



CITY OF CLEVELAND
Mayor Justin M. Bibb

Cleveland Board of Zoning Appeals

May 18, 2026

****PLEASE MUTE YOUR MICROPHONE****

Arleesha Wilson, Chairwoman
Elizabeth Kukla, Secretary



Cleveland Board of Zoning Appeals

P R E A M B L E

In compliance with notification requirements of Ohio's open meeting law and section 101.021 of the Codified Ordinances of Cleveland, Ohio, 1976, notice of this meeting has been publicly posted.

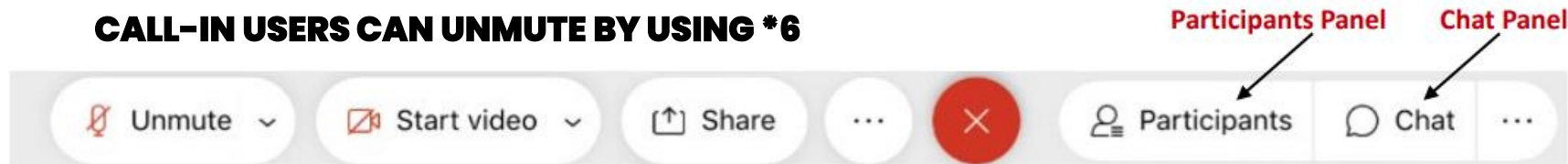
All boards and commissions under the purview of the City Planning department conduct their meetings in a manner modeled after Robert's Rules of Order. Actions during the meeting will be taken by voice vote. Recusals from any vote due to a conflict of interest should be stated for the record prior to the taking of any vote.

In order to ensure that everyone participating in the meeting has the opportunity to be heard, we ask that online participants use the raise hand feature before asking a question or making a comment. The raise hand feature can be found in the participants panel on the desktop and mobile version and activated by clicking the hand icon. Please wait for the Chair or facilitator to recognize you and be sure to select unmute and announce yourself before you speak. When finished speaking, please lower your hand by clicking on the raise hand icon again and mute your microphone.

We will also be utilizing the chat feature to communicate with participants. The chat feature can be activated by clicking the chat button located on the bottom of the Webex screen.



CALL-IN USERS CAN UNMUTE BY USING *6



May 18, 2026

Cleveland Board of Zoning Appeals

P r e a m b l e

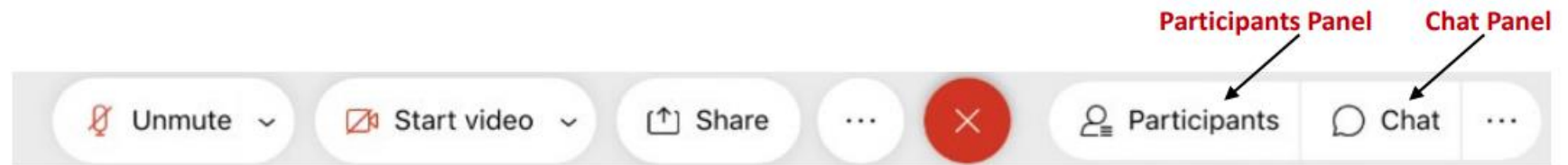
ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.

THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE FOR PUBLIC VIEW.

WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.

ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER HAVE BEEN CONSIDERED.

WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.



May 18, 2026

Cleveland Board of Zoning Appeals

Call to Order & Roll Call



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 18, 2026

Cleveland Board of Zoning Appeals

Postponements/Withdrawals



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 18, 2026

Postponements / Withdrawals

May 18, 2026

Cleveland Board of Zoning Appeals

Public Hearing



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 18, 2026

Cleveland Board of Zoning Appeals

Order of the Hearing:

1. Description of the case will be read into the record.
2. Any person wishing to speak on the matter will be sworn in.
3. Project team will present their proposal.
4. Board members will have the opportunity to ask questions.
5. Those in favor of the project will have the opportunity to speak.
6. Those in opposition of the project will have the opportunity to speak.
7. The Secretary will read any written correspondence.
8. City Planning Commission will give their recommendation.
9. Councilmember, if present, will give comments.
10. Project team may respond to any comments made by other parties.
11. Board members may ask additional questions or suggests conditions.
12. Motion will be made and seconded.
27. Secretary will call the role.

Rules of the Hearing:

1. Please speak clearly for the record; our Court Reporter can only record one voice at a time.
2. Do not speak unless recognized by the Chair.
3. All conversation must go through the Chair (no back and forth conversations)
4. Hold your comments until the speaker is done speaking.
5. At the request of the Chair Comments may be limited to 2 minutes.

Landmark at the Lake LLC. , owner, proposes to erect a five-story, 209 unit apartment building in a General Retail Business District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

May 18, 2026

1. **Section 355.04** which states that in a "D" Area District, the maximum gross floor area is limited to one times the lot area. In this case 186,230 square feet maximum gross floor area is permitted and 229,934 square feet are proposed. This section also states that the minimum required lot size is 501,600 square feet and 186,230 square feet are proposed.
 2. **Section 349.04** which states that One (1) accessory parking space per dwelling unit is required for lots not located in a Transit Oriented Development (TOD) zone. 209 accessory parking spaces are required and 192 accessory parking spaces are proposed.
 3. **Sections 349.05(a) & (b)** which state the following:
 - (a)The required accessory off-street parking facility shall be located on the same lot as the use for which it is provided or on a lot within four hundred (400) feet of the nearest boundary of the lot upon which the use is located.
 - (b)The separate lot upon which such accessory parking facilities are provided shall be in the same ownership or control as the building or use to which the parking facilities are accessory. 17 spaces are proposed on an adjoining lot.
 4. **Section 347.0S(a)** which states that trash areas and refuse containers shall be located in such manner that they shall not be visible from the public street or from any lot or lots designated for residential purpose. Such trash areas shall be screened with opaque fencing not lower than the height of the refuse containers therein. Adequate vehicular access to and from such area or areas for collection of trash and/or garbage shall be provided at reasonable hours.
 5. **Section 352.13 (a)** which states that all parking lots containing ten (10) or more spaces, which are used during non-daylight hours, shall be illuminated during those hours with one (1) to two and a half (2.5) foot candles, as recommended by the Illuminating Engineering Society (IES). No lighting plan was provided.
 6. Note: City Planning Commission approval is required.
-

May 18, 2026

SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU
ARE ABOUT TO GIVE IS THE WHOLE TRUTH AND
NOTHING BUT THE TRUTH?

**Please Raise Your Hand.
Reply with I DO and YOUR NAME.**

HISTORY OF THE PROPERTY

May 18, 2026



May 18, 2026

LEGAL STANDARD

Calendar No. 26-041:

5475 Marginal Road.

Madam Chair, Members of the Board, Appellant is requesting area variances from the maximum gross floor area, minimum required lot size, parking, and trash requirements of the zoning code.

To obtain the area variances, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variances will not be contrary to the purpose and intent of the zoning code.



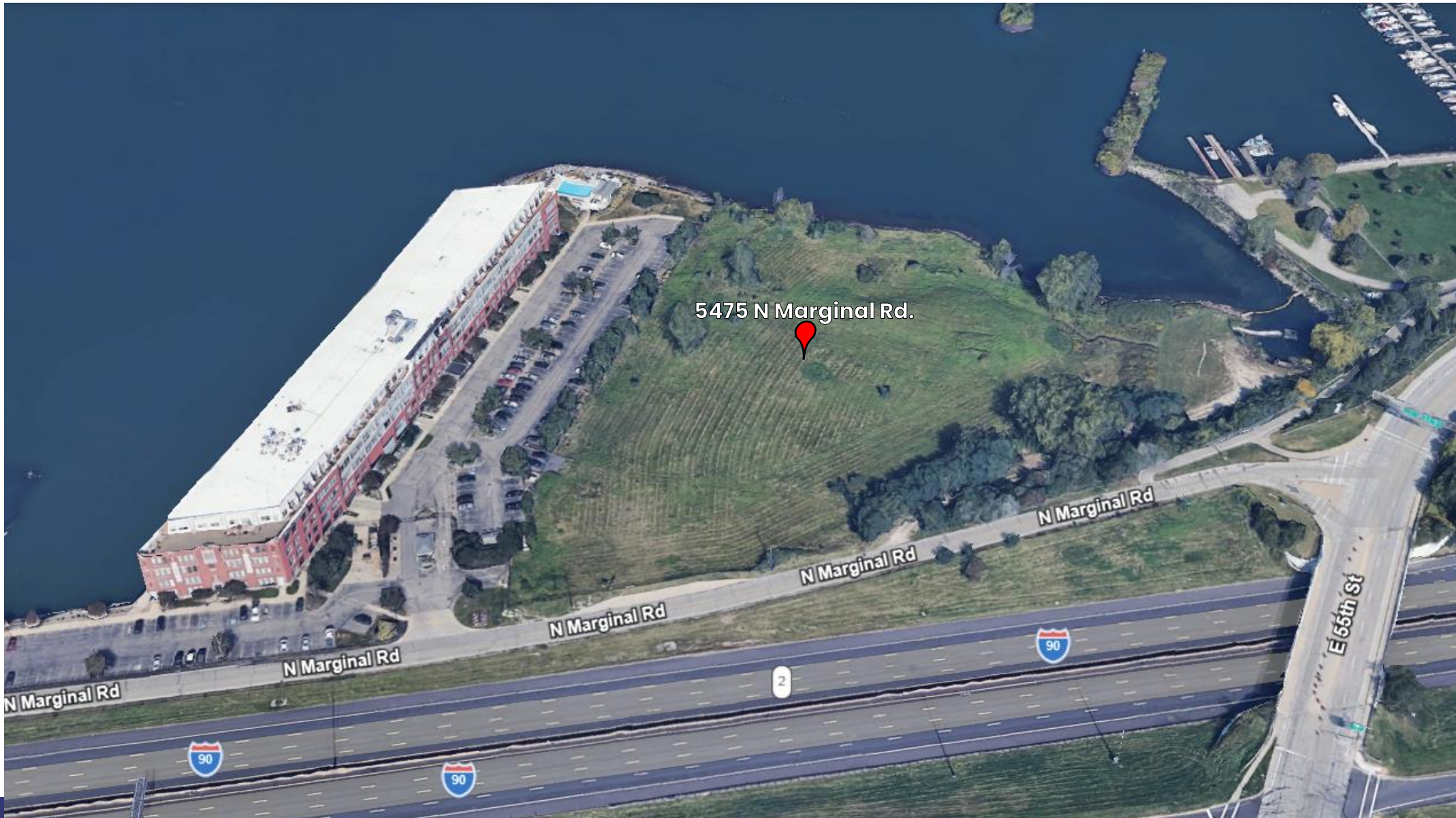
May 18, 2026

Zoning

- General Retail Business
- General Industry



May 18, 2026





UNION AT CLEVELAND HARBOR

CLEVELAND, OHIO

PROJECT# PRJ25-042138

BOARD OF ZONING APPEALS

MAY 18, 2026

LOCATION/CONTEXT

LOCATED AT 5475 N MARGINAL ROAD

PARCEL # 10501101

ACREAGE

+/- 186,230-SF, 4.27-ACRES

PLUS

+/- 37,640-SF, 0.86-ACRES

ZONING

GR-D3, ALLOWS MULTI-FAMILY BY-RIGHT



SITE PLAN

BUILDING

5-STORY APARTMENT BUILDING
GENERAL POPULATION, 209 UNITS

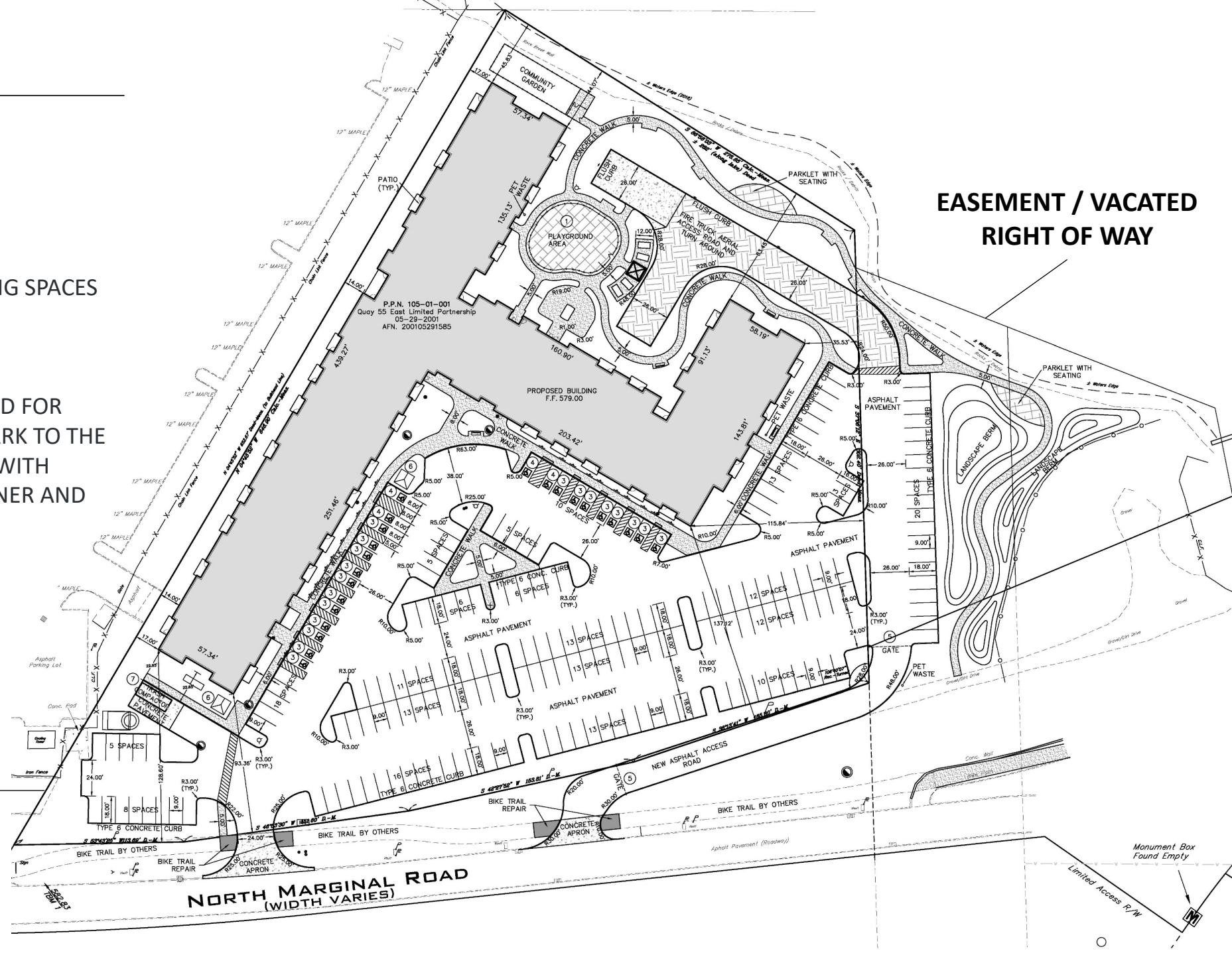
PARKING

189 PARKING SPACES + 23 ADA PARKING SPACES
212 PARKING SPACES TOTAL

EASEMENT

CITY VACATED RIGHT OF WAY ALLOWED FOR
SHARED PARKING AND ADDED CITY PARK TO THE
EAST SIDE OF SITE IN COORDINATION WITH
CURRENT LEASE WITH PROPERTY OWNER AND
PER CITY REAL ESTATE DEPARTMENT.

BUILDING LOT SITE



EASEMENT / VACATED
RIGHT OF WAY

NORTH MARGINAL ROAD
(WIDTH VARIES)

Monument Box
Found Empty

Limited Access R/W

BUILDING FLOOR PLANS

OVERALL BUILDING INFORMATION

230,248-SF TOTAL

UNIT MIX

88 ONE-BEDROOM UNITS

81 TWO-BEDROOM UNITS

40 THREE-BEDROOM UNITS

209 UNITS TOTAL

(22 UNITS WILL BE TYPE A ACCESSIBLE)

FIRST FLOOR

46,108-SF

UNIT MIX

16 ONE-BEDROOM UNITS

13 TWO-BEDROOM UNITS

8 THREE-BEDROOM UNITS

37 UNITS TOTAL

TYPICAL UPPER FLOOR

46,035-SF

UNIT MIX / FLOOR

18 ONE-BEDROOM UNITS

17 TWO-BEDROOM UNITS

8 THREE-BEDROOM UNITS

43 UNITS TOTAL / FLOOR



FIRST FLOOR



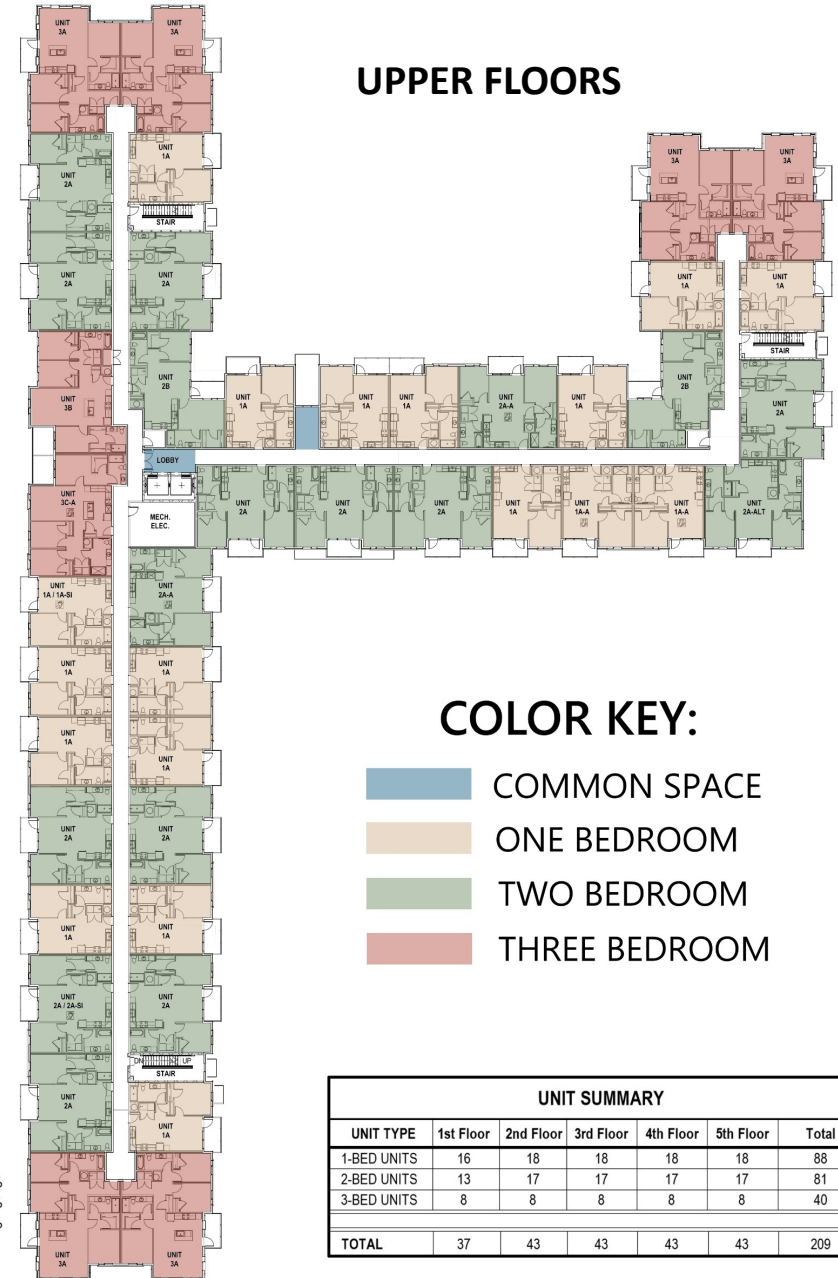
COLOR KEY:

- COMMON SPACE
- ONE BEDROOM
- TWO BEDROOM
- THREE BEDROOM

UNIT SUMMARY						
UNIT TYPE	1st Floor	2nd Floor	3rd Floor	4th Floor	5th Floor	Total
1-BED UNITS	16	18	18	18	18	88
2-BED UNITS	13	17	17	17	17	81
3-BED UNITS	8	8	8	8	8	40
TOTAL	37	43	43	43	43	209

42 %
39 %
19 %

UPPER FLOORS



COLOR KEY:

- COMMON SPACE
- ONE BEDROOM
- TWO BEDROOM
- THREE BEDROOM

UNIT SUMMARY						
UNIT TYPE	1st Floor	2nd Floor	3rd Floor	4th Floor	5th Floor	Total
1-BED UNITS	16	18	18	18	18	88
2-BED UNITS	13	17	17	17	17	81
3-BED UNITS	8	8	8	8	8	40
TOTAL	37	43	43	43	43	209

42 %
39 %
19 %

LETTER OF NON-CONFORMANCE ITEMS

COMMENTS FROM LETTER ISSUED ON 2/21/2026

Location: 5475 N. Marginal Road
 Zoning District: General Retail-GR
 Area: D Height: 3

Application to erect a five (5) story, 209-unit apartment building in a General Retail Business District is denied due to the following:

<u>Zoning Code</u>	<u>Text</u>		
355.04	In "D" area district, maximum gross floor area is limited to one times the lot area. 186,230 sf maximum gross floor area is permitted; 229,934 sf dwelling unit floor area is proposed.		building or use to which the parking facilities are accessory. 17 spaces proposed on adjoining lot.
	Min lot size is 2,400 sf per unit or 501,600 sf; 186,230 sf proposed	347.08 (a)	Trash areas and refuse containers shall be located in such manner that they shall not be visible from the public street or from any lot or lots designated for residential purpose. Such trash areas shall be screened with opaque fencing not lower than the height of the refuse containers therein.
349.04	One (1) accessory parking space per dwelling unit is required for lots not located in a Transit Oriented Development (TOD) zone. 209 accessory parking spaces required. 192 accessory parking spaces proposed.		Adequate vehicular access to and from such area or areas for collection of trash and/or garbage shall be provided at reasonable hours.
349.05 (a) & (b)	(a) The required accessory off-street parking facility shall be located on the same lot as the use for which it is provided or on a lot within four hundred (400) feet of the nearest boundary of the lot upon which the use is located. (b) The separate lot upon which such accessory parking facilities are provided shall be in the same ownership or control as the	352.13 (a)	All parking lots containing ten (10) or more spaces, which are used during non-daylight hours, shall be illuminated during those hours with one (1) to two and a half (2.5) footcandles, as recommended by the Illuminating Engineering Society (IES). No lighting plan provided.
			*CPC approval required.

ITEM #1 – Zoning Code 355.04

“D” AREA DISTRICT MAX SQUARE FOOTAGE LIMITED TO ONE TIMES THE LOT SQUARE FOOTAGE: 186,230 SF

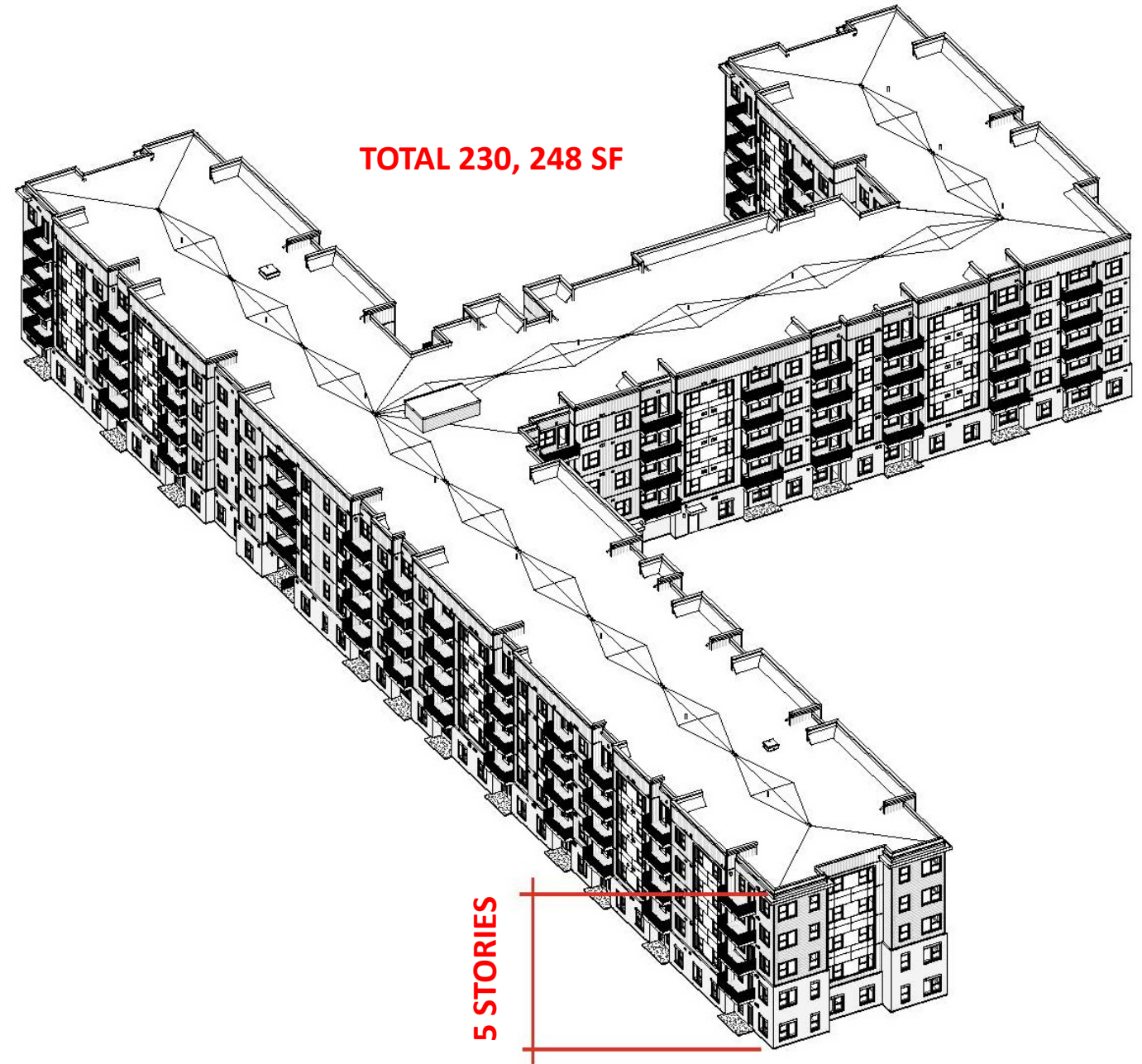
VARIANCE REQUEST:

PROPOSED ALLOWANCE REQUEST FOR **230,248 SF** FOR THE 5-STORY APARTMENT BUILDING

2024 OHIO BUILDING CODE:

ALLOWABLE HEIGHT IS 5 STORIES

ALLOWABLE AREA IS 48,000 SF / FLOOR x 5 = 240,000 SF TOTAL > 230,248 SF PROPOSED



ITEMS #2 – Zoning Code 349.04

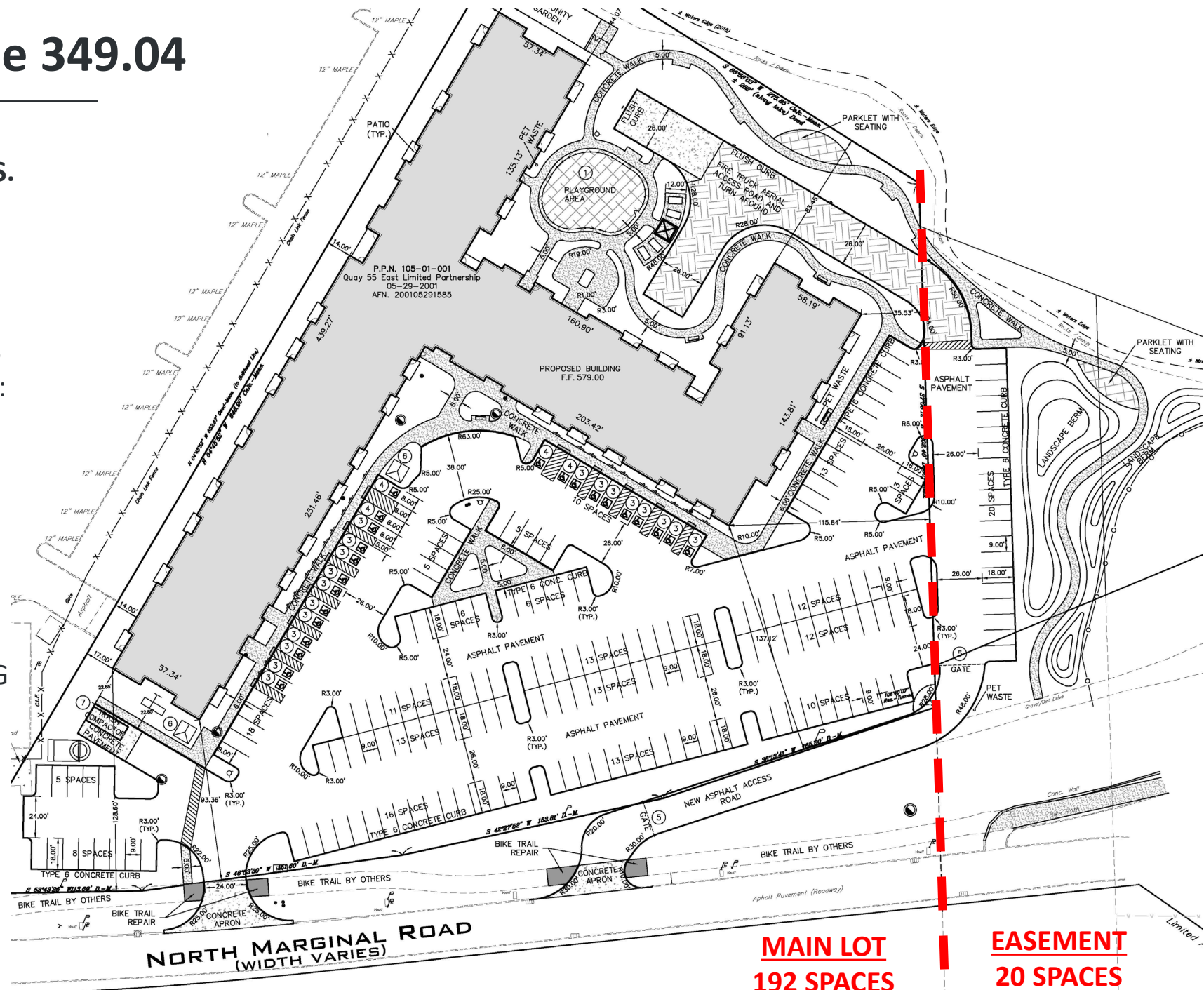
ONE (1) ACCESSORY PARKING SPACE PER DWELLING UNIT. 209 UNITS = 209 SPACES. PARKING LOCATED IN BUILDING LOT: 192

VARIANCE REQUEST:

REQUEST TO INCLUDE 20 PARKING SPACES IN EASEMENT AS PART OF PARKING TOTAL: BUILDING LOT 192 + EASEMENT LOT 20 = 212 TOTAL / 209 REQUESTED

EASEMENT IS PART OF PROJECT SCOPE IN COORDINATION WITH THE CITY.

NOTE: WORKING WITH PLANNING COMMISSION ON PARKING AND LOCATING PATH THROUGH LOT, SO REQUESTING THE 209 SPACES AS THE REQUIRED COUNT.



**MAIN LOT
192 SPACES**

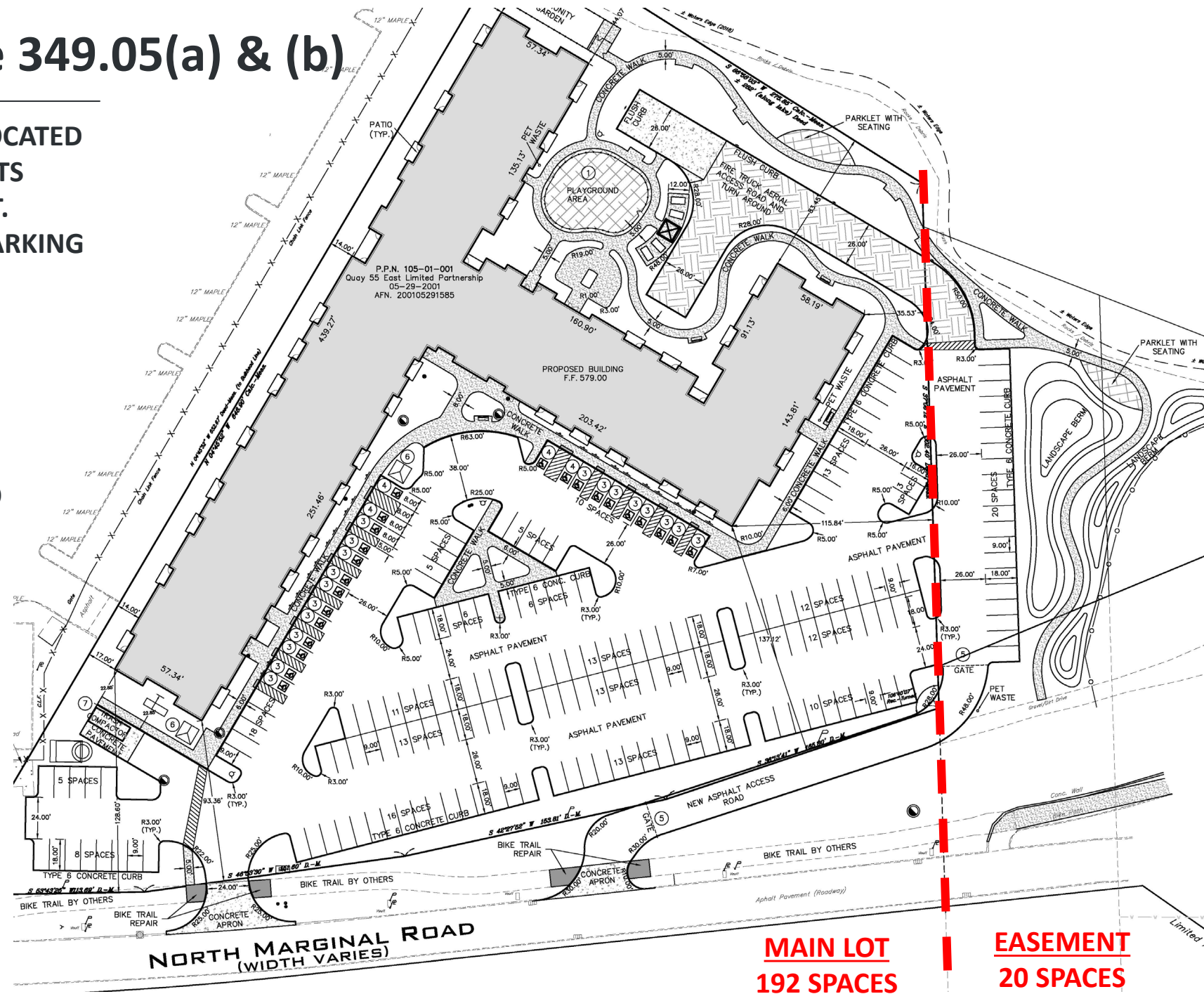
**EASEMENT
20 SPACES**

ITEM #3 – Zoning Code 349.05(a) & (b)

- (a) REQUIRED OFF-STREET PARKING LOCATED ON THE SAME LOT AS USE WHICH ITS PROVIDED ON OR WITHIN 400 FEET.
- (b) SEPARATE LOT WITH ACCESSORY PARKING SHALL BE IN SAME OWNERSHIP OR CONTROL AS BUILDING OR USE.

VARIANCE REQUEST:

EASEMENT LOT PARKING SPACES TO BE INCLUDED WITH MAIN PARKING DUE TO AGREEMENT OF SHARED LOT USE.



MAIN LOT
192 SPACES

EASEMENT
20 SPACES

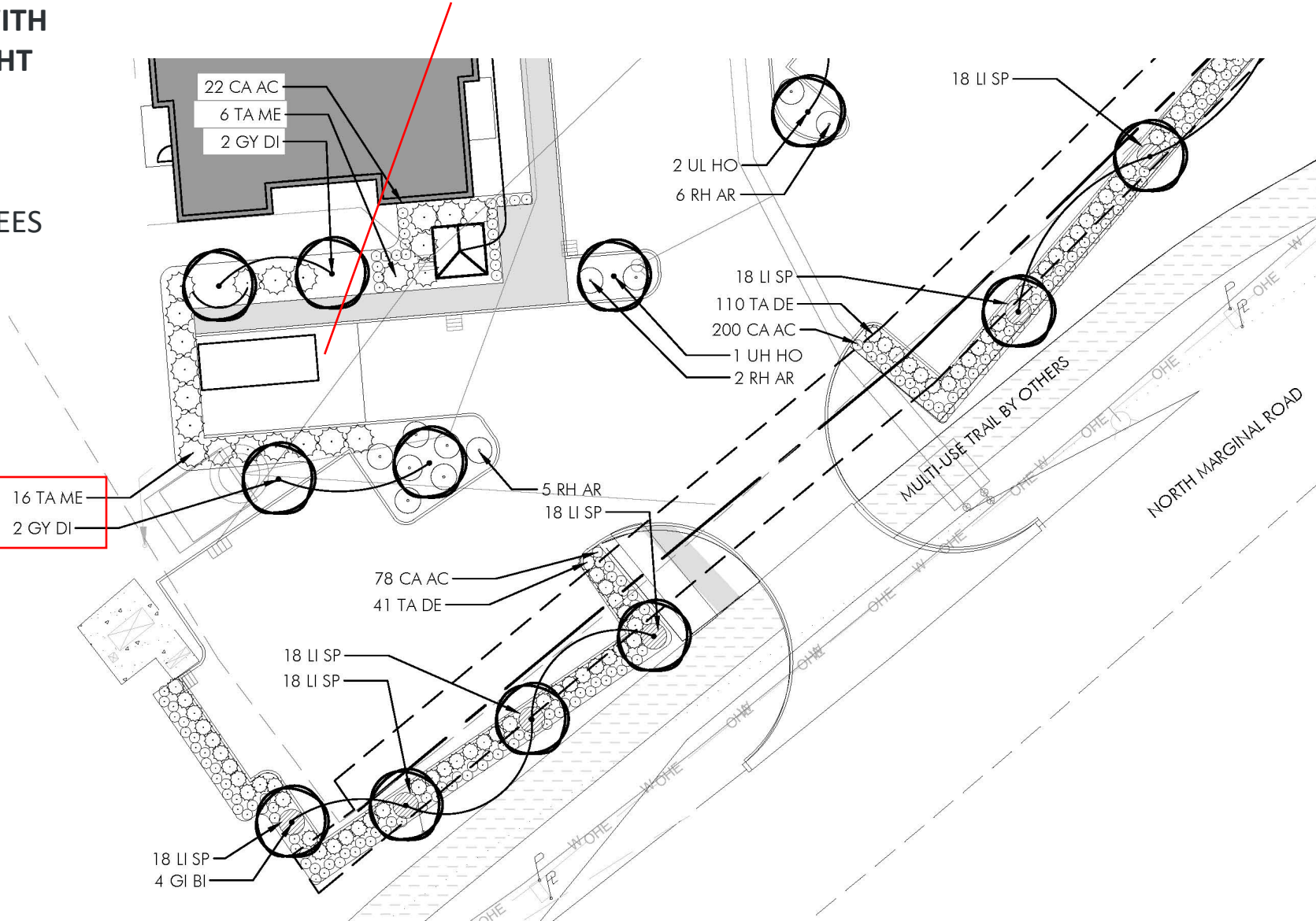
ITEM #4 – Zoning Code 347.08 (a)

TRASH AREAS AND REFUSE CONTAINERS SHALL NOT BE VISIBLE FROM PUBLIC STREET OR RESIDENTIAL LOTS. SHALL BE SCREENED WITH OPAQUE FENCING NOT LOWER THAN HEIGHT OF CONTAINERS THEREIN

VARIANCE REQUEST:

PROVIDE COMBINATION OF DECIDUOUS TREES AND 36" HIGH SHRUBS

TRASH ENCLOSURE

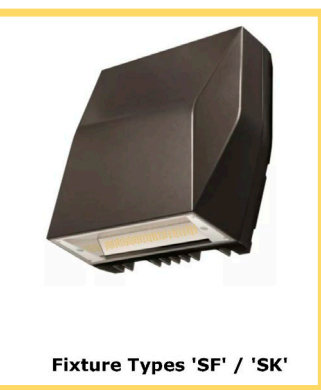
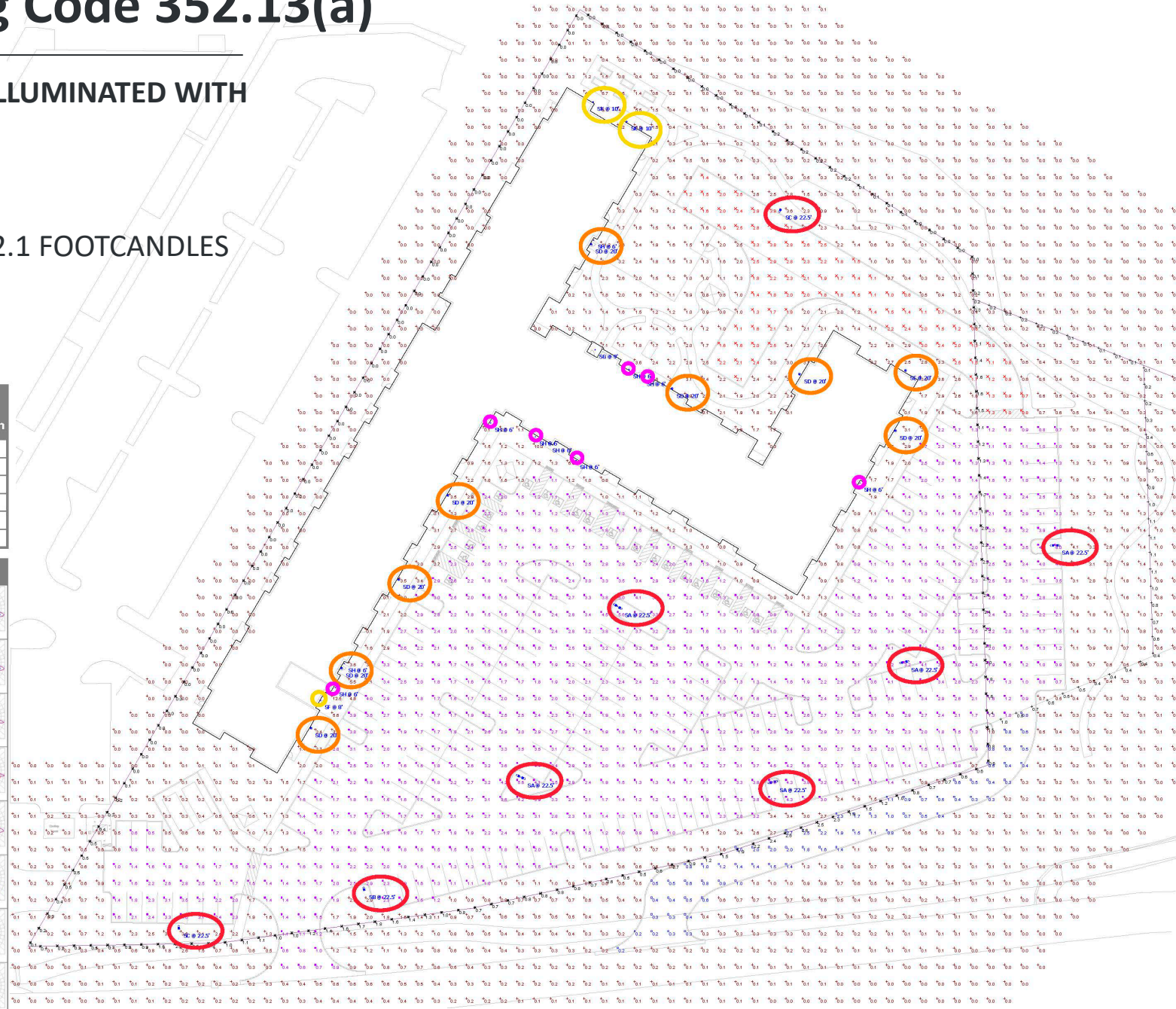


PLANT LIST					
SYMBOL	BOTANICAL & COMMON NAMES	SIZE	COND.	REMARKS	
DECIDUOUS TREES					
GI BI	<i>Ginkgo biloba</i> 'Princeton Sentry' Ginkgo	2" Cal.	B&B	AS SHOWN	
UL HO	<i>Ulmus</i> 'New Horizon' New Horizon Elm	2" Cal.	B&B	AS SHOWN	
GY DI	<i>Gymnocladus dioica</i> 'McKBranded' Decaf Kentucky Coffee Tree	2" Cal.	B&B	AS SHOWN	
SHRUBS					
RH AR	<i>Rhus aromatica</i> 'Gro-Low' Gro-Low Fragrant Sumac	24" Ht.	CONT.	AS SHOWN	
TA ME	<i>Taxus x media</i> 'Hicksii' Hick's Yew	36" Ht.	CONT.	AS SHOWN	
TA DE	<i>Taxus x media</i> 'Densitormis' Dense Spreading Yew	24" Ht.	CONT.	AS SHOWN	

ITEM #5 – Zoning Code 352.13(a)

**ALL PARKING LOTS SHALL BE ILLUMINATED WITH
1 – 2.5 FOOTCANDLES**

**VARIANCE REQUEST:
AVERAGE LIGHTING LEVEL IS 2.1 FOOTCANDLES
WITH A MINIMUM OF 0.4**



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Courtyard Entrance	✗	1.9 fc	3.8 fc	0.7 fc	5.4:1	2.7:1
Easement / Right-of-Way	+	0.5 fc	1.1 fc	0.1 fc	11.0:1	5.0:1
Overall Site	+	1.0 fc	12.5 fc	0.0 fc	N/A	N/A
Parking	■	2.1 fc	6.0 fc	0.4 fc	15.0:1	5.3:1
Property Line	✗	0.7 fc	2.9 fc	0.0 fc	N/A	N/A
Side Driveway	□	0.9 fc	2.7 fc	0.2 fc	13.5:1	4.5:1

Schedule											
Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLP	Wattage	Polar Plot
SA	SA		5	PRV-PAB2-740-U-3WQ	PREVAL AREA AND ROADWAY LUMINAIRE (2) 70 CHL, 4000K, 1200MA LIGHT ENGINE WITH 24 LEDs AND TYPE V WIDE OPTICS, MOUNTED ON 20' POLE WITH 30" CONCRETE BASE	96	212	0.9	302		Max: 7558cd
SB	SB		1	PRV-PAB2-740-U-3WQ	PREVAL AREA AND ROADWAY LUMINAIRE (2) 70 CHL, 4000K, 1200MA LIGHT ENGINE WITH 24 LEDs AND TYPE V WIDE OPTICS, MOUNTED ON 20' POLE WITH 30" CONCRETE BASE	96	212	0.9	302		Max: 7558cd
SC	SC		2	PRV-PAB2-740-U-T4W	PREVAL AREA AND ROADWAY LUMINAIRE (2) 70 CHL, 4000K, 1200MA LIGHT ENGINE WITH 24 LEDs AND TYPE V WIDE OPTICS, MOUNTED ON 20' POLE WITH 30" CONCRETE BASE	96	203	0.9	313		Max: 13015cd
SD	SD		8	PRV-P-PAID-740-U-11W	PREVAL AREA AND WALL LUMINAIRE (1) 70 CHL, 4000K, 1200MA LIGHT ENGINE WITH 24 LEDs AND TYPE III OPTICS, WALL MOUNTED AT 20' AFF	24	454	0.9	93.4		Max: 6794cd
SE	SE		1	PRV-P-PAID-740-U-11W	PREVAL AREA AND WALL LUMINAIRE (1) 70 CHL, 4000K, 1200MA LIGHT ENGINE WITH 24 LEDs AND TYPE III OPTICS, WALL MOUNTED AT 20' AFF	24	464	0.9	93.4		Max: 6794cd
SF	SF		1	ACCSA-W	24 ANCHOR SMALL LED WALLPACK WITH 3000K CCT AND 80 CHL LEDS	1	2164	0.9	20.7		Max: 1092cd
SG	SG		1	HC-10000-18W40-2000-41WDR	INDU COMMERCIAL 4' SQUARE, NEW CONSTRUCTION FRAME, WITH 4" WIDE DISTRIBUTION, HOSE TIGHT	(1) HIGH LUMEN LED BICOE / 3000 CCT	1	1537	0.9	14	Max: 1059cd
SH	SH		10	OWW600-3220W-83CX3-REV-114	LED lamp	1	2805	0.9	39.45		Max: 3046cd

May 18, 2026

Latonya Walker, owner, proposes to establish a five (5) person residential facility in a B1 Two-Family Residential District. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. **Section 325.571** which states a “Residential Facility” means a publicly or privately operated home or facility, licensed pursuant to state law, that provides accommodations, supervision, and personal care services to any of the follow: (a) one(1) or two (2) unrelated per-sons with mental illness; (b) one (1) or (2) unrelated adults who are receiving residential state supplement payments as defined in the Ohio Revised Code; or (c) three (3) to sixteen (16) unrelated adults.
2. **Section 337.02 (h)** which states a residential facility, as defined in Chapter 325 of this Zoning Code, for one (1) to five (5) unrelated people, is not permitted if located within one thousand (1,000) feet from an-other. Licensed Residential Facility located at 3104 Audobon Blvd.

May 18, 2026

SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU
ARE ABOUT TO GIVE IS THE WHOLE TRUTH AND
NOTHING BUT THE TRUTH?

**Please Raise Your Hand.
Reply with I DO and YOUR NAME.**

HISTORY OF THE PROPERTY

May 18, 2026



May 18, 2026

LEGAL STANDARD

Calendar No. 26-042:

9717 Dickens Ave.

Madam Chair, Members of the Board, Appellant is requesting a use variance and an area variance from the minimum distance requirements of the zoning code.

To obtain the use variance, Appellant must prove that denying the request:

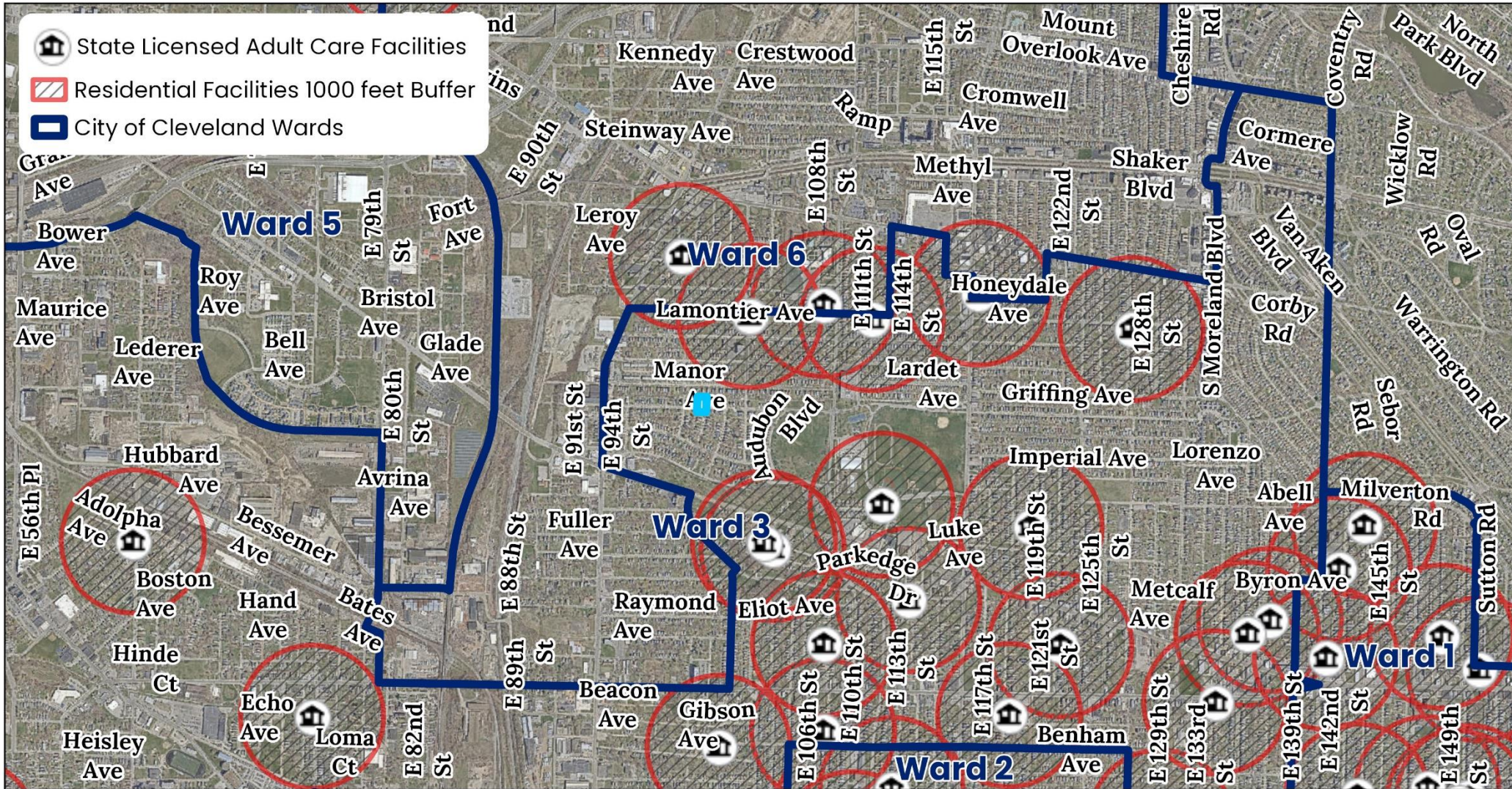
1. Will result in an **unnecessary hardship** particular to the property such that there will be no economically feasible use of the property without the variance;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variance will not be contrary to the purpose and intent of the zoning code.

To obtain the area variance, Appellant must prove that denying the request:

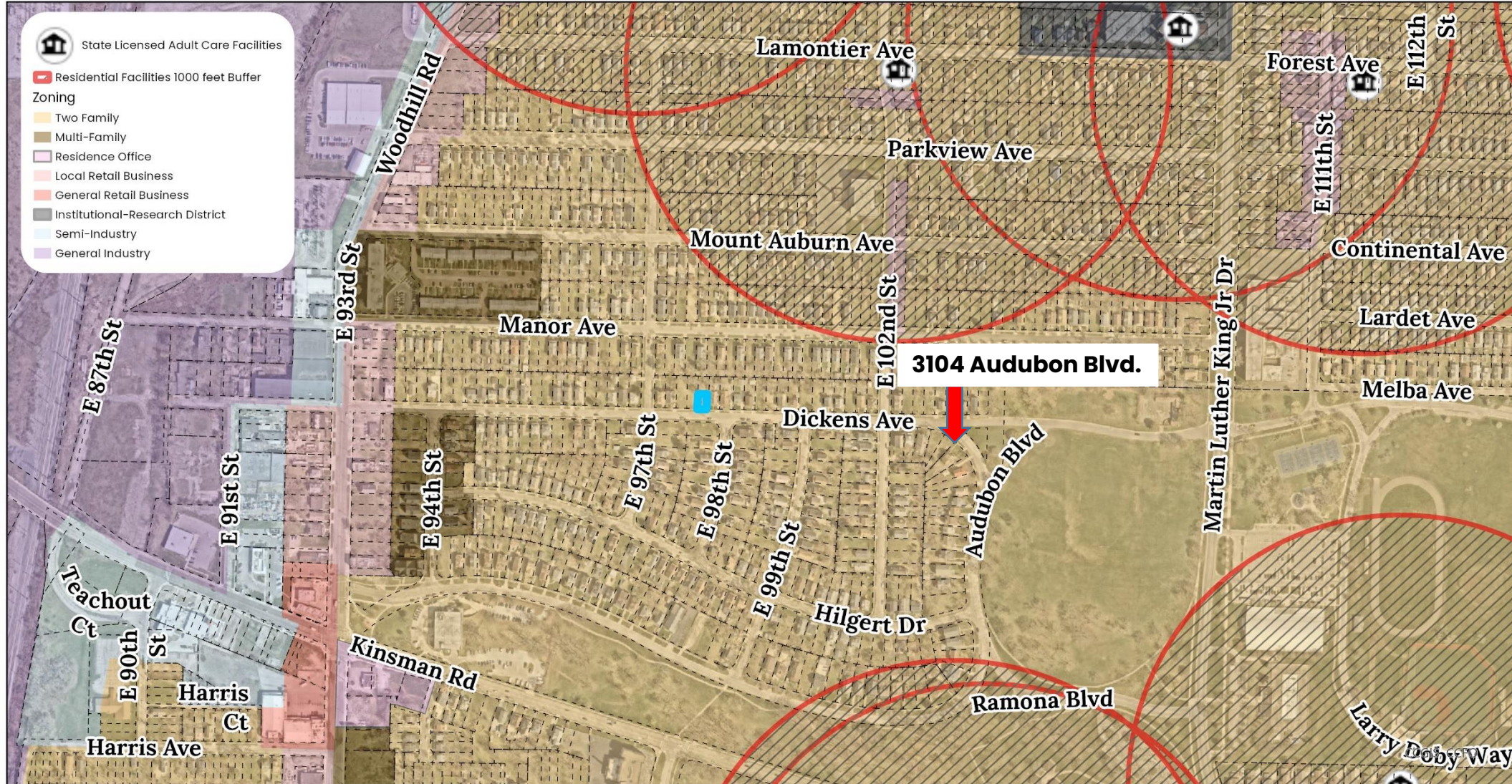
1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variance will not be contrary to the purpose and intent of the zoning code.



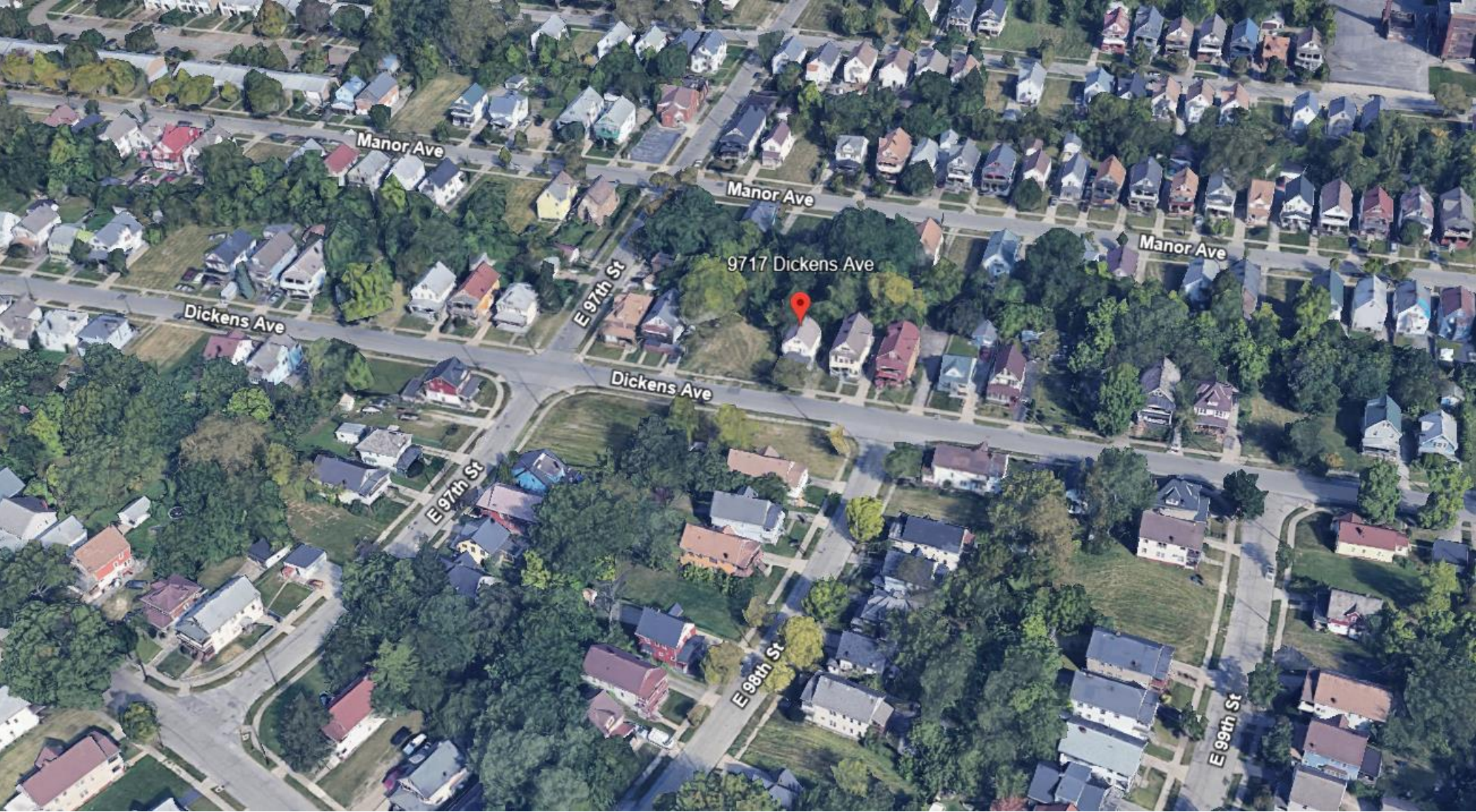
May 18, 2026



May 18, 2026

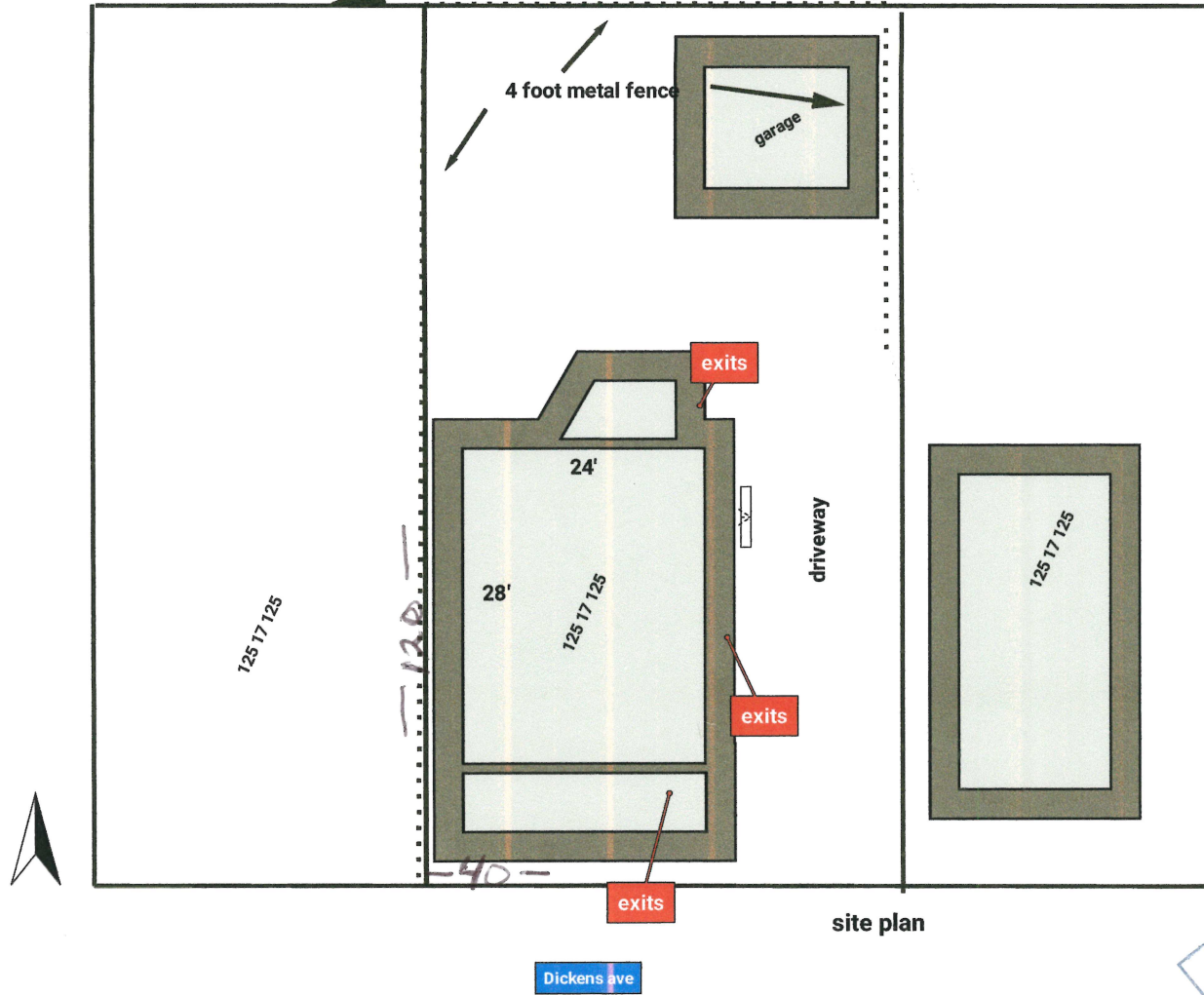


May 18, 2026



9717 Dickens ave.
Cleveland, Ohio 44104

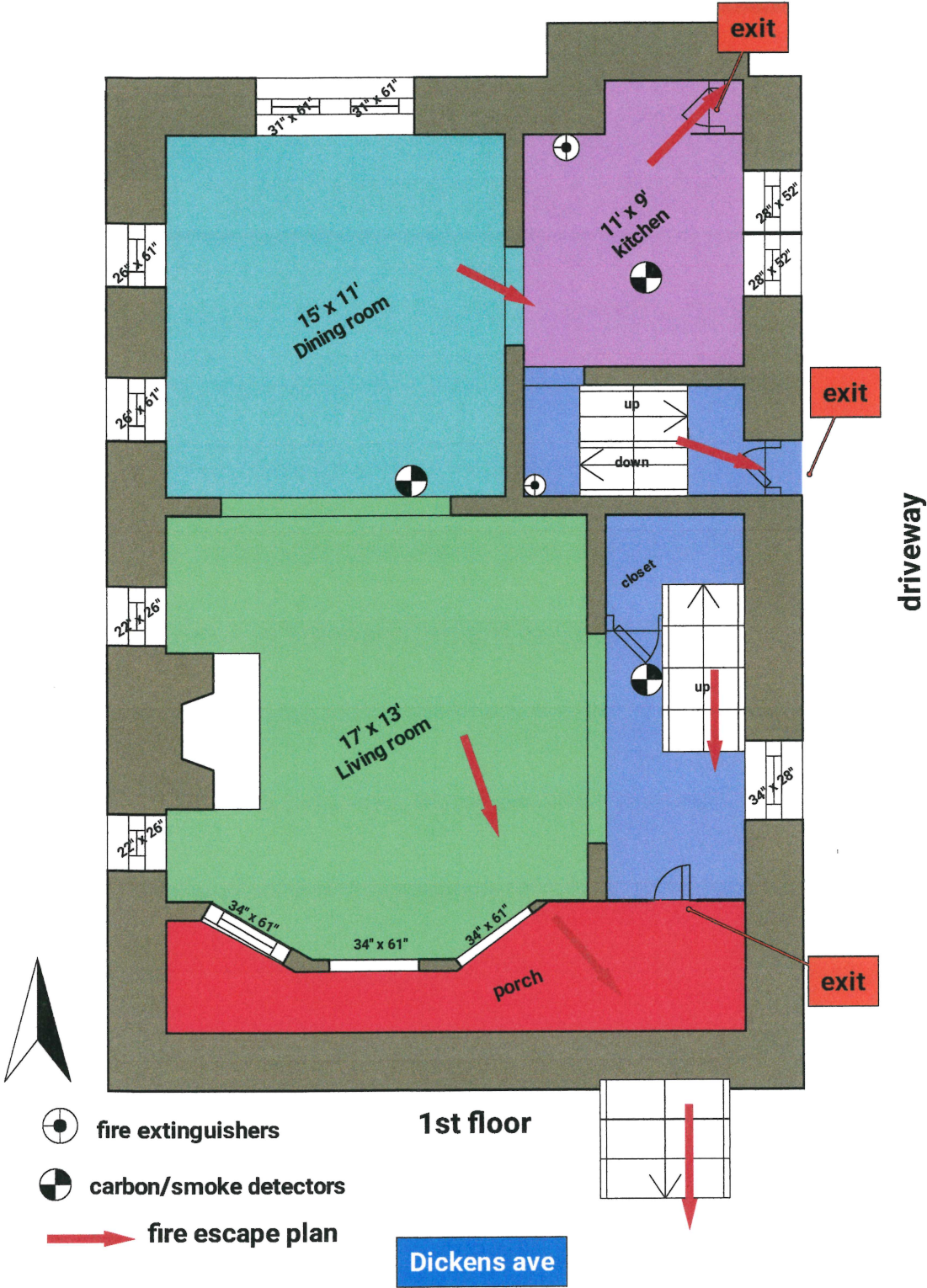
property lines



82426-842

RECEIVED
APR 14 2026
ZONING DEPT

9717 Dickens ave.
Cleveland, Ohio 44104

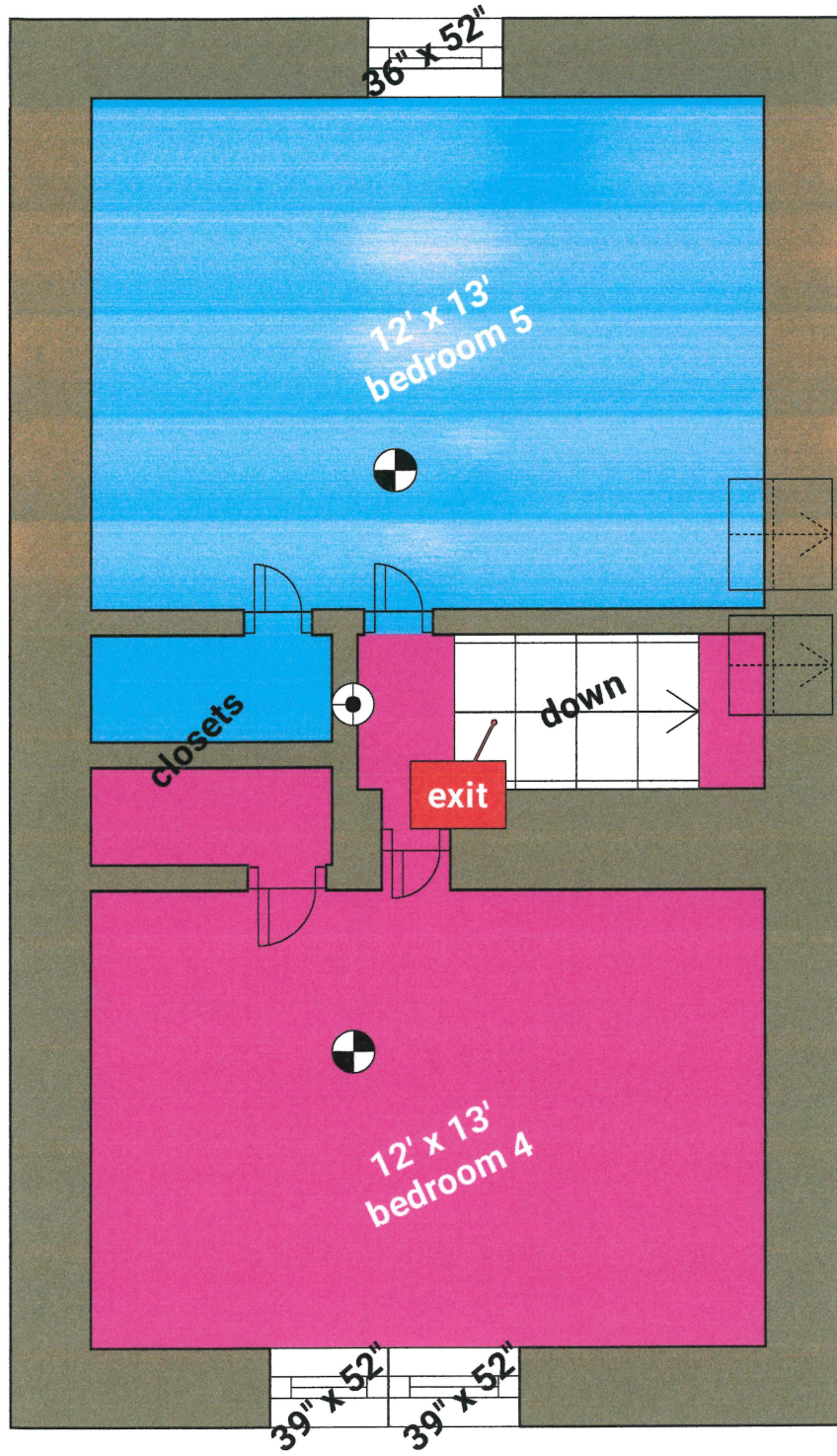


2nd floor

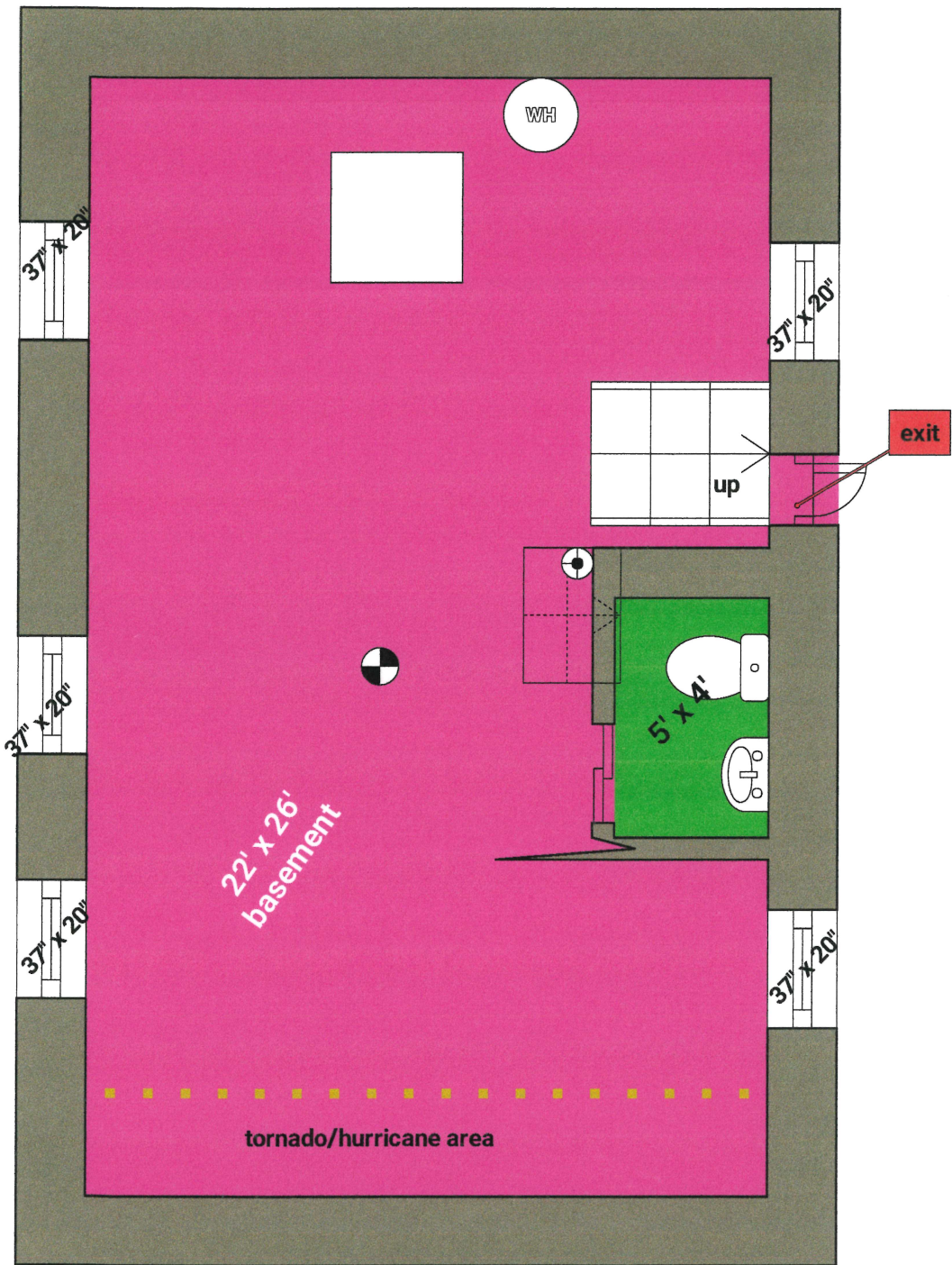


Dickens ave

3rd
floor



basement



Dickens ave

Jorge Mayor and Nathaniel Grills, owners, propose to erect a new wood frame gable garage in a B1 Two-Family Residential District.

May 18, 2026

The owners appeal for relief from the strict application of the following section of the Cleveland Codified Ordinances:

1. **Section 353.03** which states that an accessory building shall not exceed fifteen (15) feet in height, or the distance from the accessory building to a main building or potential location of a main building on adjoining premises in a Residence District, whichever is less. The neighbors at 4310 Bailey/and also soon to be 4313 Peach Ct. are proposing two houses with attached front loaded garages within 5 feet of shared eastern property line.
-

May 18, 2026

SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU
ARE ABOUT TO GIVE IS THE WHOLE TRUTH AND
NOTHING BUT THE TRUTH?

**Please Raise Your Hand.
Reply with I DO and YOUR NAME.**

HISTORY OF THE PROPERTY

May 18, 2026



May 18, 2026

LEGAL STANDARD

Calendar No. 26-047:

4314 Bailey Ave.

Madam Chair, Members of the Board, Appellant is requesting an area variance from the accessory building requirements of the zoning code.

To obtain the area variance, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variance will not be contrary to the purpose and intent of the zoning code.



May 18, 2026



Zoning
Two Family

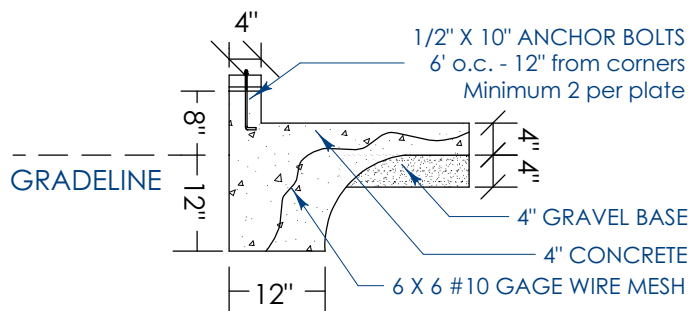
Calendar No. 26-047
4314 Bailey Ave.

50 Feet
N

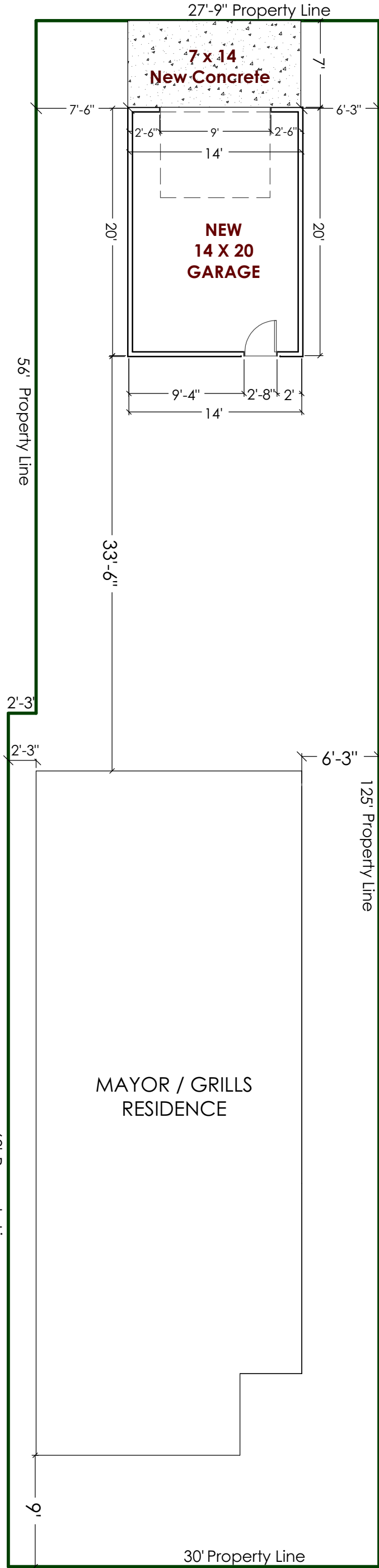
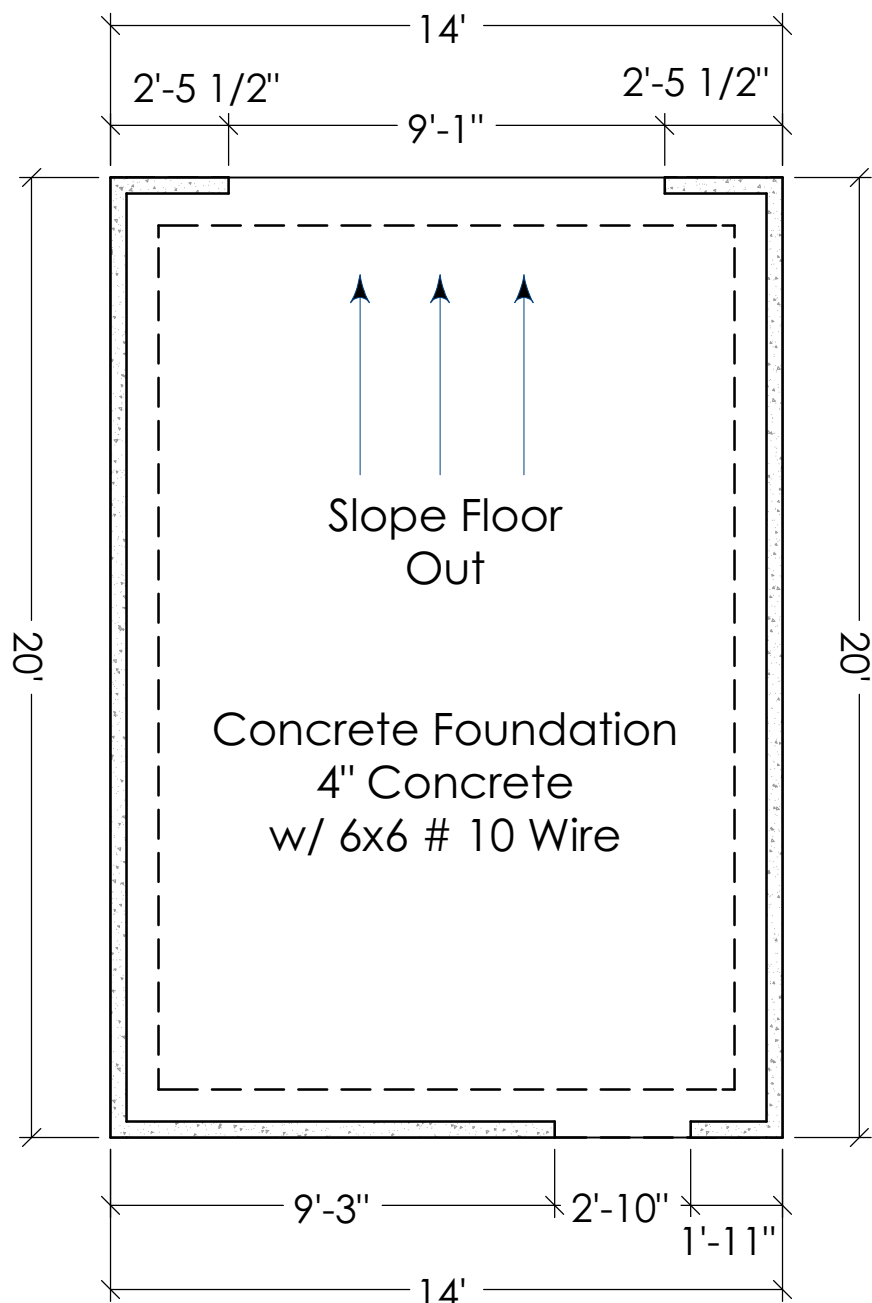


May 18, 2026

Entrance to New Garage - Peach Court (Alley Way)



SECTION A



IMPORTANT NOTICE TO HOMEOWNER:
 PLEASE HAVE POWER TO GARAGE SHUT OFF BEFORE DEMOLITION AND HAVE ELECTRIC POWER FROM THE HOUSE ACCESSIBLE FOR POWER TOOLS.

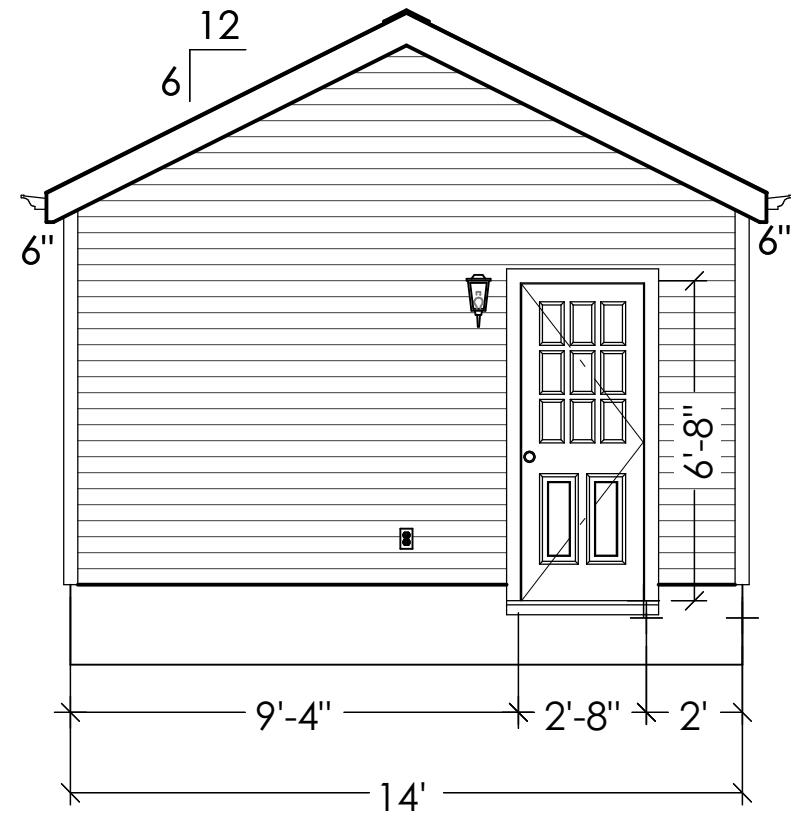
I (We) have reviewed this drawing and agree that it is a true representation to the work to be performed on my property.
 I also understand that I am responsible for the location of my property lines, painting, backfill and landscaping of my property.

Homeowner: _____

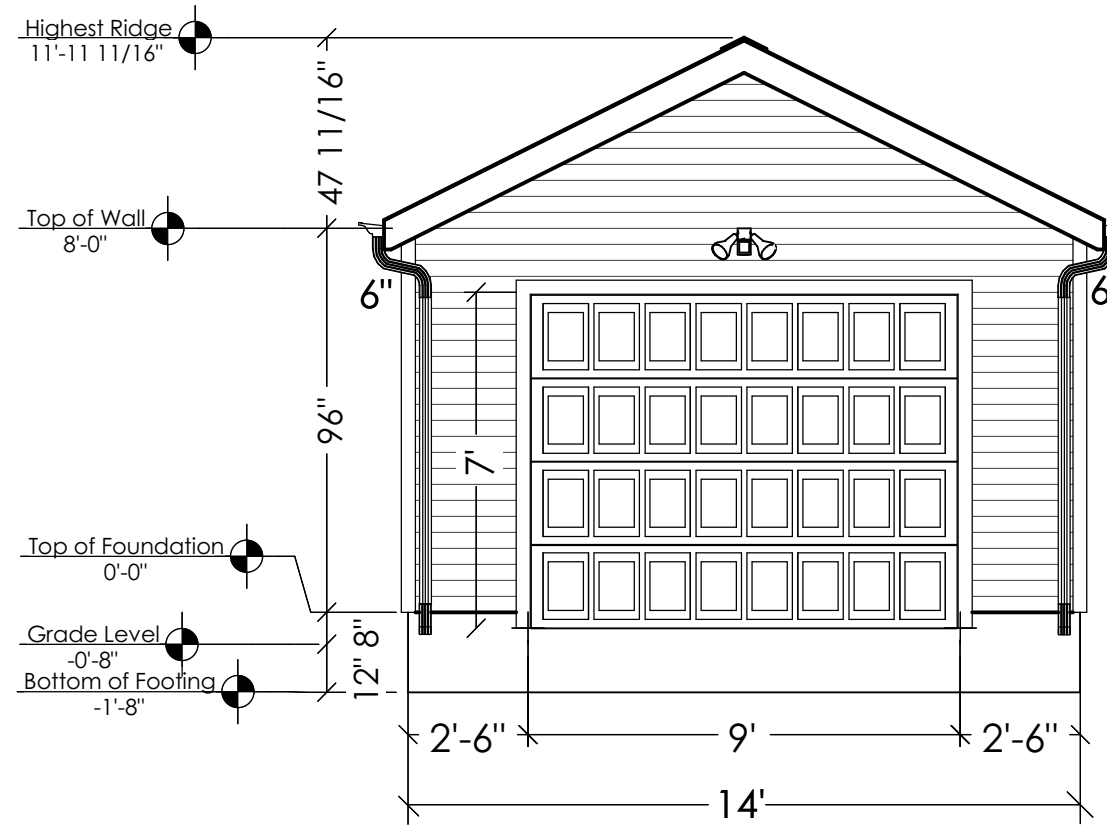
Homeowner: _____

Date: _____

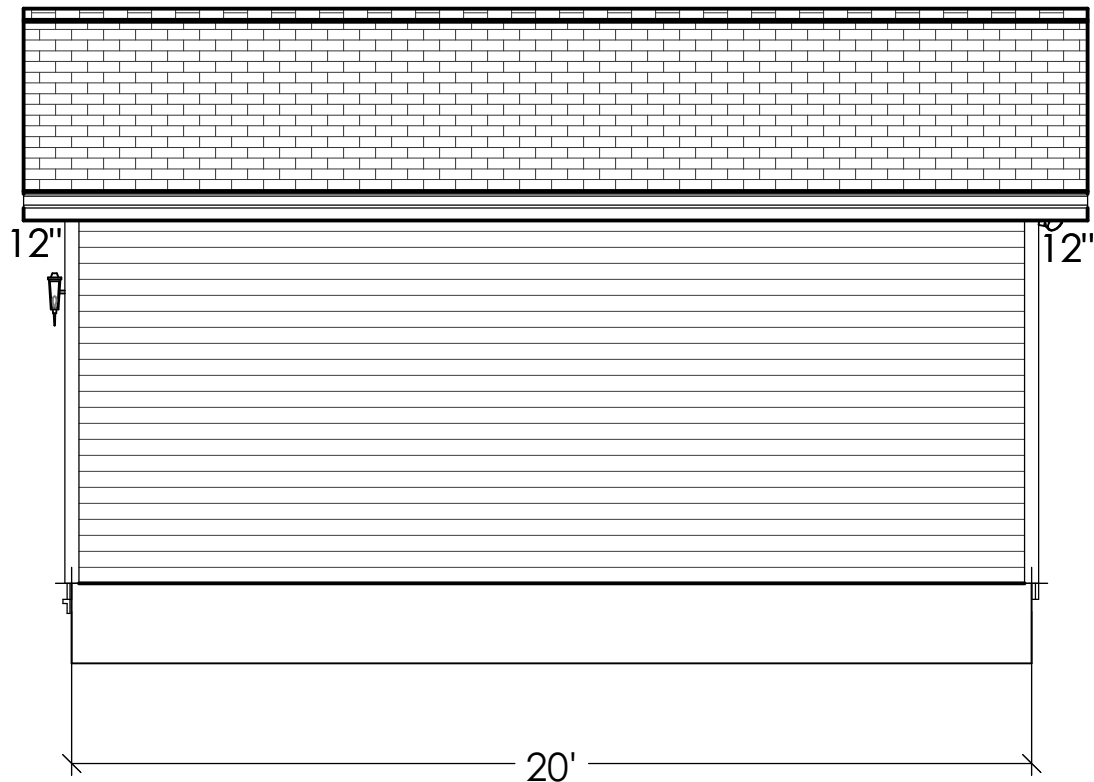
P-1	SHEET:	SCALE:	3/15/2026	DRAWINGS PROVIDED BY: Amy D'Amico The Great Garage Company 1309 Ridge Rd. Suite 4 Hinckley, OH 44233 440.230.9900	14 x 20 Gable Garage Plot Plan	Jorge Mayor & Nate Grills 4314 Bailey Ave. Cleveland, OH 44113 202-641-2866
			DATE:			



REAR ELEVATION

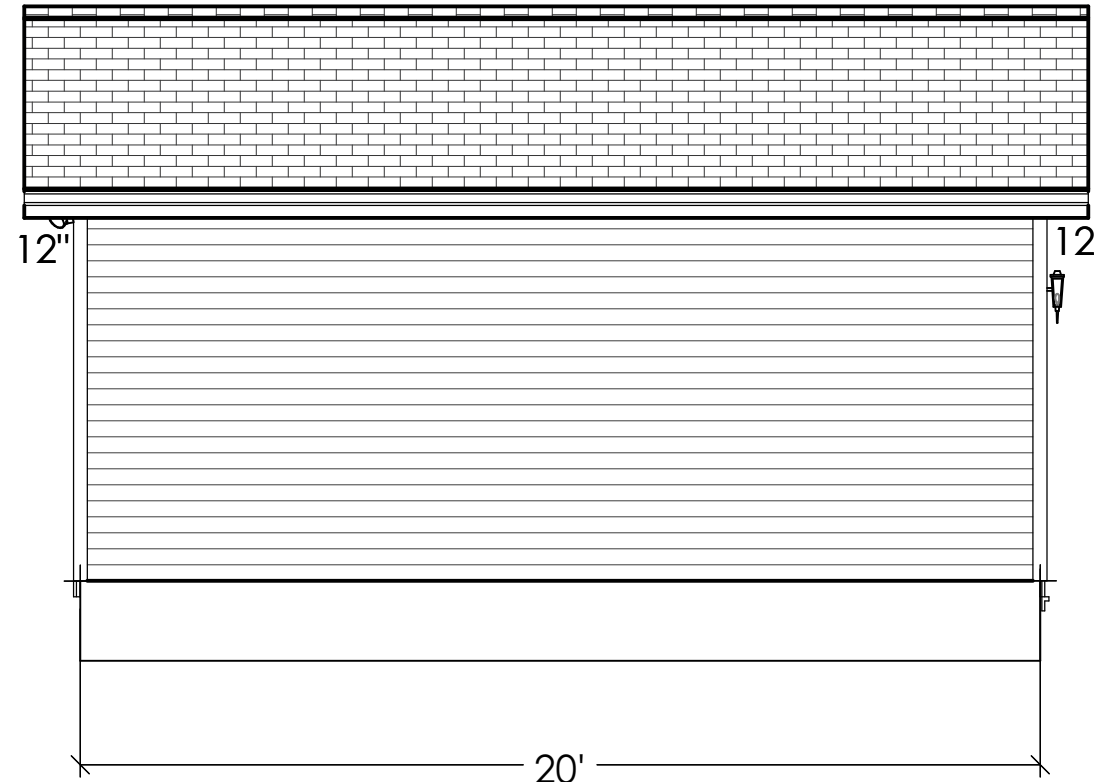


FRONT ELEVATION



LEFT ELEVATION

Downspouts
splash to drive.
Gutter & Downspout
color:
White



RIGHT ELEVATION

Jorge Mayor & Nate Grills
4314 Bailey Ave.
Cleveland, OH 44113
202-641-2866

14 x 20 Gable Garage
Elevations

DRAWINGS PROVIDED BY:
Amy D'Amico
The Great Garage Company
1309 Ridge Rd. Suite 4
Hinckley, OH 44233
440.230.9900

DATE:

3/15/2026

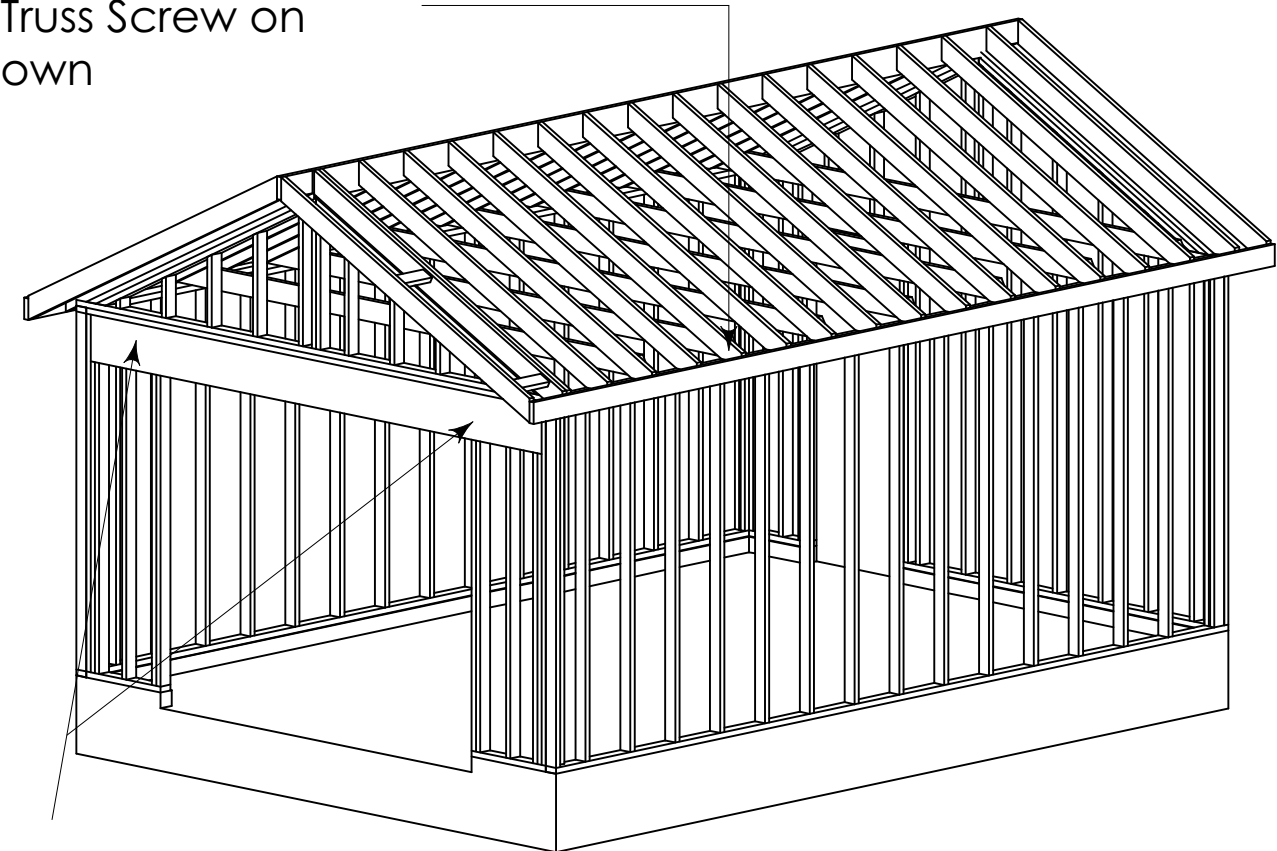
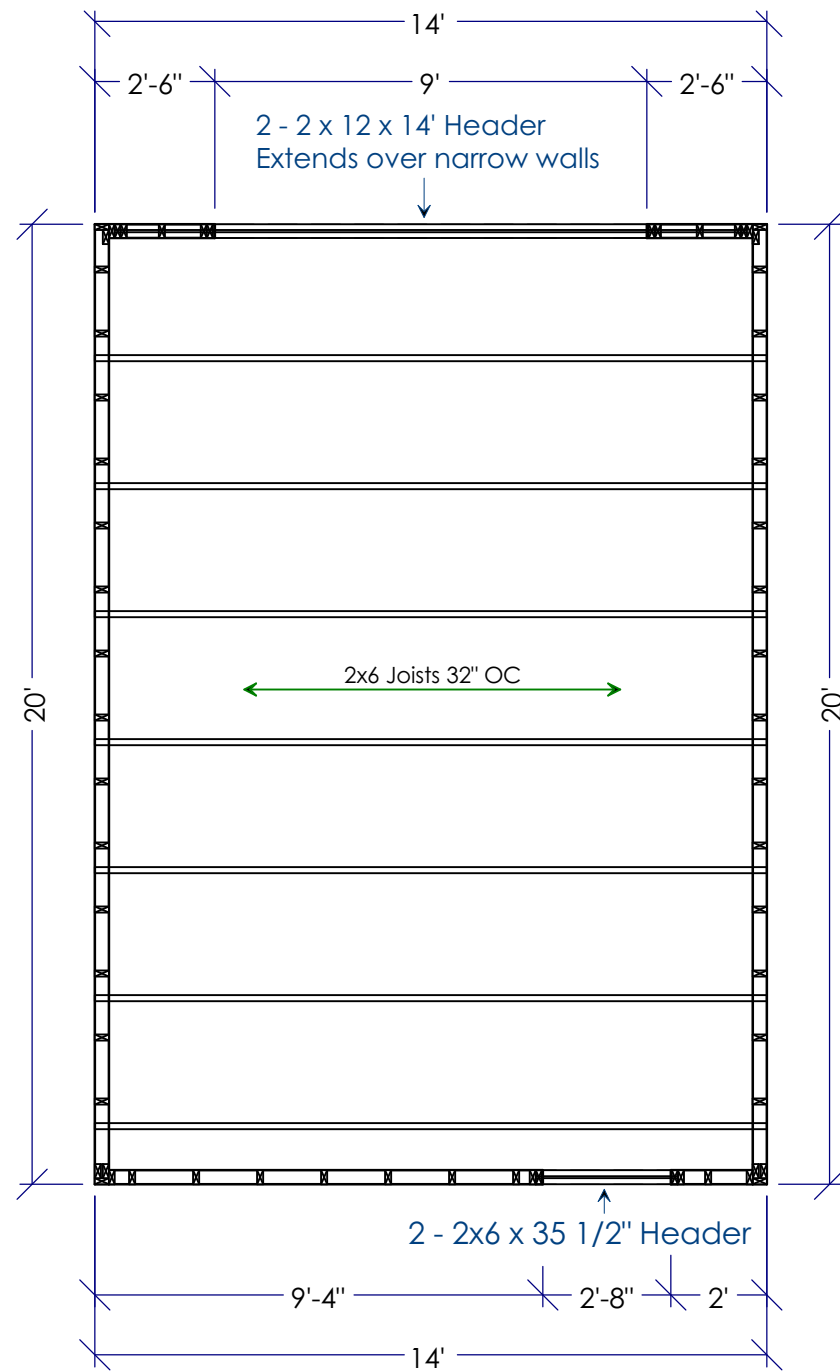
SCALE:

1/4

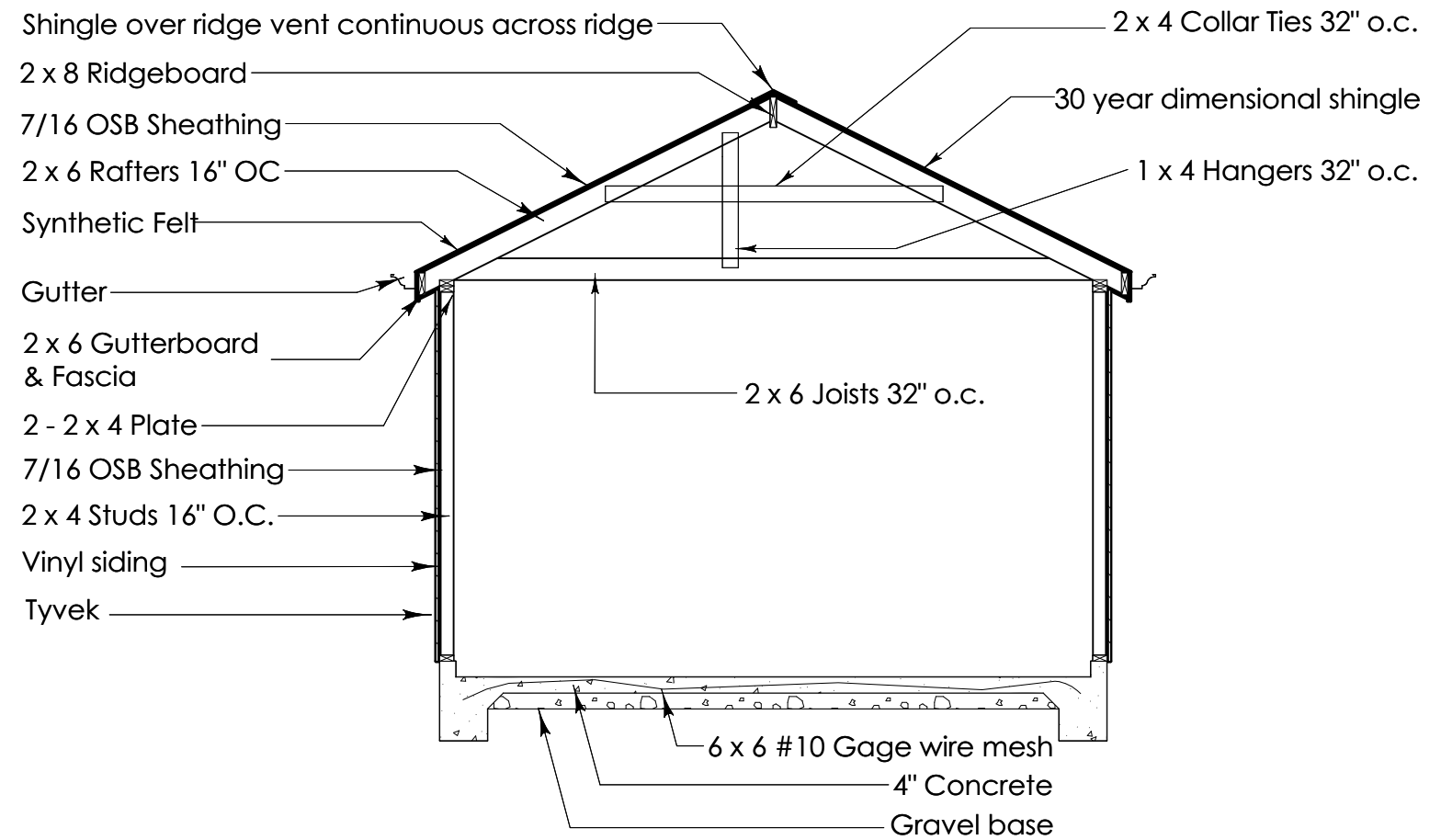
SHEET:

P-2

Strong-Drive SDWC Truss Screw on each rafter for tie down



Header extends 2' over narrow walls



Jorge Mayor & Nate Grills
4314 Bailey Ave.
Cleveland, OH 44113
202-641-2866

14 x 20 Gable Garage
Structural

DRAWINGS PROVIDED BY:
Amy D'Amico
The Great Garage Company
1309 Ridge Rd. Suite 4
Hinckley, OH 44233
440.230.9900

DATE:

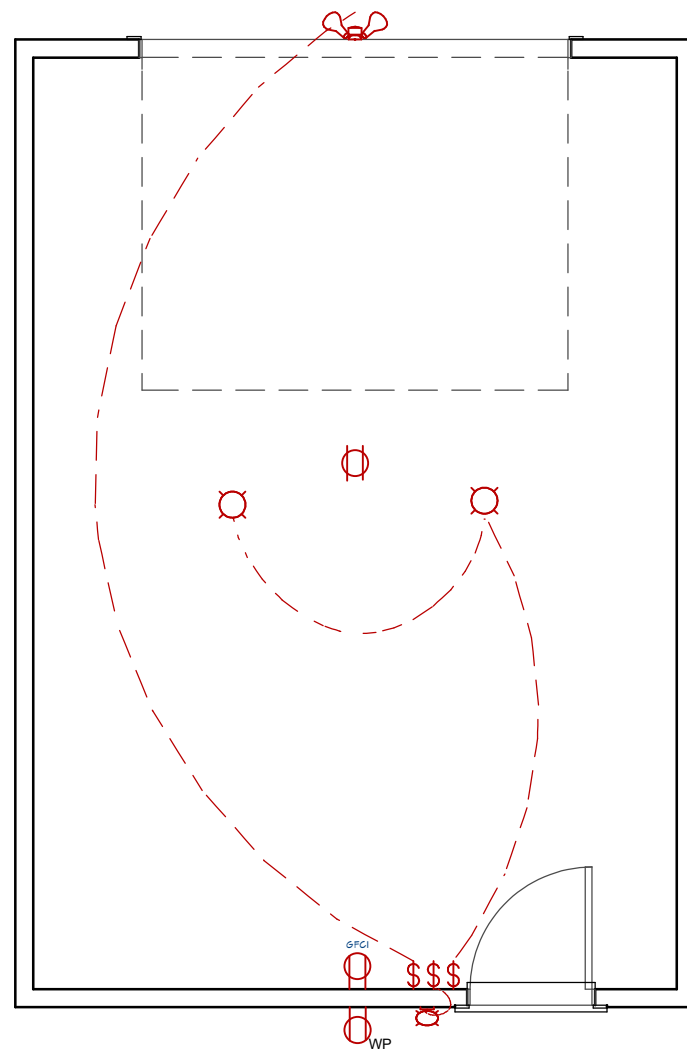
3/15/2026

SCALE:

1/4

SHEET:

P-3



Electrical Plan

ELECTRICAL SCHEDULE			
QTY	DESCRIPTION	2D SYMBOL	3D ELEVATION
1	SCONCE LIGHTS PROVIDED BY ELECTRICIAN		
1	SINGLE, CEILING MOUNTED		
3	SINGLE POLE	\$	
1	DUPLEX (WEATHERPROOF)		
2	BARE BULB		
1	GFCI		
1	ELECTRICAL DOUBLE SPOT LIGHT & MOTION PROVIDED BY ELECTRICIAN		

Electrical Schedule

IMPORTANT NOTE TO ELECTRICIAN:

- 50' underground feeder
- All wall receptacles in garage to be GFCI protected
- All materials to be supplied by electrician
- Garage door opener to be single receptacle

Garage with 2) 120 volt circuits:

Underground to garage to be in 1/2" rigid metal conduit a minimum of 6" deep (or 1/2" PVC conduit a minimum of 18" deep) with 4) #12 THHN stranded wires on a 20 amp double pole breaker in the house panel and a 2-pole 20 amp main switch at the garage. Rear outlet/outlets for each bay are on a dedicated circuit.

IMPORTANT NOTE TO HOMEOWNER:

Please make arrangements to be home when the electricians are scheduled. They will need access to the electrical panel inside your home.

We will email you a detailed build schedule once it has been finalized.
Thank you!

Jorge Mayor & Nate Grills
4314 Bailey Ave.
Cleveland, OH 44113
202-641-2866

14 x 20 Gable Garage
Electrical

DRAWINGS PROVIDED BY:
Amy D'Amico
The Great Garage Company
1309 Ridge Rd. Suite 4
Hinckley, OH 44233
440.230.9900

DATE:

3/15/2026

SCALE:

1/4

SHEET:

P-4

602.10.6.3 Method PFG: Portal frame at garage door openings in Seismic Design Categories A, B and C. Where supporting a roof or one story and a roof, a Method PFG braced wall panel constructed in accordance with Figure 602.10.6.3 shall be permitted either side of garage door openings.

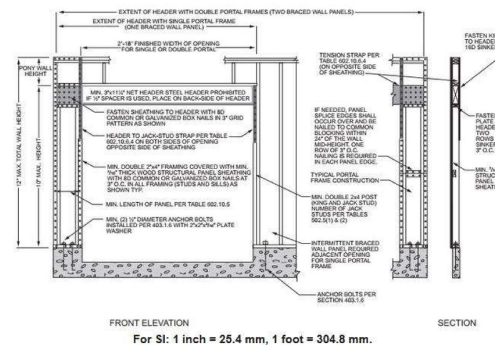
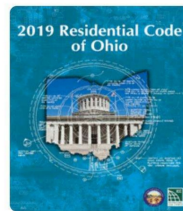


FIGURE 602.10.6.3 METHOD PFG—PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B AND C



2019 Residential Code of Ohio Categories: Ohio

About this Title

This is an integrated code based on the 2018 International Residential Code®.

2019 RCO PFG Narrow Wall

FIGURE R602.10.4.6 (Supp) WALLS WITH 6:1 ASPECT RATIO USED WITH CONTINUOUS WOOD STRUCTURAL PANEL SHEATHING

TABLE R602.10.4.6 (Supp) HEADER-TO-JACK-STUD STRAP AND THE NUMBER OF ADDITIONAL JACK STUDS REQUIRED FOR RESISTING WIND PRESSURES PERPENDICULAR TO 6:1 ASPECT RATIO WALLS LOCATED IN WIND EXPOSURE CATEGORIES C AND D

- a. If 2x6 framing is used, then the required strap capacity may be multiplied by 0.66, but in no case shall the required strap capacity be less than 1,000 lb.
- b. If 2x6 framing is used, then no additional framing shall be required.

R602.10.4 Continuous sheathing. Braced wall lines with continuous sheathing shall be constructed in accordance with this section. All braced wall lines along exterior walls on the same story shall be continuously sheathed.

Exception: Within Seismic Design Categories A, B, and C or in regions where the basic wind speed is less than or equal to 100 mph, other bracing methods prescribed by this code shall be permitted on other braced wall lines on the same story level or on any braced wall line on different story levels of the building.

R602.10.4.1 Continuous sheathing braced wall panels. Continuous sheathing methods require structural panel sheathing to be used on all sheathable surfaces on one side of a braced wall line including areas above and below openings and gable end walls. Braced wall panels shall be constructed in accordance with one of the methods listed in Table R602.10.4.1. Different bracing methods, other than those listed in Table R602.10.4.1, shall not be permitted along a braced wall line with continuous sheathing.

TABLE R602.10.4.1 CONTINUOUS SHEATHING METHODS

METHOD	MATERIAL	MINIMUM THICKNESS	FIGURE	CONNECTION CRITERIA
CS-WSP	Wood structural panel	3/8"		6d common (2" x 0.113") nails at 6" spacing (panel edges) and at 12" spacing (intermediate supports) or 18 ga. x 1-3/4" staples at 3" spacing (panel edges) and 6" spacing (intermediate supports)
CS-G	Wood structural panel adjacent to garage openings and supporting roof load only	3/8"		See Method CS-WSP
CS-PF	Continuous portal frame	See Section R602.10.4.1		See Section R602.10.4.1

- For SI: 1 inch = 25.4 mm
- a. Applies to one wall of a garage only.
 - b. Roof covering dead loads shall be 3 psf (0.14 kN/m²) or less

R602.10.4.1.1 Continuous portal frame. Continuous portal frame braced wall panels shall be constructed in accordance with Figure R602.10.4.1.1. The number of continuous portal frame panels in a single braced wall line shall not exceed four. Continuous portal frame panels shall not be permitted to be directly stacked vertically in multi-story buildings. For purposes of resisting wind pressures acting perpendicular to the wall, in accordance with Section R301.2, the minimum requirements of Figure R602.10.4.1.1 shall be sufficient for wind speeds less than 110 mph in Exposure Category B. For Exposure Categories C and D, the header to jack stud strap requirements and the number of additional jack studs shall be in accordance with Table R602.10.4.1.1.

Continuous Wall

Simpson Strong-Tie® Fastening Systems Technical Guide

Rafter/Truss/Plate Fastening



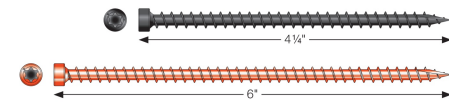
Strong-Drive® SDWC TRUSS Screw

Rafter/Truss-to-Plate and Stud-to-Plate Connections

The SDWC screw is tested in accordance with ICC-ES AC233 (screw) and AC13 (wall assembly and roof-to-wall assembly) for uplift and lateral loads between wall plates and vertical wall framing and between the top plate and the roof rafters or trusses. SDWC15450 is recognized for use in chemically treated wood as described in the evaluation report.

Codes/Standards: IAPMO-UES ER-262, State of Florida FL13975

For more information, see pp. 84-85, C-F-2019 Fastening Systems Catalog



SDWC — Allowable Shear Loads — DFL, SP, SPF

Size (in.)	Model No.	Thread Length (in.)	Nominal Member Thickness (in.)		Reference Allowable Shear Loads (lb.)					
			Side Member	Main Member	Z _{para} ¹		Z _{perp} ²			
				SP	DFL	SPF	SP	DFL	SPF	
0.15 x 4 1/2	SDWC15450	4 1/4	2x (Face)	2x (End grain)	—	—	—	225	205	190
				(2) 2x (Face)	2x (Edge)	245	240	180	240	240
0.15 x 6	SDWC15600	5 3/4	2x (Face)	2x (End grain)	—	—	—	225	205	190
				(2) 2x (Face)	2x (End grain)	—	—	225	225	190

- Allowable loads are shown at the wood load duration factor of C_D = 1.0. Loads may be increased for load duration up to a C_D = 1.6.
- Tabulated values must be multiplied by all applicable adjustment factors per the NDS.
- The main and side members shall be sawn lumber or structural composite lumber with a specific gravity or equivalent specific gravity 0.42 to 0.55.
- Z_{para} — Parallel-to-grain loading in the side member and perpendicular-to-grain loading in the main member.
- Z_{perp} — Perpendicular-to-grain loading in the side member and perpendicular-to-grain loading in the main member, except for 2x (edge) where main member is loaded parallel to grain.
- The connection conditions of this table are for specific intended applications. Reference lateral design values for all other shear connections are calculated following the NDS.

SDWC — Allowable Withdrawal and Pull-Through Loads — DFL, SP, SPF

Size (in.)	Model No.	Thread Length (in.)	Nominal Main Member Thickness (in.)	Reference Allowable Withdrawal Loads (lb./in.)			Reference Allowable Pull-Through Loads (lb./in.)		
				SP	DFL	SPF	SP	DFL	SPF
0.15 x 4 1/2	SDWC15450	4 1/4	2x (Edge)	250	230	150	—	—	—
			2x (End Grain)	200	140	100	210	180	175
0.15 x 6	SDWC15600	5 3/4	2x (Face)	210	180	120	255	195	160
			(2) 2x (Face)	220	200	160	240	225	190

- Allowable loads are shown at the wood load duration factor of C_D = 1.0. Loads may be increased for load duration up to a C_D = 1.6.
- Tabulated values must be multiplied by all applicable adjustment factors per the NDS.
- The reference withdrawal and pull-through values are in pounds per inch of the thread penetration into the main member and a minimum 1 1/2" thick side member, respectively.

Strong-Drive Truss Screw

Jorge Mayor & Nate Grills
4314 Bailey Ave.
Cleveland, OH 44113
202-641-2866

14 x 20 Gable Garage
Spec Sheet

DRAWINGS PROVIDED BY:
Amy D'Amico
The Great Garage Company
1309 Ridge Rd. Suite 4
Hinckley, OH 44233
440.230.9900

DATE:

3/15/2026

SCALE:

SHEET:

P-5

May 18, 2026

The Eparchy of Our Lady of Lebanon Los Angeles, owner, proposes to establish a surface parking lot/ parking place with 99 spaces on a vacant lot in a Semi-Industry District in the Central Business District accessory for parishioners at 1245 Carnegie Avenue and as a “parking place” for “for hire” as defined in Chapter 457. The owner appeals for relief from the strict application of the following sections of the Cleveland Codified Ordinances:

1. **Section 349.14(c)** which states that a “Surface parking lot” is an off-street parking area which is located at street-grade level, and which is not enclosed within a garage structure.
2. **Section 401.34** which states that a “Parking place” means any garage or other building or part thereof, or any premises or parcel of land in or upon which a business of storing more than ten (10) motor vehicles in any twenty-four (24) hour period, where the owner or person storing such vehicles is charged a fee, but excluding the rental of private garages and the all-night storing of vehicles upon the premises of and in connection with the operation of regularly established gasoline stations.
3. **Section 349.14(d)** which states that no surface parking lot, as defined in 349.14 (c) shall be established or expanded within the designated downtown area districts except as approved by the City Planning Commission in accordance with §349.14 (e).
Establishment of use was denied by City Planning Commission on January 16, 2026.
4. **Section 349.14 (e)** which states that in case of a request for a variance to permit establishment of a surface parking lot which is prohibited by regulations of § 349.14, the Board of Zoning Appeals shall grant such variance only if it determines that denial of the variance would deprive the owner of all reasonable economic use of the subject property. In making this determination, the Board may seek the advice of experts in relevant fields and shall consider the potential for long-term as well as short-term economic gain.
5. **Section 352.10(j)** which states that “For hire” parking lots shall comply with all the visual screening requirements of Chapter 457 of the Codified Ordinances, where such requirements are more restrictive than the requirements of this chapter.
6. **Section 352.04(2 through 4)** which states that for any use required to provide any transition strip, frontage strip, or island strip, a landscape plan shall be filed with an application for:
 - (2) any use requiring approval by the Board of Zoning Appeals; or
 - (3) any variances from landscaping or screening requirements, or
 - (4) a building permit or Certificate of Occupancy and No landscaping plan is proposed.
6. **Section 341.02** which states that no Building Permit shall be issued by the City without design approval by the City Planning Commission, or its Director, for development projects within designated Design Review Districts. City Planning Commission has not reviewed nor approved for design.
7. **Section 349.15(c)** which states that bicycle spaces shall be provided at a rate of one (1) bicycle parking space for each twenty (20) automobile spaces provided. Four (4) bicycle parking spaces are required and none are proposed.
8. **Sections 352.13(a)** and 349.09 which states that all parking lots containing ten (10) or more spaces, which are used during non-daylight hours, shall be illuminated during those hours with one (1) to two and a half (2.5) footcandles, as recommended by the Illuminating Engineering Society (IES); and where lighting is provided for accessory off-street parking spaces, it shall be constructed and arranged so as to prevent the direct emission of light upon adjoining lots or the public streets. No lighting information provided.

May 18, 2026

SWEARING IN ALL WHO ARE PRESENT FOR THIS CASE:

DO YOU SWEAR OR AFFIRM THAT THE TESTIMONY YOU
ARE ABOUT TO GIVE IS THE WHOLE TRUTH AND
NOTHING BUT THE TRUTH?

**Please Raise Your Hand.
Reply with I DO and YOUR NAME.**

HISTORY OF THE PROPERTY

May 18, 2026



May 18, 2026

LEGAL STANDARD

Calendar No. 26-023:

1212/1260 Sumner Ave.

Madam Chair, Members of the Board, Appellant is requesting area variances from the surface parking lot, for hire parking lot, landscape plan, City Planning Commission review, bicycle parking space, and parking lot lighting requirements of the zoning code.

To obtain the area variances, Appellant must prove that denying the request:

1. Will create a **practical difficulty** not generally shared by other land or buildings in the same district;
2. Will deprive the Appellant of substantial property rights; and
3. That granting the variances will not be contrary to the purpose and intent of the zoning code.



Zoning

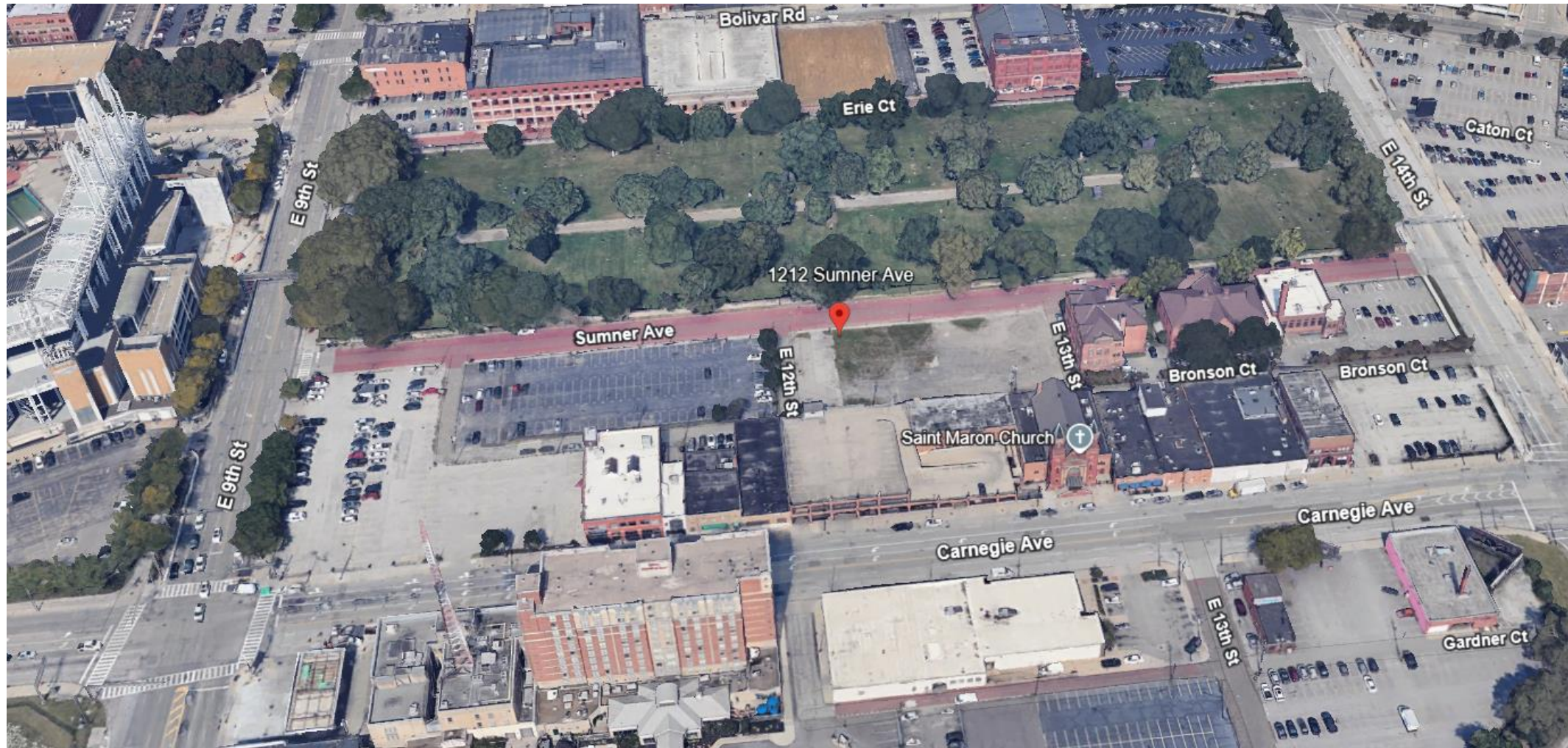
-  General Retail Business
-  Semi-Industry

May 18, 2026



CuyahogaGIS, CCGIS, CCPO

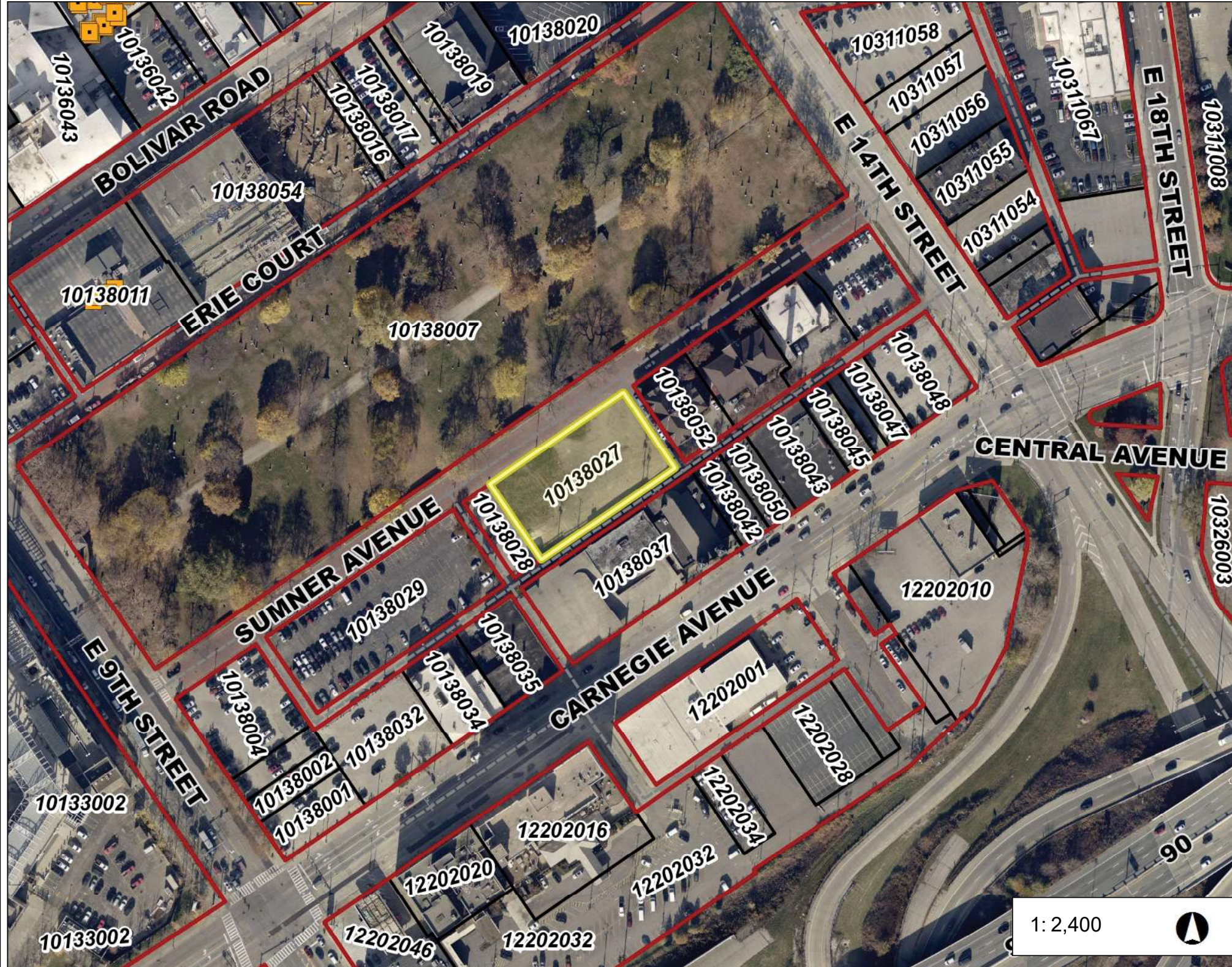
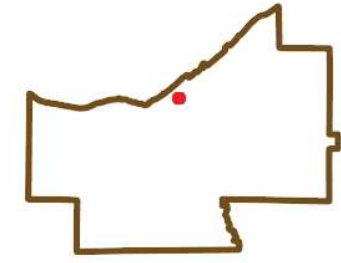
May 18, 2026







Cuyahoga County GIS Viewer



Date Created: 10/23/2025

Legend

- Municipalities
- Right Of Way
- Platted Centerline
- Parcel

1:2,400



400 0 200 400 Feet

Projection:
WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Cuyahoga County
Enterprise GIS
PUTTING CUYAHOGA COUNTY ON THE MAP



SAINT MARON
CLEVELAND مكنه مكنه

REFERENCE SURVEYS

- 1.) Cleveland City Survey Records (CSR)
- 2.) Plat of Consolidation, Volume 377, Page 77 of Cuyahoga County Map Records (Bruckner)

BASIS OF BEARINGS

The centerline of Sumner Avenue S.W. as North 55°08'54" East is an assumed bearing and is used to indicate angles only.

PLAT OF CONSOLIDATION OF P.P.N. 101-38-027 AND -028 P.P.N. 101-38-037 THROUGH -041 AND PART OF VACATED BRONSON COURT S.E. CREATING PARCEL "D" CITY OF CLEVELAND, OHIO

Situated in the City of Cleveland, County of Cuyahoga and State of Ohio and known as being all of Sublot Nos. 2 through 7 and 26 through 31 in The Church and Rose's Subdivision of part of the Original Two Acre Lot No. 140 and 141 as shown by the plat recorded in Volume 2, Page 36 of Cuyahoga County Map Records and East 13th Street vacated and as shown by the plat recorded in Volume 206, Page 45 of Cuyahoga County Map Record and Bronson Court S.E. as vacated by Ordinance No. _____ passed _____ and recorded in AFN _____ by Cuyahoga County Records.

OWNERS ACCEPTANCE

I, (We) the undersigned owner(s) of the land shown hereon, do hereby accept this Lot Consolidation of the same.

The Eparchy of Our Lady of Lebanon of Los Angeles

NOTARY

State of _____
County of _____

Before me a Notary Public in and for said County and State, personally appeared the above named Owner(s) who acknowledged that he did sign the foregoing instrument and that it was his own free act and deed.

In witness whereof, I have hereunto set my hand and official seal at _____ this _____ day of _____, 2025.

Notary Public

My commission expires

CITY APPROVALS

This Consolidation and plat are accepted & approved by the Planning Director of the City of Cleveland, Ohio this _____ day of _____, 2025.

Colley Mersmann - Planning Director

This Consolidation and plat are accepted & approved by the Platting Commissioner of the City of Cleveland, Ohio this _____ day of _____, 2025.

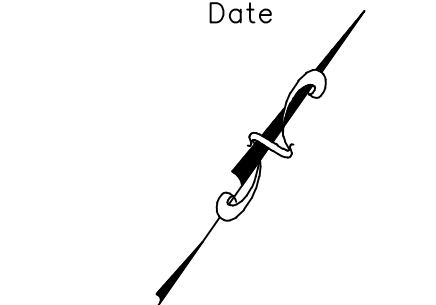
Richard Switalski - Platting Commissioner

CERTIFICATION

This plat was prepared from a field survey, analysis of recorded plats, recorded deeds, and city survey records. Bearings shown hereon are to an assumed meridian and are intended to indicate angles only. Distances are given in feet and decimal parts thereof. All of which I certify to be correct to the best of my knowledge. I hereby certify I have surveyed the subject premises and prepared this drawing in accordance with the provisions of Chapter 4733-37 of the Ohio Administrative Code.

Brian Siebenthal
Brian Siebenthal P.S. No. 8740
Date

January 30, 2025
REV: March 08, 2025



FIELD DATE

October 9, 2024

DRAWN BY

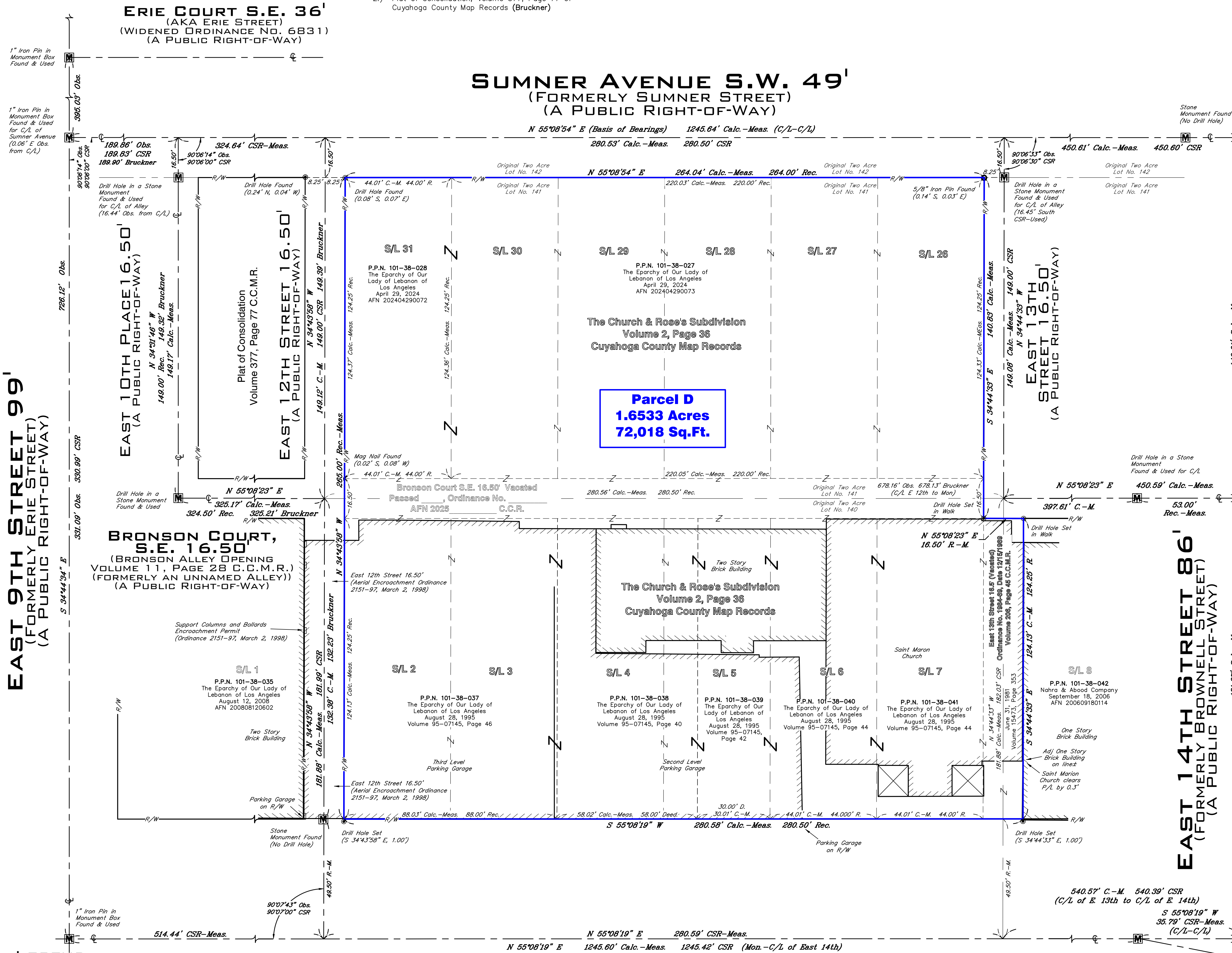
BDK, BS

APPROVED

BS PS NO. 8740



LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND - OHIO - 44114
PHONE: (216) 491-2000 FAX: (216) 491-9640
WWW.RIVERSTONE SURVEY.COM



**Parcel D
1.6533 Acres
72,018 Sq.Ft.**

LEGEND

- Ⓜ = Monument Box Found
- ⦿ = Iron Pin Found
- ⦶ = Iron Pipe Found
- ⦿ = 5/8"x30" Iron Pin Set
- = Spike Set on P/L
- ⦿ = Drill Hole Set / Found
- ⦶ = Mag Nail Set / Found
- Note: • Denotes 5/8"x30" iron pins set and capped "Riverstone Company PS8740"
- ⦶ = Centerline

REFERENCE SURVEYS

- 1.) Cleveland City Survey Records (CSR)
- 2.) Plat of Consolidation, Volume 377, Page 77 of Cuyahoga County Map Records (Bruckner)

BASIS OF BEARINGS

The centerline of Sumner Avenue S.W. as North 55°08'54" East is an assumed bearing and is used to indicate angles only.

PLAT OF VACATION
OF
PART OF BRONSON COURT S.E.
BETWEEN
EAST 12TH STREET
AND
EAST 13TH STREET

Ordinance No. _____ Passed _____

Situated in the City of Cleveland, County of Cuyahoga and State of Ohio and known as being part of the Original Two Acre Lot Nos. 140 and 141.

This vacation plat is in accordance with the provisions of Ordinance no. _____ passed by the Council of The City of Cleveland, Ohio the _____ day of _____ 2025.

Richard Switalski - Platting Commissioner

The hatched area shown hereon is vacated by Ordinance no. _____ passed by the Council of The City of Cleveland, Ohio the _____ day of _____ 2025.

Patricia Britt - Clerk of Council

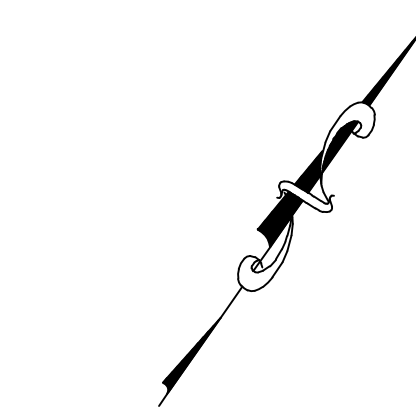
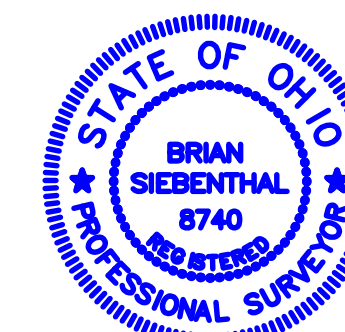


CERTIFICATION

This plat is based on City of Cleveland and Cuyahoga County record information and is a graphical representation of the area to be vacated. A physical survey was not performed on the ground and this plat should not be interpreted as such. Bearings are based on an assumed meridian and are used to denote angles only. Distances expressed hereon are shown in feet and decimal parts thereof, all of which I certify to be correct.

Bin Siebenthal

January 30, 2025



ERIE COURT S.E. 36'
(AKA ERIE STREET)
(WIDENED ORDINANCE NO. 6831)
(A PUBLIC RIGHT-OF-WAY)

SUMNER AVENUE S.W. 49'
(FORMERLY SUMNER STREET)
(A PUBLIC RIGHT-OF-WAY)

EAST 9TH STREET 99'
(FORMERLY ERIE STREET)
(A PUBLIC RIGHT-OF-WAY)

EAST 10TH PLACE 16.50'
(A PUBLIC RIGHT-OF-WAY)

EAST 12TH STREET 16.50'
(A PUBLIC RIGHT-OF-WAY)

EAST 13TH STREET 16.50'
(A PUBLIC RIGHT-OF-WAY)

EAST 14TH STREET 86'
(FORMERLY BROWNELL STREET)
(A PUBLIC RIGHT-OF-WAY)

BRONSON COURT, S.E. 16.50'
(BRONSON ALLEY OPENING
VOLUME 11, PAGE 28 C.C.M.R.)
(FORMERLY AN UNNAMED ALLEY))
(A PUBLIC RIGHT-OF-WAY)

Bronson Court S.E. 16.50' Vacation
0.1000 Acres 4,357 Sq.Ft.

The Church & Rose's Subdivision
Volume 2, Page 36
Cuyahoga County Map Records

The Church & Rose's Subdivision
Volume 2, Page 36
Cuyahoga County Map Records

CARNEGIE AVENUE S.E. 99'
(FORMERLY OHIO STREET)
(FORMERLY CENTRAL AVENUE)
(A PUBLIC RIGHT-OF-WAY)

LEGEND

- ☐ = Monument Box Found
 - = Iron Pin Found
 - = Iron Pipe Found
 - = 5/8"x30" Iron Pin Set
 - = Spike Set on P/L
 - ⊙ = Drill Hole Set / Found
 - ⊕ = Mag Nail Set / Found
 - ⊖ = Centerline
- Note: ● Denotes 5/8"x30" iron pins set and capped "Riverstone Company PS8740"

FIELD DATE

October 9, 2024

DRAWN BY

BDK, BS

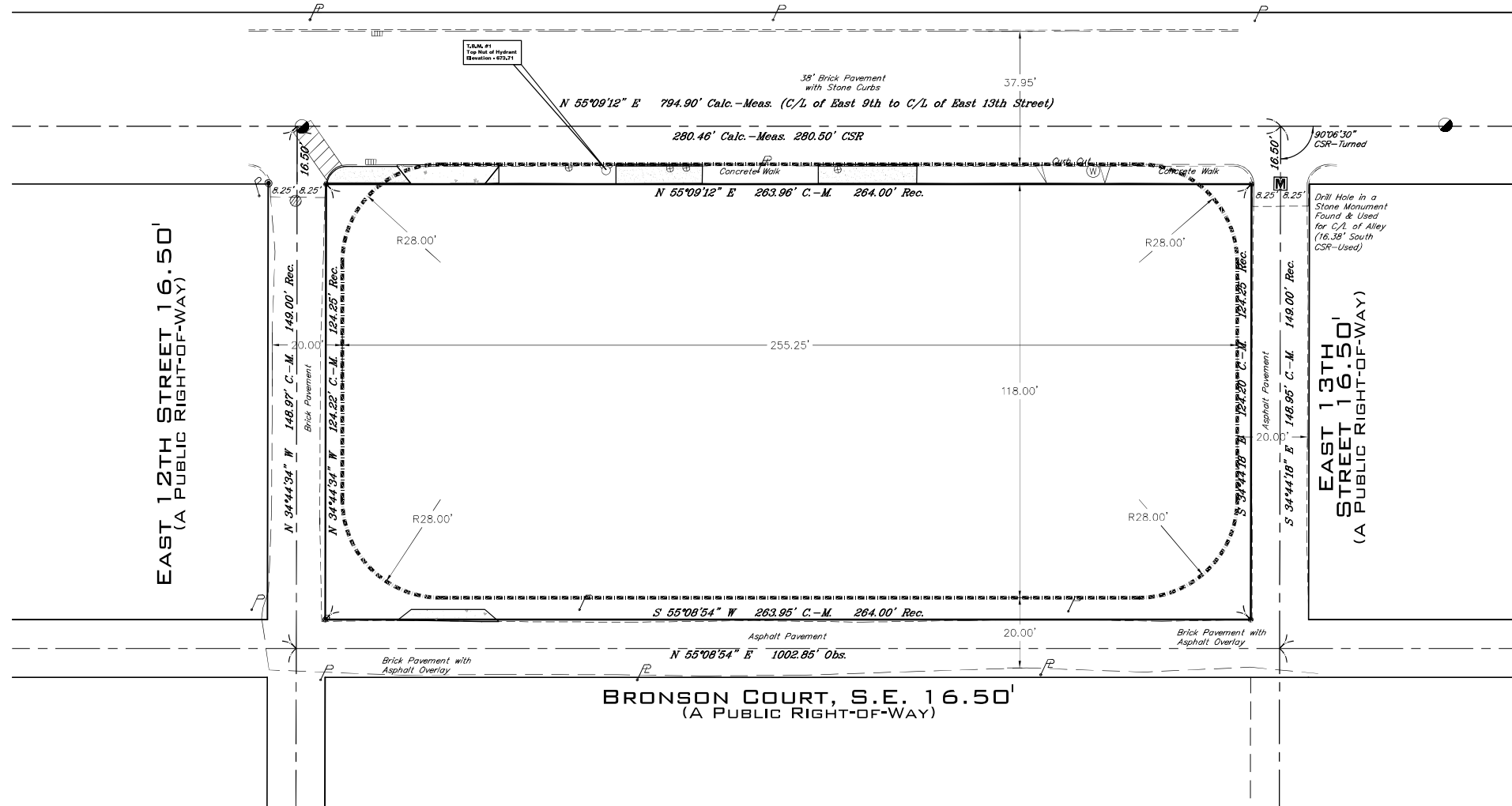
APPROVED

BS PS NO. 8740



LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND - OHIO - 44114
PHONE: (216) 491-2000 FAX: (216) 491-9640
WWW.RIVERSTONESURVEY.COM

SUMNER AVENUE, S.W. 49'
 (FORMERLY SUMNER STREET)
 (A PUBLIC RIGHT-OF-WAY)



LEGEND

	= Monument Box Found		= Spot Elevation Tag
	= Iron Pin or Pipe Found		= Hydrant
	= 5/8" Iron Pin, Set and Capped Riverstone Company Dudley P56747		= Water Service Valve
	= P.K. Nail		= Water Valve
	= Gas Meter		= Water Meter
	= Gas Valve		= Reducer
	= Utility Pole		= Storm Manhole
	= Light Pole		= Sanitary Manhole
	= Guy Anchor & Line		= Curb Inlet
	= Telephone Box		= Catch Basin
	= Electric Box		= Property Line
	= Cable Box		= Centerline
	= Bollard		
	= Cleanout / Test Tee		

	Ex. Parcel line		Existing
	Original Sublot Line		PROPOSED
	Original Lot Line		
	Centerline		
	Property Line		
	Right-of-way Line		
	Easement Line		
	Railroad Tracks		

Ac.	Acres	L.C.A.	Limited Common Area
Adj.	Adjacent	L.F.	Lineal Feet
A.F.N.	Auditor's File Number	M.E.	Match Existing
Asp.	Asphalt	Meas./M.	Measured
B.F.	Basement Floor	MH	Manhole
BW	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Pg.	Page
CB	Catch Basin	P.F.N.	Permanent Parcel Number
G.C.M.R	Geauga County Map Records	Prop	Proposed
C.L.F.	Chain-link Fence	Rec./R.	Record
Cl.	Cleas	R/W	Right-of-way
C.O.	Clean Out	San.	Sanitary
Comb.	Combination	S.F.	Square Feet
Conc.	Concrete	S/L	Sublot
Conn.	Connection	Stm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Ductile Iron Water Main	TBR	To Be Removed
Elec	Electric	T/C	Top of Curb
Elev	Elevation	Tele	Telephone
Encr.	Encroaches	T.F.	Top Of Footer
Ex.	Existing	T.T.	Test Tee
F.F.	Finished Floor	TW	Top of Wall
GUT	Gutter	Typ.	Typical
Inv.	Invert	Vol.	Volume
		Wat.	Water

2024-300

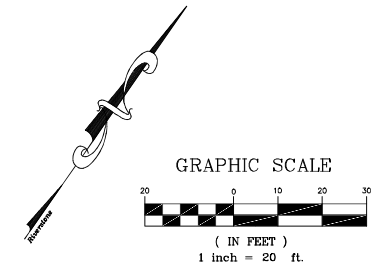
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 9/27/2024
 NEORS COMMENTS

PAGE REVISIONS:

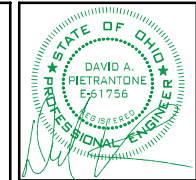
ISSUED FOR:
 FOR PERMIT
 7/19/2024
 NOT FOR CONSTRUCTION

SUMNER AVENUE
 PARKING LOT
 1212 SUMNER AVENUE
 CLEVELAND, OHIO

SITE PLAN



C3.01



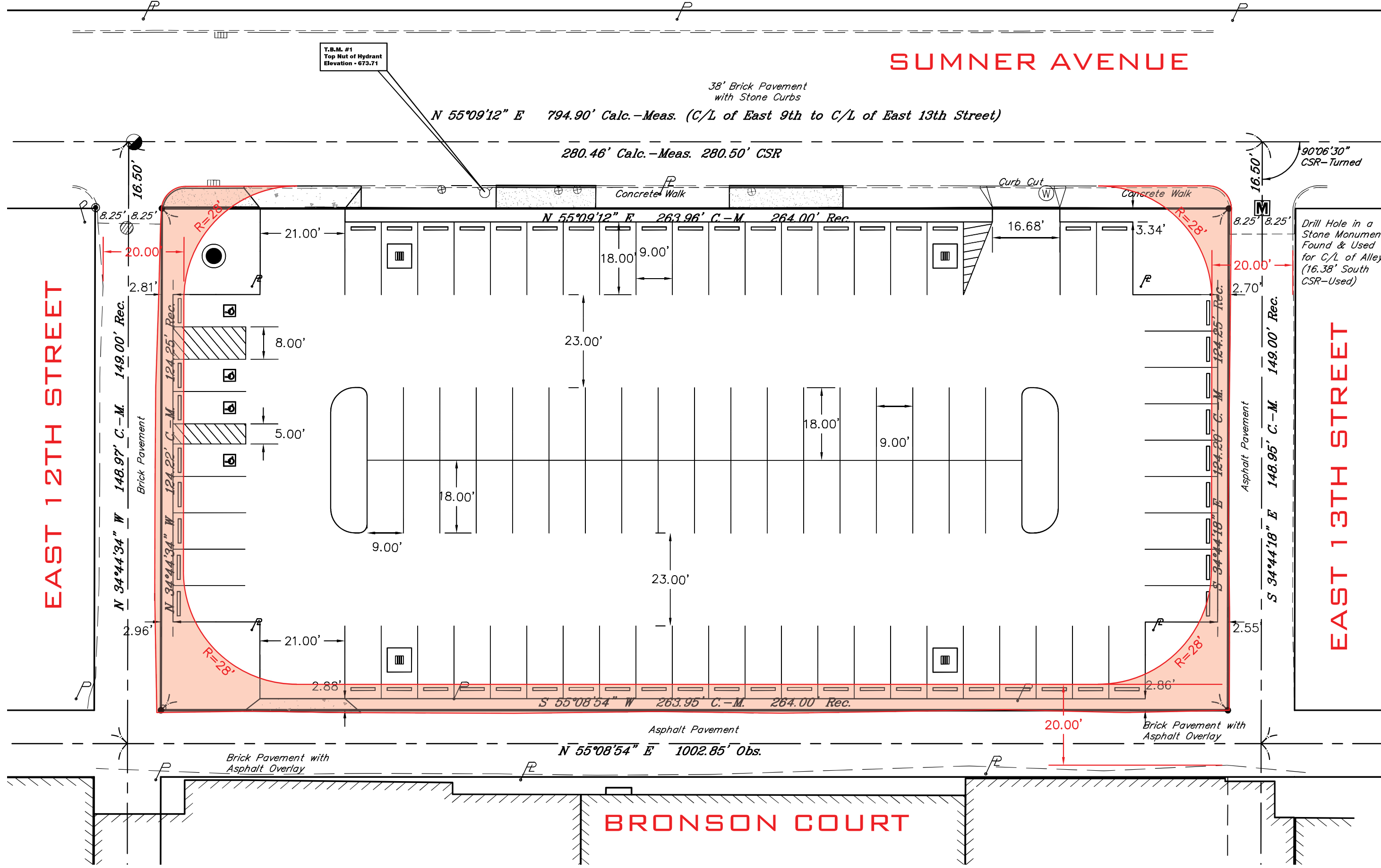
RIVERSTONE
 LAND SURVEYING, ENGINEERING, DESIGN
 3800 W. LAKESIDE AVENUE, SUITE 100
 CLEVELAND, OHIO 44114
 PHONE: (216) 491-2000 FAX: (216) 491-9640
 WWW.RIVERSTONEENGINEERING.COM

SUMNER AVENUE

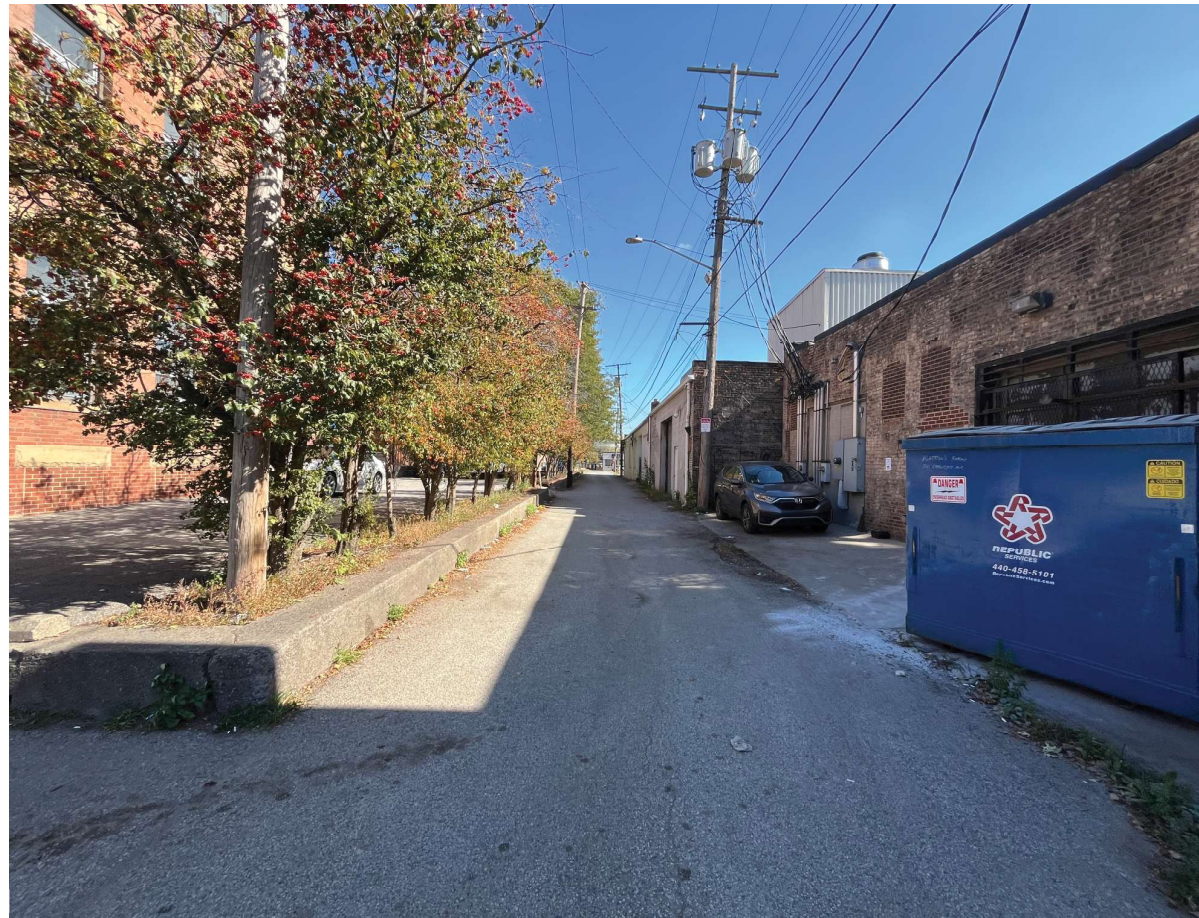
EAST 12TH STREET

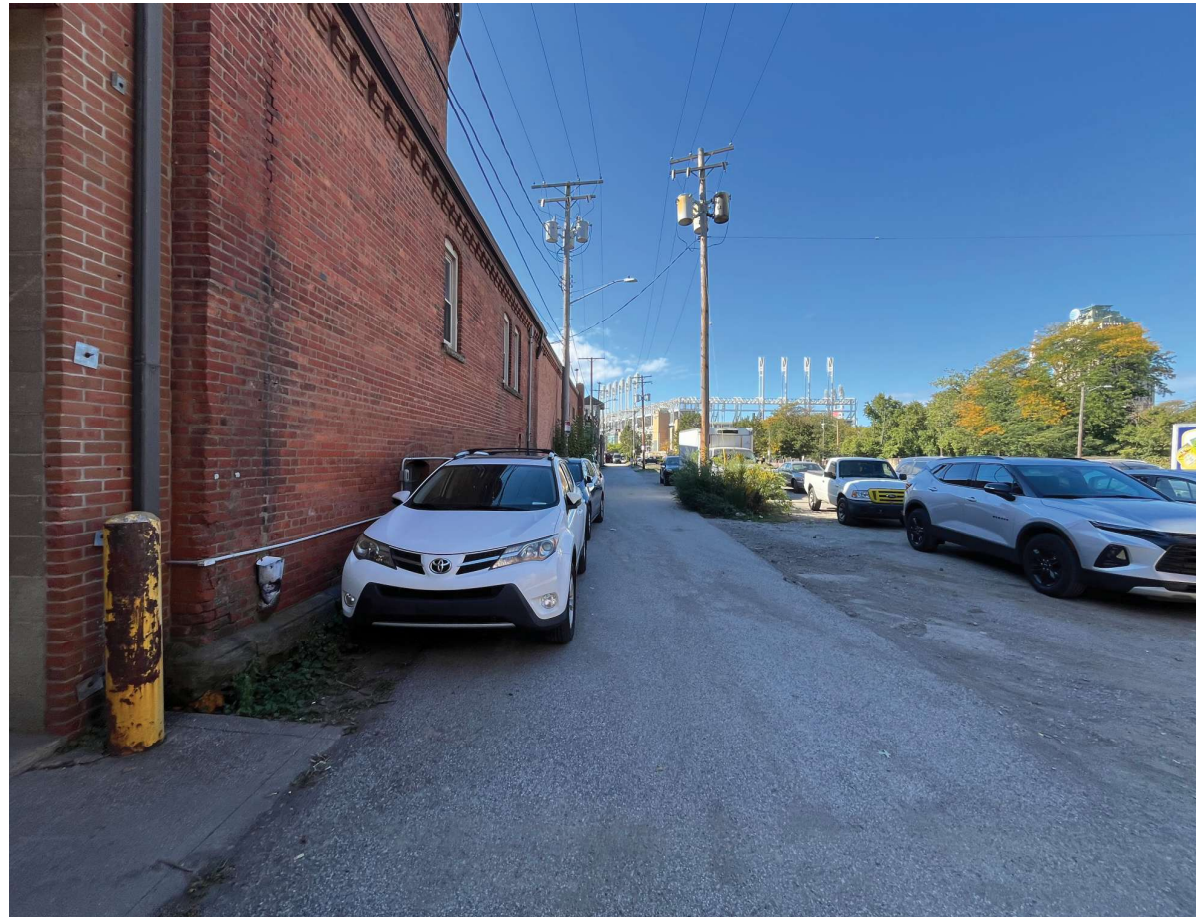
EAST 13TH STREET

BRONSON COURT













APPEAL STATEMENT

Our Statement;

We are asking for relief from all aspects of the non-conformance Notice dated 3.12.2026 and prepared by Shannan Leonard.

Saint Maron Church has been operating at this location for over 100 years and currently has over 3,000 parishioners with a sanctuary that holds 500 worshipers. Back when the city had streetcars the church could not have seen the crowds parking for the Guardians and Cavs games that drives up parking fees to more than fifty dollars. When contiguous land became available in 2024 that had cars parking on it, they purchase it and received a surface parking lot license up until last year. Saint Maron Church has 120 space parking garage on Carnegie Avenue they own and operate but need the extra spaces for the church's current needs. We believe this zoning is discriminatory to old established religious institutions that don't have the income stream to build and maintain a parking garage at today's prices. Saint Maron Church has no other needs for this land except parking. The church finds it hard to plan services, weddings, and events around baseball and basketball. This year The Guardians opening day is on Easter Sunday and that is a hardship for the church and its 3,000 parishioners.

David H. Bowen

President



May 13, 2026

Dear Father Kassab, Mr. Ganim, Mr. Chamoun, and the Congregants of St. Maron Church;

The City of Cleveland strongly supports St. Maron Church and its continued operation in Downtown Cleveland. We appreciate the over 100 years of service the Church has provided to the community, and your rich history and cultural contributions to Cleveland. We understand the demand for parking in your Downtown location, and I am writing to reiterate our interest in working with you to develop a parking solution that meets church needs without requiring a variance from the Board of Zoning Appeals. St. Maron Church has a unique opportunity to support its mission with parking revenue from the many large-scale events that take place in the Gateway District, and there are many ways that we can work together to navigate the City's code requirements to provide more parking for the Church.

As we have discussed together in the past, [Chapter 349 of Cleveland's Codified Ordinances: Off-Street Parking And Loading](#) prohibits the establishment of new surface parking lots within designated districts in Downtown Cleveland, except in very specific instances. Your properties at 1212 & 1260 Sumner Ave are within a designated district and so are subject to these provisions. These instances are detailed in the Ordinance under [§349.14](#), and I have re-attached a Policy Guidance 1-pager that we previously shared to provide clarity.

Surface parking lots are a uniquely challenging form of Downtown development, because of their impact on the vibrancy and vitality of the neighborhood and the economic incentives that act in opposition to future redevelopment once a surface parking lot is established. [§349.14](#) was adopted to protect Downtown from those forces, and so we take our responsibility to uphold it very seriously. Through our work as a department, our goal is to increase activity on the street and minimize blocks of surface parking lots that often feel desolate, empty, and unsafe. Due to the relatively low capital cost of building surface parking lots and the relatively high revenue of operating parking, especially near popular event centers, surface parking lots are lucrative business enterprises that are difficult to replace with more substantial development once established.

Based on these reasons, City Planning does not support the establishment of permanent surface parking lots anywhere in Downtown's designated districts, including the Church's property, unless it meets the exceptions outlined in [§349.14](#) and the attached Policy Guidance. Transparently, for these reasons, City Planning intends to oppose your request to establish a permanent surface parking lot at the upcoming Board of Zoning Appeals meeting.

However, we hope and believe there is common ground to work with the Church on an alternative development approach that prioritizes providing Church parking, including a time-limited surface lot to generate revenue to help finance a long-term development. One example of a potential long-term project that may meet your needs is a parking garage with new community space for the Church, although many other potential designs and uses are possible.





CITY OF CLEVELAND

Mayor Justin M. Bibb

CITY PLANNING

Calley Mersmann
Director

The City's planning and economic development professionals are available to work with you at any time to this end, including contributing technical expertise to inform a development & financing strategy, assessment and reconsideration of [§349.14](#)'s current timing restrictions for temporary lots, and assistance navigating the City's permitting process.

We hope you will join us as a planning & development partner in upholding and advancing a vision of vibrancy and activation for Downtown Cleveland, and we are here at any time to collaborate and assist. We'd like to meet together to discuss these options. Please coordinate your availability with Principal Planner Dan Shinkle (216-664-3854 / dshinkle@clevelandohio.gov) to discuss further.

Sincerely,

Calley Mersmann
Director, City Planning

CC: Councilmember Richard Starr, Executive Assistance Lamont Johnson, Chief of Staff Ryan Puente, Chief Mike Culp, Chief Dave Roberts, Chief Tom McNair, Director Joe Rose Bourdeau Small, Assistant Director Marka Fields, Shannan Leonard, Liz Kukla, Brittany Jones, Dan Shinkle, David Bowen





Quick links to applicable Cleveland Codified Ordinances:

1. **Chapter 349 - Off-Street Parking:**

https://codelibrary.amlegal.com/codes/cleveland/latest/cleveland_oh/0-0-0-14790

- a. §349.14 governs the St. Maron's proposal - Surface Parking Lots in Designated Downtown Area Districts:

[https://codelibrary.amlegal.com/codes/cleveland/latest/cleveland_oh/0-0-0-14906#JD 349.14](https://codelibrary.amlegal.com/codes/cleveland/latest/cleveland_oh/0-0-0-14906#JD_349.14)

2. **§356.02 - Liner Buildings for Structured Parking Decks:**

[https://codelibrary.amlegal.com/codes/cleveland/latest/cleveland_oh/0-0-0-48478#JD 356.02](https://codelibrary.amlegal.com/codes/cleveland/latest/cleveland_oh/0-0-0-48478#JD_356.02)

3. **Chapter 457 - Public Garages And Parking Lots**, which governs paid public parking requirements:

https://codelibrary.amlegal.com/codes/cleveland/latest/cleveland_oh/0-0-0-24551





Policy Guidance for the Establishment of Surface Parking Lots in Downtown Cleveland

City of Cleveland Codified Ordinance [Section 349.14](#) governs the establishment of new or expanded surface parking lots in [designated districts](#) of Downtown Cleveland. This portion of the code was passed specifically to preserve the urban character of Downtown by limiting surface parking lots in the core of the city, and to reduce auto emissions and traffic congestion downtown without discouraging new development. The code lays out the following pathways for surface parking lots:

Surface parking lots within the Downtown Designated Districts may not be established or expanded, except with the approval of the City Planning Commission based on the following provisions:

- **Temporary approval while pursuing redevelopment:** If the City Planning Commission or Landmarks Commission approves demolition of a building with an approved plan for non-surface parking use, a temporary code-compliant surface lot may be established for up to one (1) year following building demolition. After that year, the Owner may apply to the Planning Commission for a one-time extension of one (1) additional year, and the Commission may approve if they feel the Owner has made a good faith effort to redevelop the property into a non-surface parking use. If the Owner desires additional extensions, they must seek a variance from the Board of Zoning Appeals (BZA). To qualify for the variance, the Owner must show that the property's redevelopment has been delayed by circumstances beyond the Owner's control that are present regardless of the particular Ownership of the property. BZA may only grant extensions for a maximum of one (1) year at a time. The Property Owner may return to BZA for multiple extensions. At the conclusion of the extension period(s), the property must be landscaped as open space or converted to a non-surface parking use in accordance with a site plan approved by the Planning Commission.
- **Accessory parking:** City Planning Commission may approve of a new or expanded surface parking lot if the lot will be used exclusively for accessory parking spaces to serve a new use proposed as part of a development approved by Planning Commission or Landmarks Commission. Accessory parking spaces are limited to no more than 120% of the number of parking spaces required by the City's zoning code. The accessory parking lot must be located on the same lot with the main use or building, or with BZA approval, within 400' of the nearest property line of the main use.
- **Vacant lots:** If the lot was vacant on December 22, 1997, when Section 349.14 went into effect, a surface parking lot is permitted.

Property Owners who do not meet any of these provisions may request a variance from BZA to establish a new surface parking lot. The owner must demonstrate that they have explored other economic uses of the property and denial of the variance would deprive the owner of *all reasonable economic uses* of the property. BZA may seek external expertise and consider both short-term and long-term economic gain in making their determination.

If Property Owners receive approvals for a temporary or permanent surface parking lot, the resulting lot must comply with all applicable zoning and building standards, including surface treatments, grading, drainage, screening, lighting, etc.





CITY OF CLEVELAND
Mayor Justin M. Bibb

Cleveland City Planning Commission

St. Maron's Surface Lot

Staff Report Board of Zoning Appeals

May 18, 2025



Staff Overview – Variance Powers Criteria Not Met:

- **Deny** as the Applicant's site does not meet the three (3) criteria of **§329.03** for BZA variance powers, ie:
 1. There is nothing unique about the site creating hardship or difficulty,
 2. The code does not deprive Owner of substantial (or all reasonable) economic uses,
 3. And the requested variance is contrary to the purpose & intent of the Zoning Code.
 - Applicant has not yet provided code-compliant development plans for CPC approval
- **Collaborate with City** – City remains ready to collaborate on code-compliant methods to address parking concerns & phased development plans with Dept of Development.



Board of Zoning Appeals – Variance Powers (§329.03):

1. **Practical Difficulty / Unnecessary Hardship:** “...inheres in and is **peculiar to the premises** sought to be built upon or used because of physical size, shape or other characteristics of the premises or adjoining premises which **differentiate it from other premises in the same district** and create a difficulty or hardship caused by a strict application of the provisions of this Zoning Code **not generally shared by other land or buildings in the same district;**”

Nothing unique about parcel – Compliance with code is actually **more** possible in Gateway District given parking proceeds exceed other Districts.

2. **“Deprive Owner of Substantial Property Rights;”**

Copious options for Property Owner. Structured parking is allowable. All other non-surface parking uses as approved by the Planning Commission are allowed. **Property Owner has previously met code via a phased parking deck.**

City remains ready to work with Applicant.

3. **“And, Not Be Contrary To The Purpose & Intent Of This Zoning Code.”**

Prohibited by code, **§349.14** – **Intent is for density, not surface lots.**

Board of Zoning Appeals – Variance Powers (§349.14):

4. **Variations for Establishment of Parking Lots:** “...the Board of Zoning Appeals shall grant such variance **only** if it determines that denial of the variance would **deprive the owner of all reasonable economic use** of the subject property. In making this determination, the Board may seek the advice of experts in relevant fields and shall consider the potential for long-term as well as short term economic gain.”

Many other options for reasonable economic uses are available, including parking deck, restaurant, residential, mixed-use, community center, etc.





CITY OF CLEVELAND
Mayor Justin M. Bibb

§ 349.14: Surface Parking Lots in Designated Downtown Districts



Zoning Code: CHAPTER 349 – OFF-STREET PARKING AND LOADING

§ 349.14 Surface Parking Lots in Designated Downtown Area Districts

§ 349.14 Surface Parking Lots in Designated Downtown Area Districts

(a) Purposes.

(1) The principal purpose of this section is to preserve the urban architectural character of the most intensively developed portions of downtown Cleveland by limiting the establishment and expansion of surface parking lots within these districts.

(2) A secondary purpose is to reduce auto emissions and traffic congestion in the downtown area by discouraging creation of additional parking.

(3) Furthermore, this section is intended to accomplish these purposes without discouraging new development.

(b) *Applicability.* This section shall apply only to land or property located within the districts hereafter described and thereafter referred to as the “designated districts”:

(1) The Downtown Core Parking District, Warehouse Parking District, Erieview Parking District, and Gateway Parking District, as established in division (b) of Section 457.035 of the Codified Ordinances; and

(2) The Cleveland State University Parking District, described as follows:

Beginning at the point of intersection of the center line of Payne Avenue N.E. with the center line of East 18 Street; thence southerly along said center line of East 18 Street to its intersection with the center line of Brownell Court, S.E.; thence easterly along said center line of Brownell Court, S.E. to its intersection with a line located one hundred thirty two (132) feet east of the easterly line of East 18 Street; thence southerly along said line which is parallel to and one hundred thirty two (132) feet east of said easterly line of East 18 Street to its intersection with the center line of Prospect Avenue, S.E.; thence westerly along said center line of Prospect Avenue, S.E. to its intersection with the center line of East 18 Street; thence southerly along said center line of East 18 Street to its intersection with the center line of East 14 Street; thence southerly along said center line of East 14 Street to the center line of the Inner Belt Freeway; thence Easterly and Northerly along the center line of the Inner Belt Freeway to its intersection with the center line of Payne Avenue N.E. thence westerly along the center line of Payne Avenue NE; to the place of beginning.

(c) *Definition.* For purposes of this section, a “surface parking lot” is an off-street parking area which is located at street-grade level and which is not enclosed within a garage structure. The unenclosed roof surface of a garage shall not be considered a “surface parking lot” if such surface is located at least one (1) story above grade level on at least one (1) of its frontages.

(d) *Prohibition.* Notwithstanding other provisions of the Zoning Code, no surface parking lot shall be established or expanded within the designated districts except as approved by the City Planning Commission in accordance with this section.

(e) *Planning Commission Determination.* The City Planning Commission shall approve building permit applications for the establishment or expansion of surface parking lots in the designated districts only in accordance with the following provisions:

(1) *Temporary Parking Lots.* If the City Planning Commission or Landmarks Commission, as applicable, has approved demolition of a building within the designated district(s) and has approved, in accordance with the regulations of Sections 341.04 and 341.05 or Section 161.05, as applicable, plans for a new building or other non-parking use to replace such building, the subject property may be used as a surface parking lot for a maximum period of one (1) year following the demolition of the building. If all necessary redevelopment permits have not been obtained within one (1) year of the commencement of surface parking use, the property shall be landscaped as open space or shall be converted to another appropriate non-parking use in accordance with a site plan approved by the Commission.

The Commission may, however, approve a request by the owner to extend use of the parking lot for a single period not greater than one (1) year in duration if the Commission determines that the owner has made a “good

faith effort” to secure the approved redevelopment. During the time period of such extension, the Commission and the owner shall undertake discussions regarding efforts to facilitate appropriate redevelopment of the property. At the conclusion of the extension period, the property either shall be landscaped as open space or shall be converted to another appropriate non-parking use in accordance with a site plan approved by the Commission or, alternatively, the owner may seek a variance from the Board of Zoning Appeals in accordance with the provisions of division (h) of this section.

(2) *Accessory Parking.* Establishment or expansion of a surface parking lot within the designated districts shall be permitted if the City Planning Commission determines that the lot will be used exclusively for accessory parking spaces to serve a new use or uses proposed for a development, expansion or redevelopment project which has been approved by the City Planning Commission or Landmarks Commission, as applicable, but which has not yet been completed. The number of parking spaces in such accessory lot shall not be greater than one hundred twenty percent (120%) of the number of spaces which would be required for such use by the City’s Zoning Code.

(3) *Action Areas.* The City Planning Commission shall approve an application for a surface parking lot if the subject property has been designated for surface parking as part of an “action area” (as defined in Section 315.03) of a community development plan adopted by Council in the manner set forth in Title V of the Codified Ordinances.

(4) *Vacant Lots.* On any vacant lot which was vacant on the initial effective date of this section, a surface parking lot shall be permitted, in accordance with all applicable City regulations.

(f) *Existing Surface Lots.* Within the designated districts, surface parking lots legally established or approved prior to the initial effective date of this section shall be considered legal nonconforming uses and may be maintained, repaired and improved in accordance with otherwise applicable City regulations. No such lot shall be expanded without approval of the City Planning Commission, in accordance with the provisions of this section.

(g) *Variances for Establishment of Parking Lots.* In the case of a request for a variance to permit establishment of a surface parking lot which is prohibited by regulations of this section, the Board of Zoning Appeals shall grant such variance only if it determines that denial of the variance would deprive the owner of all reasonable economic use of the subject property. In making this determination, the Board may seek the advice of experts in relevant fields and shall consider the potential for long-term as well as short term economic gain.

(h) *Variances for Temporary Lots.* In the case of a request for a variance to extend the use of a parking lot approved under division (e)(1) of this section, the Board of Zoning Appeals shall grant such extension only if it determines that redevelopment of the subject property has been delayed by circumstances which are beyond the control of the owner and which would be present regardless of the particular ownership of the property. In such cases, the Board shall not grant an extension for a period greater than one (1) year in duration. The property owner may return to the Board for consideration of further extensions if said circumstances persist.

(Ord. No. 1465-97. Passed 12-15-97, eff. 12-22-97)



Zoning Code:

CHAPTER 349 – OFF-STREET PARKING AND LOADING

§ 349.14 Surface Parking Lots in Designated Downtown Area Districts

“(a) Purposes.

(1) The principal purpose of this section is to **preserve the urban architectural character of the most intensively developed portions of downtown Cleveland by limiting the establishment and expansion of surface parking lots within these districts.**

(2) A secondary purpose is to **reduce auto emissions and traffic congestion in the downtown area by discouraging creation of additional parking.**

(3) Furthermore, this section is intended to accomplish these purposes **without discouraging new development.”**



Zoning Code:

CHAPTER 349 – OFF-STREET PARKING AND LOADING

§ 349.14 Surface Parking Lots in Designated Downtown Area Districts

*“(b) Applicability. This section shall apply only to land or property located within the districts hereafter described and thereafter referred to as the “**designated districts**”:*

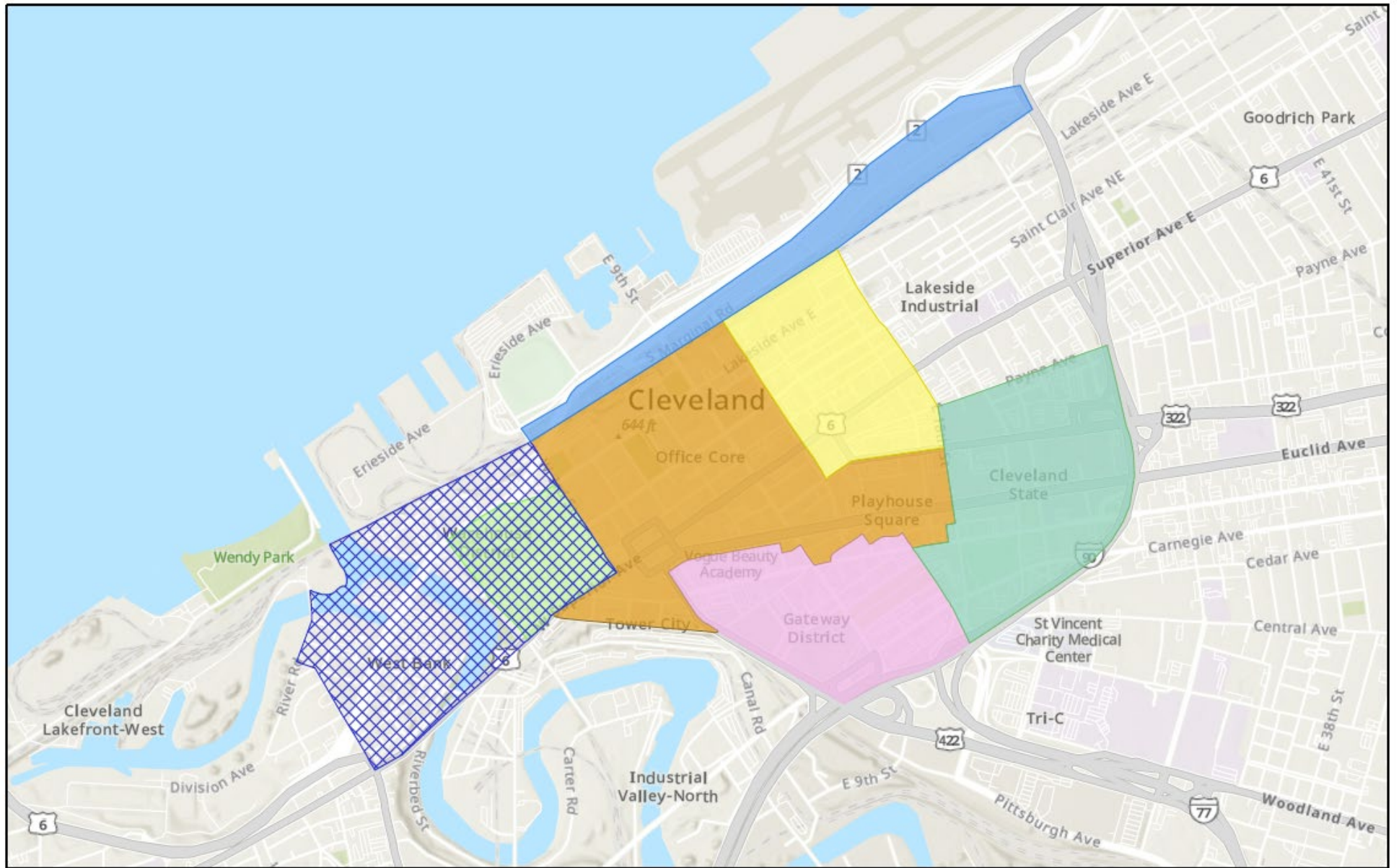
*(1) The Downtown Core Parking District, Warehouse Parking District, Erieview Parking District, and Gateway Parking District...
and*

(2) The Cleveland State University Parking District.”



Designated Downtown Districts

- Core
- Warehouse
- Flats
- Lakefront
- Erievue
- Gateway
- CSU



8/13/2025

Downtown Parking Districts

Cleveland State University Parking District

Downtown Core Parking District

Downtown Lakefront Parking District

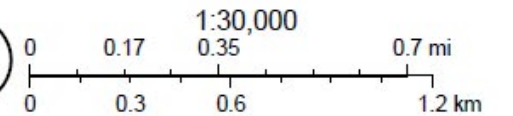
Erievue Parking District

Warehouse Parking District

Flats Parking District

Gateway Parking District

World_Hillshade



Esri, NASA, NGA, USGS, FEMA, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, (c) OpenStreetMap contributors, and the GIS User

Zoning Code:

CHAPTER 349 – OFF-STREET PARKING AND LOADING

§ 349.14 Surface Parking Lots in Designated Downtown Area Districts

“(d) Prohibition.

Notwithstanding other provisions of the Zoning Code, **no surface parking lot shall be established or expanded within the designated districts except as approved by the City Planning Commission in accordance with this section.**”



City Planning Commission – Authority & Restrictions

Four (4) Options

“(e) *Planning Commission Determination.* The City Planning Commission shall approve building permit applications for the establishment or expansion of surface parking lots in the designated districts **only** in accordance with the following provisions:”

- (1) Temporary Parking Lots.** Requires Development Plans, none presented.
- (2) Accessory Parking** for new use that has not yet been completed. Requires development plans for *new* development, expansion, or redevelopment. None presented.
- (3) Action Areas.** Community Development Plan adopted by Council. Not designated in any Community Development Plan.
- (4) Vacant Lots.** Not vacant prior to law’s initial effective date in 1997.



City Planning Commission – Authority & Restrictions

OPTION 1: Temporary Lot

- **Demolition** of existing building
 - New building or other non-parking use **must be approved first**
 - Then temporary surface lot is allowed for one (1) year
- If **permits** for redevelopment **not obtained** within one (1) year:
 - Property shall be **landscaped as open space** or
 - Converted to **another non-parking use**, as approved by the Commission.

*“If the City Planning Commission or Landmarks Commission, as applicable, has **approved demolition** of a building within the designated district(s) **and** has **approved**, in accordance with the regulations of Sections 341.04 and 341.05 or Section 161.05, as applicable, **plans for a new building or other non-parking use** to replace such building, the subject property may be used as a surface parking lot for a **maximum period of one (1) year** following the demolition of the building. If all necessary redevelopment permits have not been obtained within one (1) year of the commencement of surface parking use, the property shall be landscaped as open space or shall be converted to another appropriate non-parking use in accordance with a site plan approved by the Commission.”*



City Planning Commission – Authority & Restrictions

OPTION 2: Accessory Parking

- **Exclusively** used for accessory parking
- Serve a **new use** that has not yet been completed:
 - New Development
 - Expansion
 - Redevelopment
- New use **must be approved by Commission**

*“(2) Accessory Parking. Establishment or expansion of a surface parking lot within the designated districts shall be permitted if the City Planning Commission determines that the lot **will be used exclusively for accessory parking spaces to serve a new use or uses proposed for a development, expansion or redevelopment project which has been approved by the City Planning Commission or Landmarks Commission**, as applicable, but which has not yet been completed. The number of parking spaces in such accessory lot shall not be greater than one hundred twenty percent (120%) of the number of spaces which would be required for such use by the City’s Zoning Code.”*



City Planning Commission – Authority & Restrictions

OPTION 3: Action Areas

- Designated as a surface lot in a **Community Development Plan**
- **Adopted by Council**

“(3) Action Areas. The City Planning Commission shall approve an application for a surface parking lot if the subject property **has been designated for surface parking as part of an “action area”** (as defined in Section 315.03) [CHAPTER 315 – ADOPTION OF PLAN] of a **community development plan adopted by Council** in the manner set forth in Title V of the Codified Ordinances.”



City Planning Commission – Authority & Restrictions

OPTION 4: Vacant Lot

- Vacant Lot **existing prior to 12-22-97**

*“(4) Vacant Lots. On any vacant lot **which was vacant on the initial effective date** of this section, a surface parking lot shall be permitted, in accordance with all applicable City regulations.”*

*(Ord. No. 1465-97. Passed 12-15-97, **eff. 12-22-97**)*



Board of Zoning Appeals – Authority & Restrictions

Variance for Extension of Temporary Lot

- Delayed by circumstances **beyond their control** and,
 - which would be **present regardless of particular Ownership.**
- Extension limited to one (1) year
- Owner may return to BZA if circumstances persist beyond one (1) year

*“(h) Variances for **Temporary** Lots. In the case of a request for a variance to extend the use of a parking lot approved under division (e)(1) of this section, the Board of Zoning Appeals shall grant such extension **only** if it determines that redevelopment of the subject property has been delayed by circumstances which are beyond the control of the owner and which would be present regardless of the particular ownership of the property. In such cases, the Board shall not grant an extension for a period greater than one (1) year in duration. The property owner may return to the Board for consideration of further extensions if said circumstances persist.”*



Board of Zoning Appeals – Authority & Restrictions

Variance to Establish Lot

- **“Only”** if it deprives Owner of *“all reasonable economic use”*
- Board seeks advice of *“experts in relevant fields”*
 - Considers **short- and long-term economic gain.**

Many other options for reasonable economic uses are available, including parking deck, restaurant, residential, mixed-use, community center, etc.

*“(g) Variances for **Establishment** of Parking Lots. In the case of a request for a variance to permit establishment of a surface parking lot which is prohibited by regulations of this section, the Board of Zoning Appeals shall grant such variance **only** if it determines that denial of the variance would deprive the owner of all reasonable economic use of the subject property. In making this determination, the Board may seek the advice of experts in relevant fields and shall consider the potential for long-term as well as short term economic gain.”*





CITY OF CLEVELAND
Mayor Justin M. Bibb

Project Site Background



Site Context – Gateway District



Site Location – 1212 & 1260 Sumner Ave



Rocket Arena

Progressive Field

**St. Maron's Church
& 3-Storey Parking Deck**

Sumner Ave

Carnegie Ave

E. 9th St

E. 14th St

Site History - Planning Commission Previous Actions

- **2005: CPC Approved** - Greyhound Garage Demolition, associated development project(s) never realized (**USA Parking**)
- **2018: CPC Postponed** - Proposal to establish surface parking lot (**USA Parking**)
- **2020: CPC Approved** - Proposal for mixed use residential structure, project never realized, potentially due to Covid-19 pandemic (**Salus Development via USA Parking**)
- **2026: CPC Denied** - Proposal to establish surface parking lot, no development plans provided (**St. Maron Church**)
 - Previous Owner was aware of the restrictions – what information was provided to St. Maron Church at point of sale?

Ordinance History – ‘The Why’

Purpose and Intent of Code

“(a) Purposes.

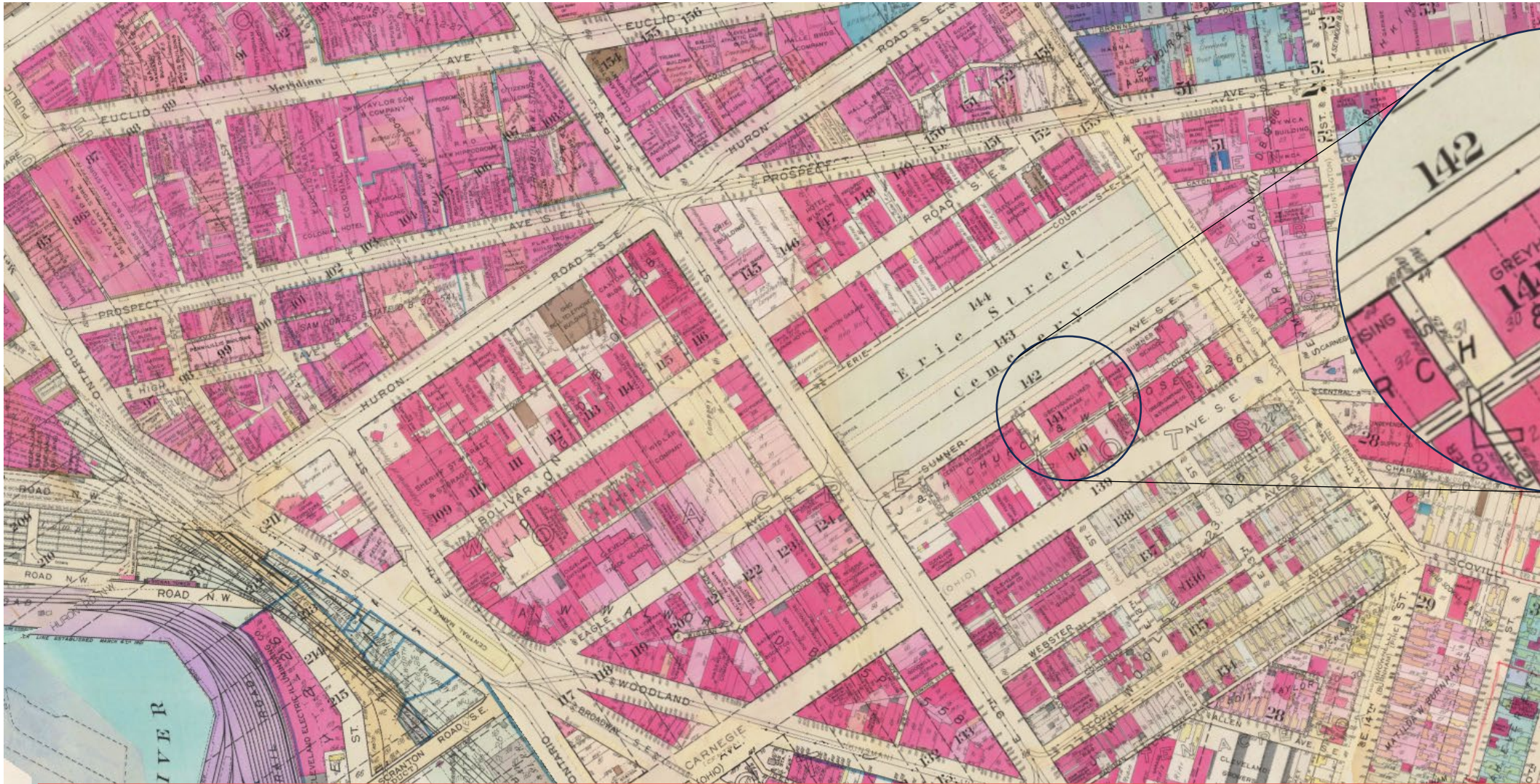
(1) *The principal purpose of this section is to **preserve the urban architectural character of the most intensively developed portions of downtown Cleveland by limiting the establishment and expansion of surface parking lots within these districts.***

(2) *A secondary purpose is to reduce auto emissions and traffic congestion in the downtown area by discouraging creation of additional parking.*

(3) *Furthermore, this section is intended to accomplish these purposes without discouraging new development.”*



Pre-Ordinance: Greyhound Garage (1920s-1930s)



Pre-Ordinance: (1950s) Context & Density



Pre-Ordinance: (1970s–1980s) Rise of Auto-Oriented Land Use & Demolitions



1990s: Gateway & Wolstein, Ordinance §349.14 passed



Post-Ordinance 2000s: Greyhound Garage Demolished, Church Deck Constructed



2008-2023: Surface Parking Expansion Ends





CITY OF CLEVELAND
Mayor Justin M. Bibb

Gateway & Other Stadium Districts



Gateway & Other Stadium Districts

Purpose and Intent of Code

“(a) Purposes.

(1) The principal purpose of this section is to **preserve the urban architectural character of the most intensively developed portions of downtown Cleveland by limiting the establishment and expansion of surface parking lots within these districts.**

(2) A secondary purpose is to reduce auto emissions and traffic congestion in the downtown area by discouraging creation of additional parking.

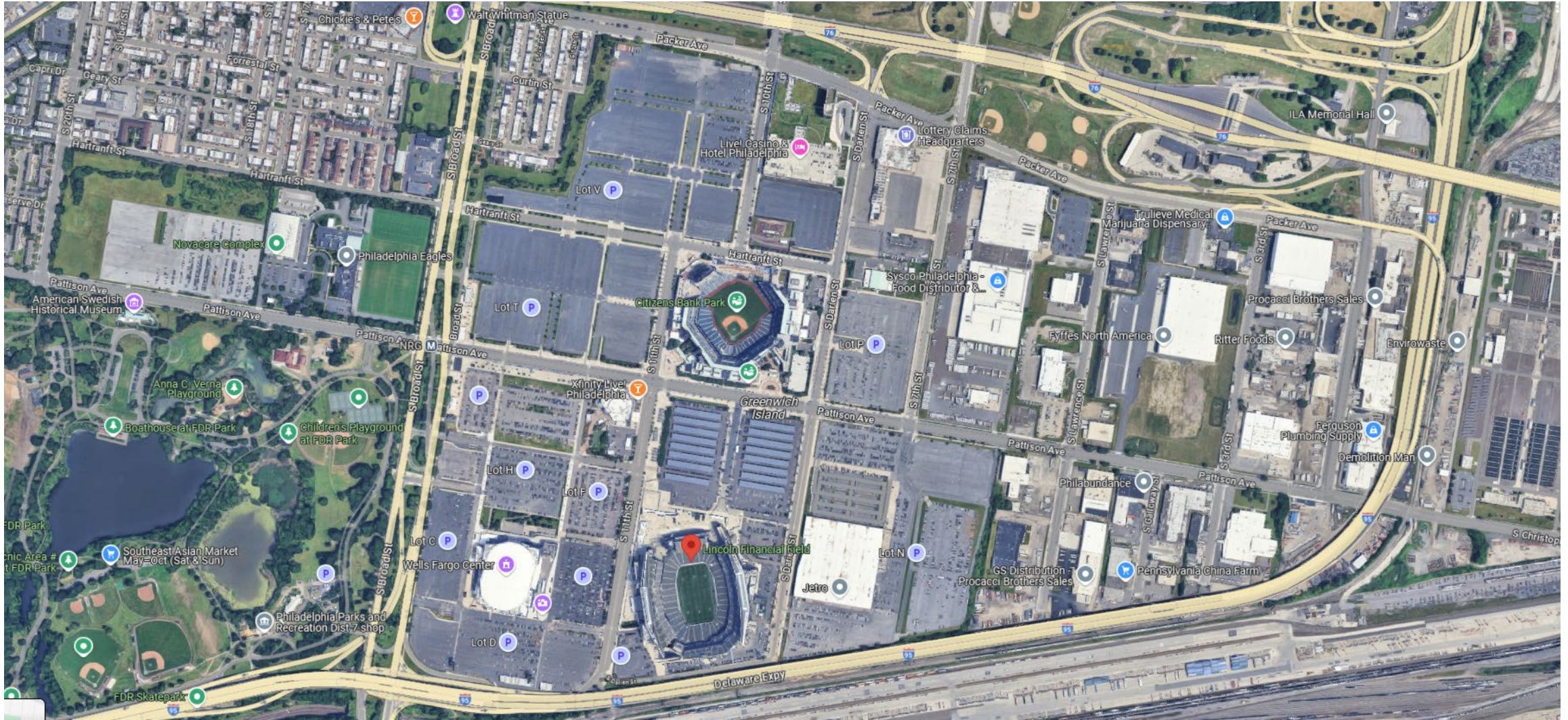
(3) Furthermore, this section is intended to accomplish these purposes without discouraging new development.”



Arrival to Stadium District & Separation from Neighborhoods



Other Stadium Districts - Philadelphia



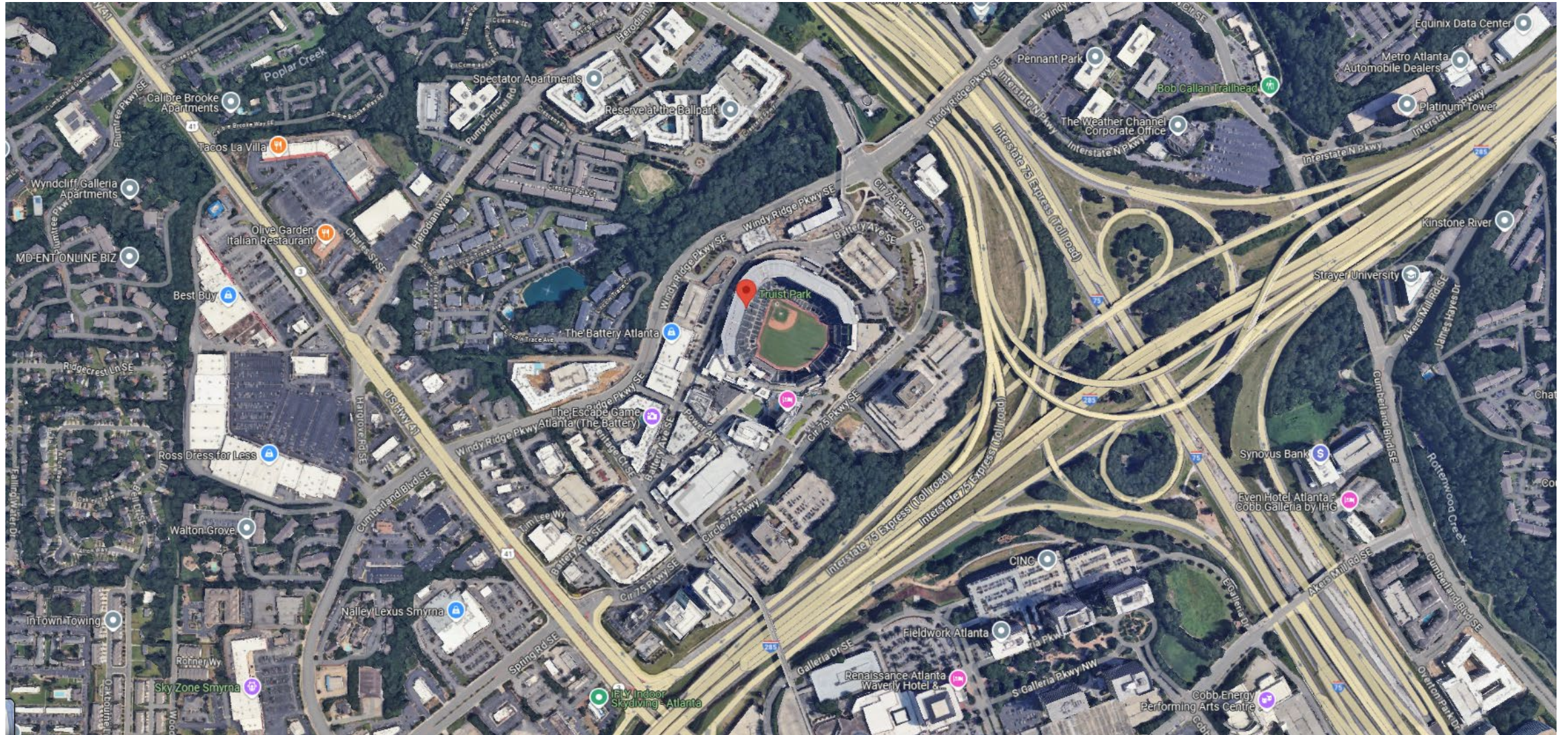
Other Stadium Districts - Philadelphia



Other Stadium Districts – Philadelphia



Other Stadium Districts - Atlanta



Other Stadium Districts - Atlanta



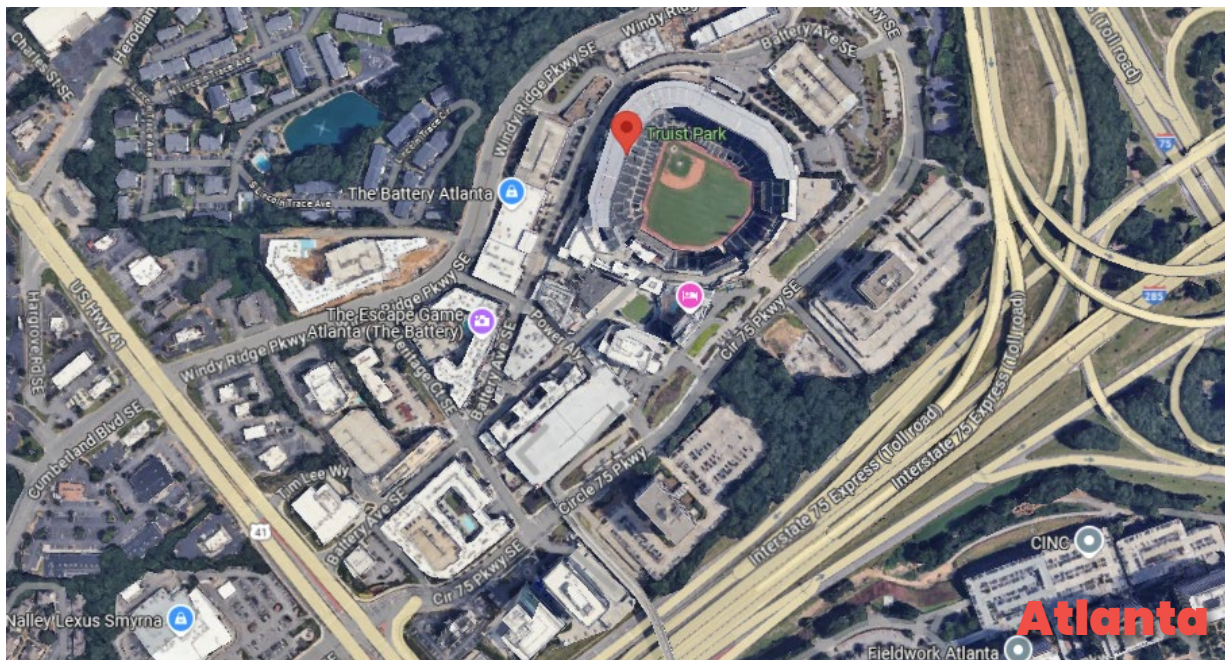
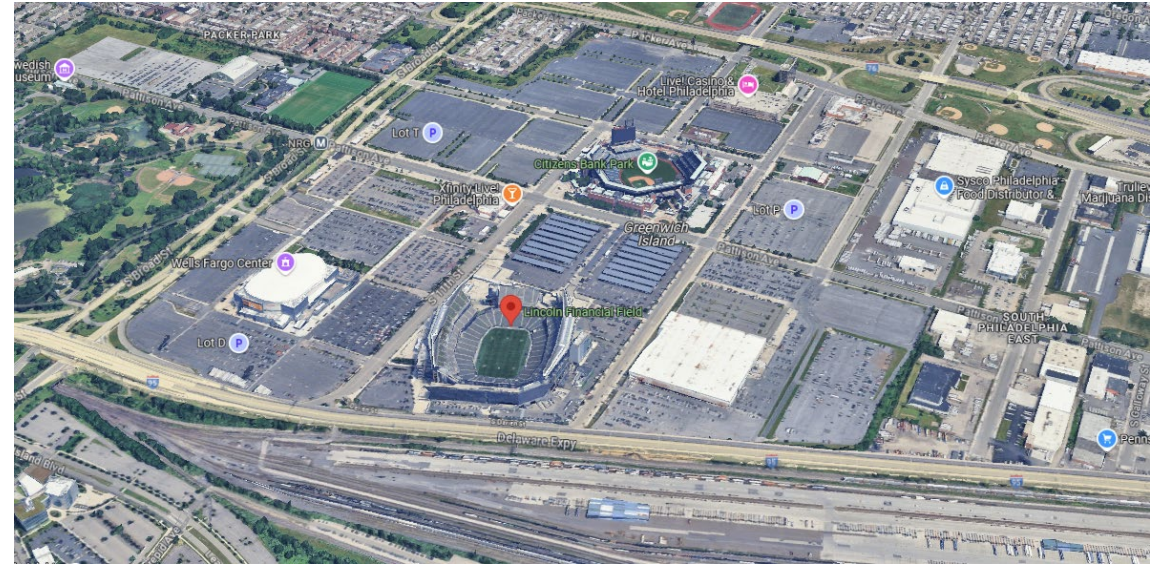
Other Stadium Districts - Atlanta



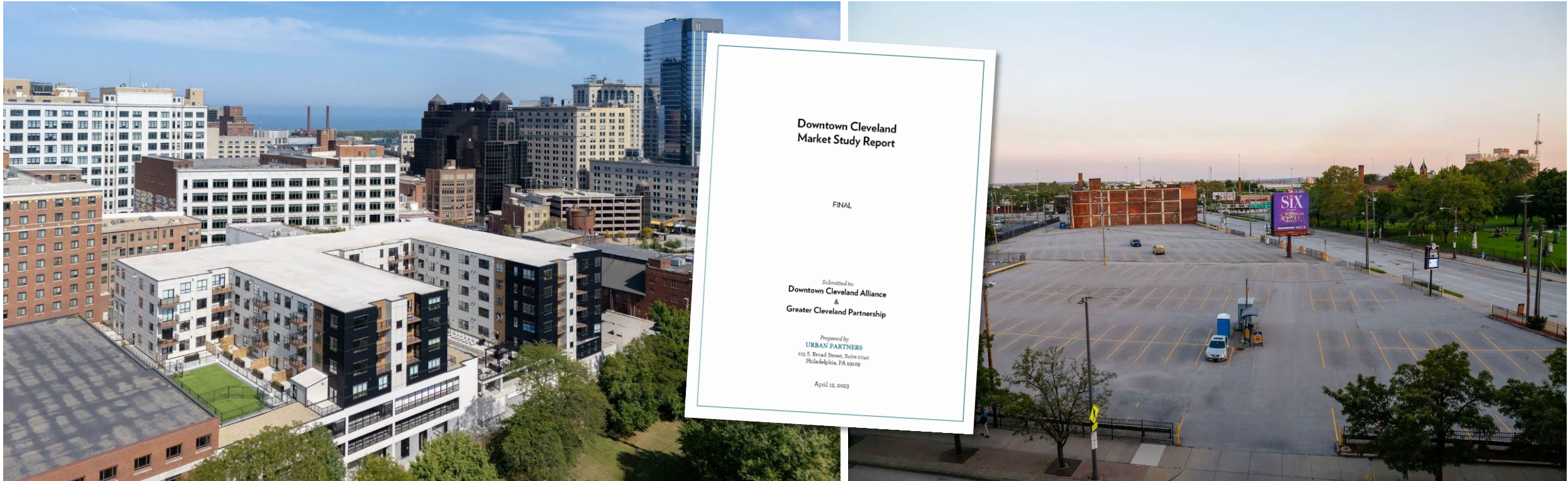
Other Stadium Districts - Atlanta



Comparative Stadium Districts – Density vs. Parking



Downtown Cleveland – Density vs. Parking










Downtown Cleveland – Parking Market Study

2nd Highest Daily Max Rate District



DOWNTOWN CLEVELAND PARKING STUDY

DECEMBER 2025

	Analytics	Average Price/Day	Average Price/Month	Min. Daily Price	Max. Daily Price	Min. Monthly Price	Max. Monthly Price	Total Spaces	Average Occupancy
 Campus	The Campus District contains five parking lots open to the public, including a 623 space Cleveland State garage. The average daily parking price is \$9.80, with a high of \$20 at 2165 East 18th Street and a low of \$5 at 1716 Payne Avenue. There is only one parking lot that offers monthly parking, that being 1716 Payne Avenue, costing \$90. In total there are 839 public parking spaces in the Campus District lots, which average 60-80% occupancy among them.	\$7.00	\$90.00	\$6.00	\$10.00	\$75.00	\$120.00	876	1/2 Full (40-60%)
 Civic Center	The Civic Center District contains eleven parking lots open to the public, including a 2,000 space parking garage at Tower City. The average daily parking price is \$18.42, with a high of \$48 for valet parking at the Hampton Inn and a low of \$10 at three different lots. The average monthly parking price is \$241.30, with a high of \$360 for parking at 1375 East 6th Street and a low of \$200 a month at 3 different lots. In total, there are 4,490 public parking spaces in the Civic Center district, which average 80-90% occupancy among them.	\$22.00	\$225.00	\$10.00	\$60.00	\$200.00	\$295.00	3,632	Very Full (90-95%)
 Eriview	The Eriview District, also known as the Nina Twelve District, contains thirty parking lots open to the public, including a 1,120 space parking garage at One Cleveland Center. The average daily parking price is \$8.38, with a high of \$16 at two different garages and a low of \$3 at 3 different lots. The average monthly parking is \$135.51, with a high of \$260 at 1301 East 6th Street and a low of \$45 at 1572 Hamilton Avenue. In total, there are 7,187 public parking spaces in the Eriview District, which average 60-80% occupancy among them.	\$9.50	\$146.00	\$3.00	\$25.00	\$45.00	\$360.00	6,932	Mostly Full (60-80%)
 Gateway	The Gateway District contains twenty-six parking lots open to the public, including a 2,200 space garage at Gateway East Garage. The average daily parking price is \$16.02, the most expensive of any district, with a high of \$48 at the Hyatt Regency Hotel and a low of \$5 at 1030 Sumner Road. The average monthly parking price is \$159.22, with a high of \$250 at 205 Prospect Avenue and a low of \$80 at 905 Carnegie Avenue. In total, there are 9,627 public parking spaces in the Gateway District, which average 80-90% occupancy among them.	\$16.50	\$172.00	\$7.00	\$52.00	\$95.00	\$250.00	9,964	Mostly Full (60-80%)
 Lakefront	The Lakefront District contains thirteen parking lots open to the public, including a 1,600 space parking garage at the Willard Park Garage. The average daily parking price is \$10, with a high of \$18 at 910 East 9th Street and a low of \$3 at 1476 Davenport Avenue. The average monthly parking price is \$110.71, with a high of \$200 at 1141 West 3rd Street and a low of \$35 at 1476 Davenport Avenue. In total, there are 5,091 public parking spaces in the Lakefront District, which average 40-60% occupancy among them.	\$10.00	\$114.00	\$3.00	\$19.00	\$35.00	\$200.00	5,341	Full (80-90%)
 Theater	The Theater District contains twenty-four parking lots open to the public, including a 955 space parking garage at Reserve Square. The average daily parking price is \$9.26, with a high of \$20 at two different lots and a low of \$5 at 4 different lots. The average monthly parking price is \$146.45, with a high of \$320 at 2060 East 14th Street and a low of \$60 at 1245 Carnegie Avenue. In total, there are 3,808 public parking spaces in the Theater District, which average 60-80% occupancy among them.	\$8.70	\$133.00	\$5.00	\$20.00	\$60.00	\$320.00	4,465	Mostly Full (60-80%)
 Warehouse	The Warehouse District contains fourteen parking lots open to the public, including a 400 space parking garage at the Ernest & Young Building. The average daily parking price is \$11.07, with a high of \$20 at two different lots and a low of \$5 at two different lots. The average monthly parking price is \$176.38, with a high of \$240 at 3 different parking lots and a low of \$70 at 1450 Columbus Road. In total, there are 2,443 public parking spaces in the Warehouse/Flats District, which average 60-80% occupancy among them.	\$10.00	\$170.50	\$5.00	\$15.00	\$70.00	\$240.00	2,610	Very Full (90-95%)





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New Development Snapshot



Gateway Recent Development – **New Construction**

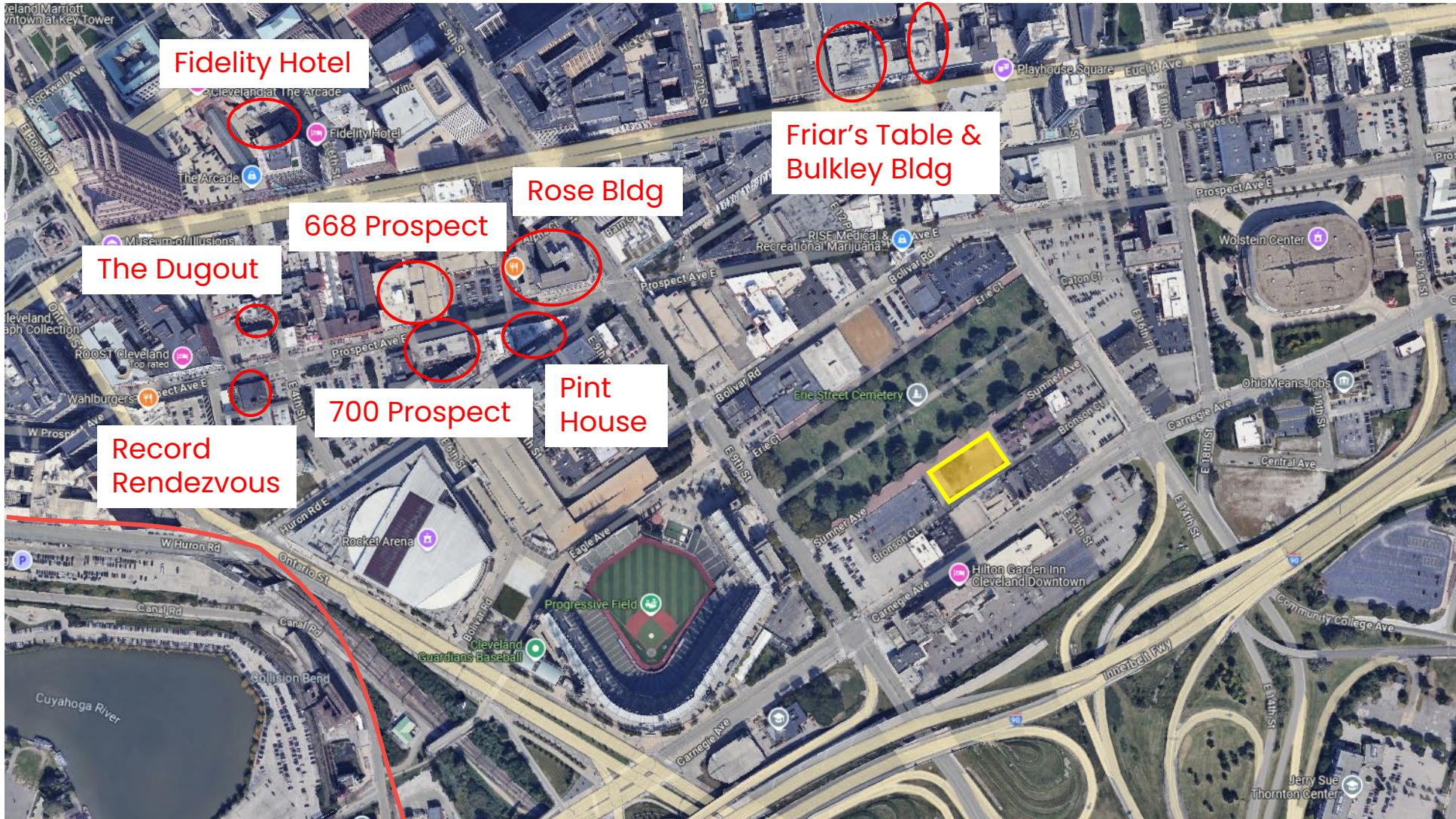


Add Developments:

- Playhouse Square Masterplan
- Sherwin Williams HQ
- Flats East Bank
- Proposed Soccer Stadium



Gateway Recent Development – Renovations



Add Renovations:

- Greyhound Station
- 1100 Prospect – Former Oswald Bldg
- The Bells
- Erieview Tower
- Flats East Bank
- Wolstein & Cleveland Crunch Soccer



2016 – Surface Parking Lot



2020 – The Lumen Skyrise – Completed



2021 – Surface Parking Lot



2024 – 776 Euclid Skyline – Leasing Up



2022 – Parking Garages



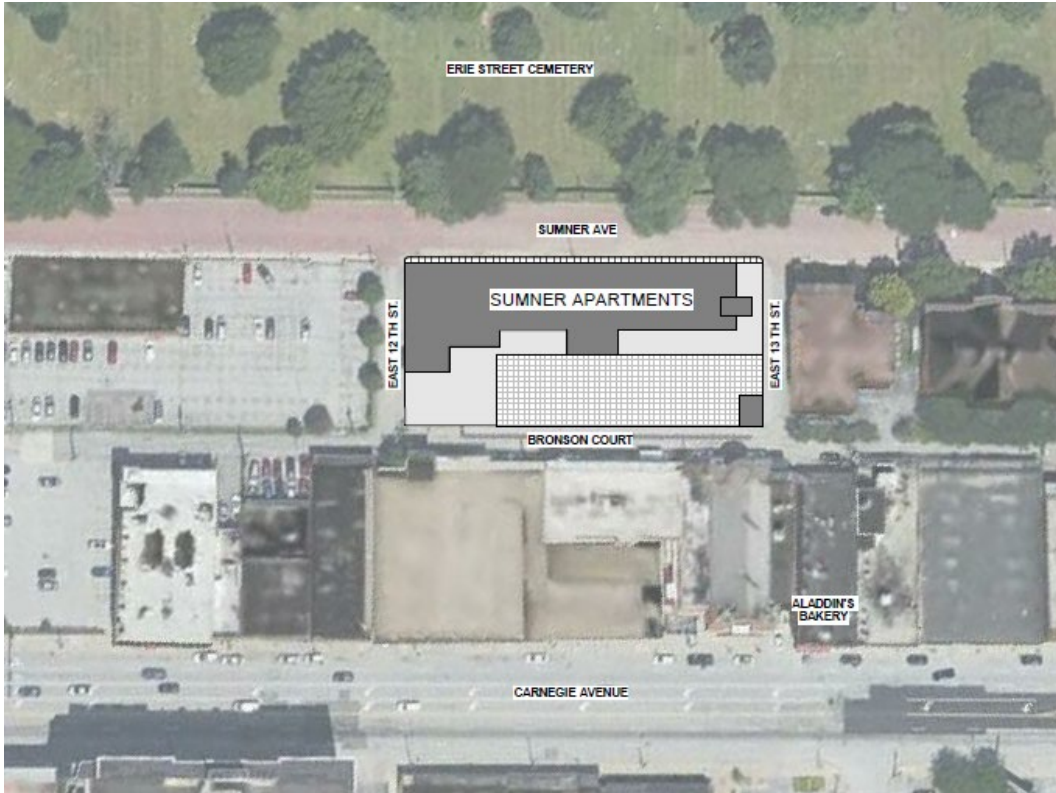
2024 – Ten60 Bolivar – Leasing Up



2024 – Ten60 Bolivar – Leasing Up



2020 – City Planning Commission Motion: **Approved** Sumner Apartments – Conceptual Plans



SUMNER ELEVATION



SUMNER - E. 12TH TO E. 13TH VIEW

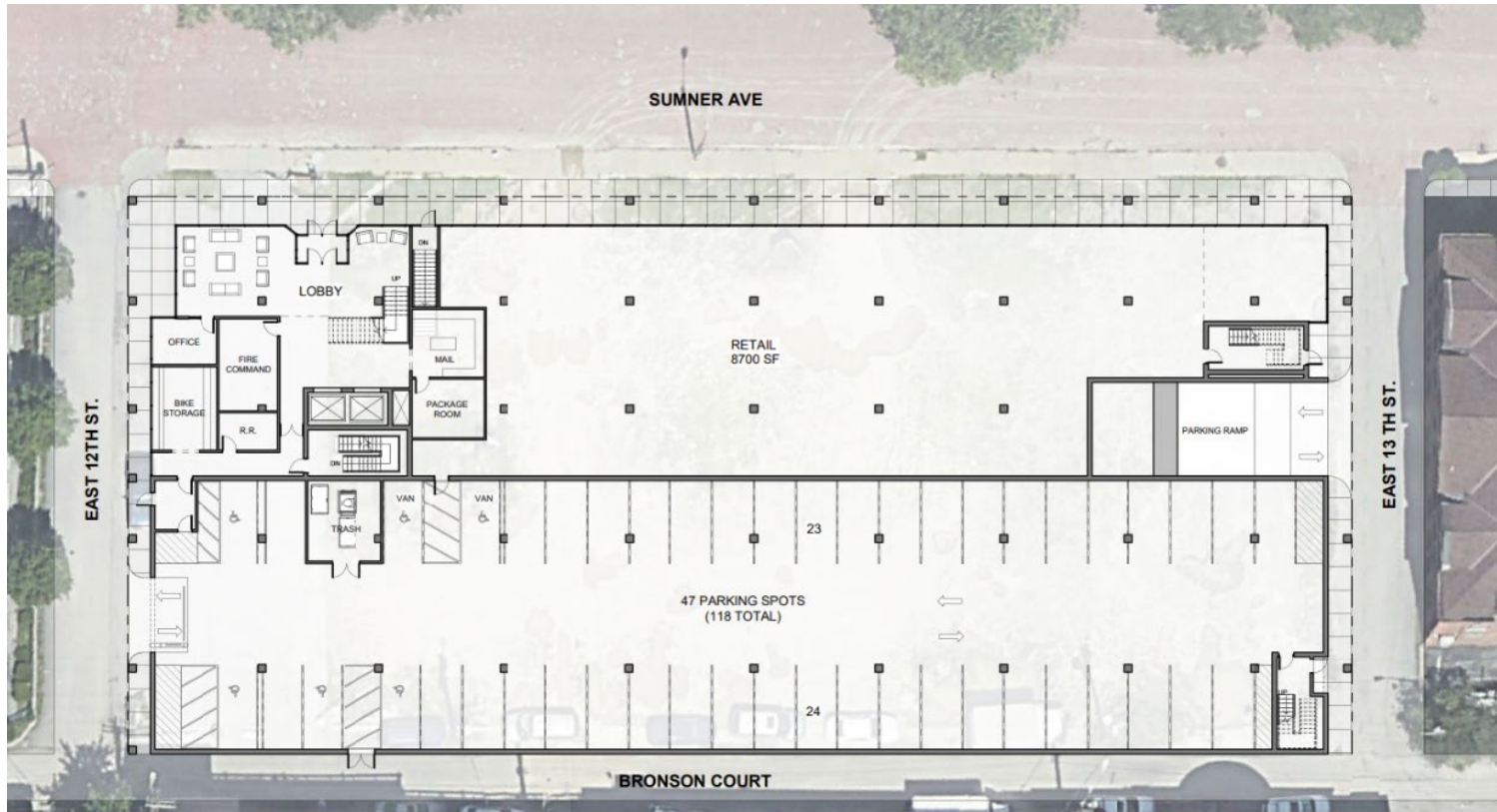


AXON - SOUTH VIEW

*Covid-19 potential impact on development proceeding.
Ongoing interest in site & neighboring properties from various parties.



2020 - City Planning Commission Motion: **Approved** Sumner Apartments - Conceptual Plans



*Covid-19 potential impact on development proceeding.
Ongoing interest in site & neighboring properties from various parties.



Downtown Growth – Mixed-use Garages or Surface Lots





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St. Maron Church Parking



St. Maron Church Parking Deck

3-Story Structure & Aesthetically Pleasing Design



St. Maron Church Parking Deck

3-Story Structure & Aesthetically Pleasing Design



St. Maron Church Parking Deck

3-Story Structure & Aesthetically Pleasing Design



St. Maron's Existing Garage – **Phased Development**

- **1996: Church Assembly Bldg. Demolition** – Razed for parking deck
- **1997: Church Parking Deck Construction** – 13,000 sqft parking deck
- **1997: Church Addition** – 3,200 sqft single-story plus basement (west)
- **1998: Church Parking Deck Expansion** – Addition to '97 parking deck
- **1999: Church Addition** – 3,400 sqft single-story plus basement (east)
- **2001: Church Parking Deck Expansion** – 3rd-story addition to parking deck



Project Site Background

- **2013:** Parcel transfers to new USA Parking LLC via Sheriff's Deed for **\$170,000**
- **2024:** The Eparchy of Our Lady of Lebanon of Los Angeles (**St. Maron's Church**) **purchase agreement for lot at \$1.9M**
- **Applicant previously constructed phased parking deck** to comply with code.
- Gateway District receives at least **~4M+ visitors annually** (Downtown **39.5M**) making it a great place for mixed-use, retail, combined with parking structures.
 - 2M+ Visitors to Progressive Field*
 - ~2M Visitors to Rocket Arena*
 - ~750k Anticipated Visitors to Cosm*
- Housing shortage is also driving demand for new downtown housing.



St. Maron Church Parking Overview

Goals & Context

- St. Maron's notes **occupancy of ~500**, sees **need of 300 parking spaces**
- Zero parking requirements Downtown
- Max code requirement outside Downtown: 83 spots (1:6 occupants)
- **Existing garage** capacity is **~120 spaces**
- Proposed surface lot is ~90 spaces
- St. Maron's would **still need a further ~90 spaces** to meet parking goal
- National average parking deck construction per RSMeans:
 - 5-story: **~\$13.7M** construction cost
 - Potential annual net parking proceed of **~\$2.5M - \$5M**



St. Maron Church Parking & Long-term Operations

Past & Future

- Other downtown churches (Old Stone, St. John's Cathedral, CityView):
 - **Own** their own garages or have **agreements** with adjacent garages
 - Utilize **neighboring garages** with property owner agreements for parking validation
 - **On-street parking permits** with Staff-directed parking operations
 - Utilize **public transit**
- St. Maron's established in 1940, nearing 100 years Downtown
 - **Previously invested in a parking deck** with associated revenue generation
- Finding **sustainable revenue sources** are often key to Church operations
 - Unsustainable to solely rely on Parishioners for full cost of maintenance & programs
- **Flourish for another 100 years**
 - Collaborate with City - Solve the parking issue via a code-compliant project



Board of Zoning Appeals – Variance Powers (§329.03):

1. **Practical Difficulty / Unnecessary Hardship:** “...inheres in and is **peculiar to the premises** sought to be built upon or used because of physical size, shape or other characteristics of the premises or adjoining premises which **differentiate it from other premises in the same district** and create a difficulty or hardship caused by a strict application of the provisions of this Zoning Code **not generally shared by other land or buildings in the same district;**”

Nothing unique about parcel – Compliance with code is actually **more** possible in Gateway District given parking proceeds exceed other Districts.

2. **“Deprive Owner of Substantial Property Rights;”**

Copious options for Property Owner. Structured parking is allowable. All other non-surface parking uses as approved by the Planning Commission are allowed. **Property Owner has previously met code via a phased parking deck.** City remains ready to work with Applicant.

3. **“And, Not Be Contrary To The Purpose & Intent Of This Zoning Code.”**

Prohibited by code, **§349.14** – **Intent is for density, not surface lots.**

Board of Zoning Appeals – Variance Powers (§349.14):

4. **Variations for Establishment of Parking Lots:** “...the Board of Zoning Appeals shall grant such variance **only if** it determines that denial of the variance would deprive the owner of **all reasonable economic use** of the subject property. In making this determination, the Board may seek the advice of experts in relevant fields and shall consider the potential for long-term as well as short term economic gain.”

Many other reasonable economic uses, including parking deck, restaurant, residential, mixed-use, community center, etc.

- Applicant previously constructed a phased parking deck to comply with code. District receives ~4.5M+ visitors annually making it a great place for mixed-use, residential, retail, combined with parking structures.
 - 2M+ Visitors to Progressive Field
 - ~2M Visitors to Rocket Arena
 - ~750k Anticipated Visitors to Cosm



Staff Overview – Variance Powers Criteria Not Met:

- **Deny** as the Applicant's site does not meet the three (3) criteria of **§329.03** for BZA variance powers, ie:
 1. There is nothing unique about the site creating hardship or difficulty,
 2. The code does not deprive Owner of substantial (or all reasonable) economic uses,
 3. And the requested variance is contrary to the purpose & intent of the Zoning Code.
 - Applicant has not yet provided code-compliant development plans for CPC approval
- **Collaborate with City** – City remains ready to collaborate on code-compliant methods to address parking concerns & phased development plans with Dept of Development.





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Supplemental Information



§349.14 – **Additional Sites & CPC Approvals**

- **1300 Carnegie Demolition:** Greenspace approved
- **611 Huron – Bedrock Parking Deck Demolition:** Temporary surface lot approved, 2-years lapsed, now closed with new use approved by CPC
- **944 Prospect – GEIS Oppman Garage Demolition:** Greenspace approved
- **2215 E.14th Street – Dorn Building:** Project coordination ongoing – Applicant navigating same prohibitions & requirements
- **1235 Old River Road – Samsel Renovation & Partial Demolition:** Project coordination ongoing – Applicant navigating same prohibitions & requirements
- **2179 E.9th Street Demolition GEIS (Former NY Spaghetti House):** Temporary surface lot approved, Applicant never proceeded with sitework, coordination with Owner ongoing



Staff Overview (if approval considered):

- Require Applicant to return to Design Review process, City Planning Commission, & Zoning code reviews for the design of the lot (current design is unfinished and is not code compliant)





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2005 CPC Motion & Commentary



2005 City Planning Commission Motion: **Approve Original Demolition of Greyhound Garage**

- Approved Demolition of Greyhound Garage (and 2 other nearby sites*)
 - Applicant was to return to present detailed redevelopment plans
 - Temporary parking lots must meet all code
 - If redevelopment does not occur, CofO revoked, and landscaped per code
-
- *1124 Bolivar was never demolished with the 2005 approval, instead remained a functioning garage until it was demolished in 2023 as part of the 1060 Bolivar Apartments development.



2005 City Planning Commission Motion: **Approve**

Contextual Commentary

- **Former Director Bob Brown:**
 - Presented §349.14, and provided an overview on the prohibitions.
 - *We don't yet have conceptual plans for a new development on the sites nor do we have detailed plans for the parking lots... we cannot legally approve the demolitions at this point.*
- **Mr. Frangos (Applicant):**
 - Notes the lots will be temporary, built to code, and removed if development does not occur.
- **Historic Gateway Neighborhood Development Corp:**
 - Opposed demolitions. Lacking development plans & no financing details provided.
- **Former Planning Commission Chair, Tony Coyne:**
 - *I would support all of the proposed demolitions. Mr. Frangos will redevelop; I am comfortable with that.*
- **Former Commission Member (and later Chair), David Bowen:**
 - *I never vote for demolitions, but the provision to revoke after 2 years makes it comfortable enough for me to approve for these cases.*



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2018 CPC Motion & Commentary



2018 City Planning Commission Motion: **Tabled**

Contextual Commentary

Overall, the Commission was skeptical that new development was cost prohibitive Downtown.

- **Former Planning Commission Chair, David Bowen:**
 - *There is a development site here... it's a killer piece of property... a great development property.*
 - *If we make it parking, it will stay parking.*
- **Former Commission Member and Councilmember, Kerry McCormack:**
 - *It's a hard argument to say there's no other foreseeable economic use here.*
 - *Notes the variety of tools through City & Economic Development Dept to fill financial gaps.*
- **Former Commission Member (and later Chair), Lilian Kuri:**
 - *Demolished buildings are not allowed to be surface lots.*
 - *Way too much history on the Commission of not making permanent surface lots.*
 - *Would be hard pressed to make a permanent lot, and would set a bad precedent.*
 - *Demolition was only approved because of the new development projects.*
 - *Find another creative solution.*
- **Former Planning Director, Freddy Collier:**
 - *The Comprehensive Plan focuses on building on parking lots Downtown to increase density.*



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2026 CPC Motion & Commentary



2026 City Planning Commission Motion: **Denied**

- Motion to deny DF2026-002 as the proposal does not meet required criteria for downtown surface parking lots.

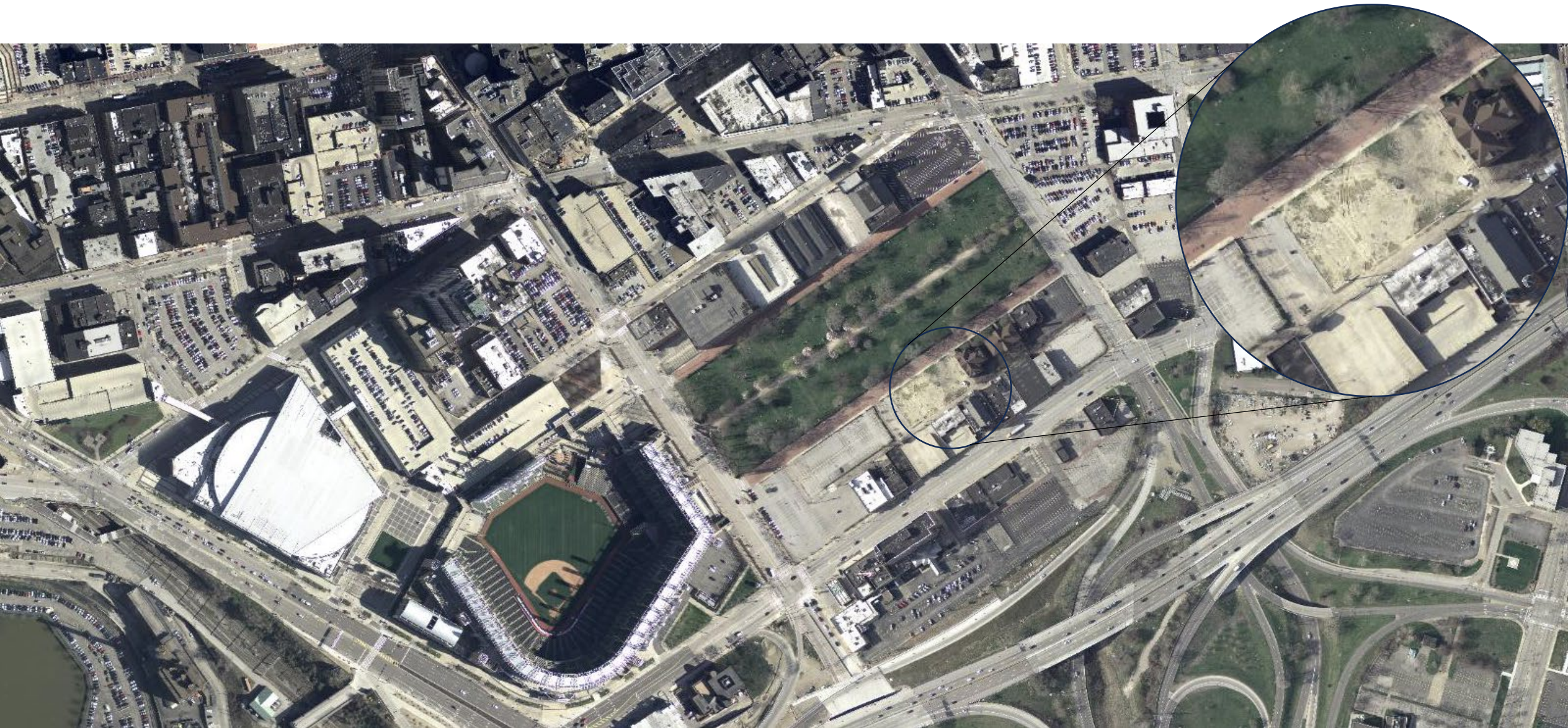


Project Site Background

- **2005: CPC Approved** – **USA Parking** proposes Greyhound Garage Demolition, associated development project never realized
- **2005 - 2007:** Temporary parking lot constructed and operated
- **2008 - ~2012:** License lapsed, but parking lot remained
- **~2012:** Surface lot removed, per code requirements. Post-demolition restoration appears to have never been completed
- **2013:** Parcel transfers to new **USA Parking** LLC via Sheriff's Deed for \$170,000



2012: Surface Lot Removed, per Code Requirements



Project Site Background

- **2013–2017:** Grass never fully established, vehicular movements degrade lot over time
- **2017:** Illegal parking operation identified
 - Channel 19 News investigative reporting
 - Dept of Assessments & Licenses issues cease & desist order
 - Continued illegal operation despite warnings and citations
 - Criminal citation issued. Former Property Owner pleads guilty in court and pays associated fine.
- **2018: CPC Tabled** - Proposal to establish parking lot





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Downtown/Flats Design Review District

Design Review Advisory Committee

Meeting Motion and Report Form

Meeting Location: City Hall Room 514, 601 Lakeside Avenue

Case Number: DF 2026-002

Meeting Date: 01/8/2026

Project Name: St Maron Parking Lot

Project Address: 1245 Carnegie (1212 & 1260 Sumner Ave)

Contact Person: Joey Mannarino

Architect/Contractor: _____

Includes issues with section 349.14 - proposing to establish a new surface parking lot which is prohibited by code. Applicant has not submitted accompanying development plans, per code requirements. May request BZA review if denied at CPC. Submission does not yet comply with parking lot design code, ie: screening, landscaping, buffers, islands, drainage, lighting, security, etc. Requesting Street Vaction of Bronson Ct in conjunction with project proposal. Reference previous

General Description: projects a...

Motion by Design Review Committee:

Disapproved

Approve: Yablonsky, Bialosky, Brown, Geist, Pesarchick, Schwartzberg, Soltis, Zarfoss

Disapprove:

Abstain:

Non-Voting Members:

- Motion to deny and refer to BZA, understanding the unique nature of this Church as a long-standing community member with a serious parking issue.*

- Details of site design and operation to be worked out with the Planning Commission, including:

- Higher set of design standards that exceed existing minimum code requirements for parking lots in order to achieve higher aesthetics & functionality.
- Potential future development of site not be precluded by parking lot design.
- Maintain permanent easement on vacated portion to allow access through alleyway.

- City seriously consider how to alleviate parking issue while still encouraging density & meeting the intent of the code. Consider creating a parking authority.

*DFDR Committee was especially cognizant of not wanting this project to set a precedent, noting its particular uniqueness.



Downtown/Flats Design Review District:

DF2026-002 – St Maron Parking Lot

Project Address: 1245 Carnegie (1212 & 1260 Sumner Ave)

Ward 5: Council Member Starr

SPA: Downtown

Type: Surface Parking Lot

Project Representative: Joey Mannarino, TMG

Approval: Final

Understanding the unique nature of this Church as a long-standing community member with a serious parking issue, DFDRAC recommended denial and referral to BZA on 1/8/26 with the conditions to have details of the site design and operation to be worked out with CPC, including:

- Higher set of design standards that exceed existing minimum code requirements for parking lots to achieve higher aesthetics & functionality
- Potential future development of site not be precluded by parking lot design
- Maintain permanent easement on vacated portion to allow access through alleyway
- City seriously consider how to alleviate parking issue while still encouraging density & meeting the intent of the code; consider creating a parking authority

Planning staff recommends either postponement or denial, with the inclusion of relevant DFDRAC recommendations for site improvements for BZA consideration:

- Postpone (with Applicant’s concurrence) and allow Applicant opportunity to pursue options #1 or #2 of §349.14, or
- Deny as Applicant has not yet provided development plans or met criteria required in §349.14 for CPC approval

**DFDRAC was especially cognizant of not wanting this project to set a precedent, noting its particular uniqueness.

Rationale:

Action: Motion to deny DF2026-002 as the proposal does not meet required criteria for downtown surface parking lots.

ANTHONY: Y

FLUKER: 2

MCCRAY-SCOTT: Y

SARGEANT: Y

SLIFE: 1

WHITFIELD: Y

"1" indicates that the member made the motion and voted to approve; "2" indicates that the member seconded the motion and voted to approve; "Y" indicates a yes vote;

"N" indicates a no vote; "A" indicates abstention; "NP" indicates that member was not present; "R" indicates that member recused themselves; "NA" means Not Applicable

CPC Ruling: **FAILED TO PASS**

Cleveland Board of Zoning Appeals

Old Business



CITY OF CLEVELAND
Mayor Justin M. Bibb

May 18, 2026

**BOARD OF ZONING APPEAL
OLD BUSINESS
May 18, 2026**

Cal. No. 26-018:	3051 E. 63rd St.	(AW,AF,PR,MM)
Cal. No. 26-035:	1970 W. 48th St.	(AW,AF,NH,MM)
Cal. No. 26-036:	14610 Milverton Rd.	(AW,AF,NH,MM)
Cal. No. 26-037:	2312 W. 40th St.	(AW,AF,NH,MM)
Cal. No. 26-038:	2316 W. 40th St.	(AW,AF,NH,MM)
Cal. No. 26-039:	2082 W. 65th St (AKA 2070 W.65th St)	(AW,AF,MM)
Cal. No. 25-188:	2850 W. 11th St.	(AW,AF,NH,PR,MM)*
Cal. No. 25-189:	2854 W. 11th St.	(AW,AF,NH,PR,MM)*
Cal. No. 25-190:	2858 W. 11th St.	(AW,AF,NH,PR,MM)*
Cal. No. 25-191:	2862 W. 11th St.	(AW,AF,NH,PR,MM)*
Cal. No. 25-106:	1037 Starkweather Ave.	(AW,AF,NH,PR)*
Cal. No. 25-089:	3533 Carlyle Ave.	(AW,AF,NH,PR,MM)*
Cal. No. 25-063:	2442 Professor Ave.	(AW,AF,NH,PR,MM)*
Cal. No. 24-214:	1469 East 116th St.	(AF,NH,PR,AW,MM)*

~	Items received
*	Pending the receipt of requested information by the Board.
***	Request for Rehearing/Reconsideration.

AFFIRMATION:

The following cases were granted variances in November 2025; the architectural drawings are still being reviewed by Building and Housing and more time is needed for the permit to be issued.

Calendar No. 25-192: 2884 W. 11th St. (Granted Conditionally)

West 11th Street Properties, owner proposes to erect a 4-story frame single-family residence with attached garage in a BI Two-Family Residential District.

Calendar No. 25-193: 2888 W. 11th St. (Granted Conditionally)

West 11th Street Properties, owner proposes to erect a 4-story frame single-family residence with attached garage in a BI Two-Family Residential District.

Calendar No. 25-194: 2892 W. 11th St. (Granted Conditionally)

West 11th Street Properties, owner proposes to erect a 4-story frame single-family residence with attached garage in a BI Two-Family Residential District.

Misc.

Cleveland Board of Zoning Appeals

Adjournment



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May 18, 2026