnamese Buddhist Association, owner, proposes to expand the existing Vien Quang Temple on a parcel located in Limited Retail Business and One-Family Residential.

# Cleveland Board of Zoning Appeals

## Adjournment

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

June 08, 2026