



CITY OF CLEVELAND  
Mayor Justin M. Bibb

# Cleveland City Planning Commission

December 19, 2025

**\*\*PLEASE MUTE YOUR MICROPHONE\*\***

Erika Anthony, Commission Chair  
Calley Mersmann, Director  
Evelyn Rueda, Administrator

## Agenda: December 19, 2025

### MOMENT OF SILENCE

- Remembering Hunter Morrison

### ZONING MAP AMENDMENTS

- Map Change 2697 – Herman Ave

### CONDITIONAL USES

- Pedestrian Retail Overlay –  
Camelot Bakery

### FAR WEST DESIGN REVIEW

- FW2025-15 – Camelot Bakery
- FW2025-18 – Al Ihsan Signage

### CENTRAL SOUTHEAST DESIGN REVIEW

- CSE2025-046 – 6405 Francis Ave  
Demolition

### EUCLID CORRIDOR BUCKEYE DESIGN REVIEW

- EC2025-040 – Unity Six

### DOWNTOWN/FLATS DESIGN REVIEW

- DF2025-044 – 750 Prospect Billboard

### DIRECTOR'S REPORT

### ADJOURNMENT



# Moment of Silence – Remembering Hunter Morrison

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**Hunter Morrison**, Cleveland’s highly respected city planning director from 1980 to 2000, died early Tuesday in his sleep at his home in Silver Spring, Maryland, according to members of his family. He was 77.

Serving under former mayors George Voinovich and later, Michael White, Morrison insisted on design excellence from architects and developers and pioneered early efforts to connect downtown to Lake Erie with the construction of North Coast Harbor.

Morrison oversaw planning for the nationally acclaimed Gateway sports complex, the Rock and Roll Hall of Fame, Key Tower, the East Wing of the Cleveland Public Library’s Main Branch, the revival of Playhouse Square and other pivotal projects of the 1980s and ‘90s.

December 19, 2025



Source: “Revered former Cleveland planning director Hunter Morrison is dead at age 77”, by Steven Litt, Ideastream Public Media

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# Cleveland City Planning Commission

## P R E A M B L E

In compliance with notification requirements of Ohio's open meeting law and section 101.021 of the Codified Ordinances of Cleveland, Ohio, 1976, notice of this meeting has been publicly posted.

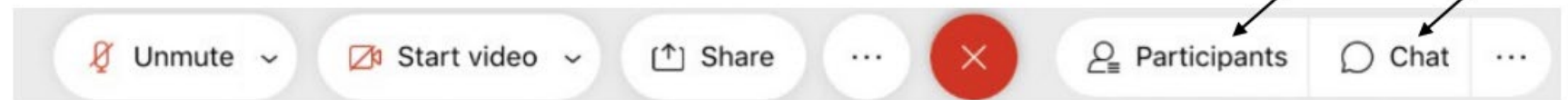
All boards and commissions under the purview of the City Planning department conduct their meetings in a manner modeled after Robert's Rules of Order. Actions during the meeting will be taken by voice vote. Recusals from any vote due to a conflict of interest should be stated for the record prior to the taking of any vote.

In order to ensure that everyone participating in the meeting has the opportunity to be heard, we ask that online participants use the raise hand feature before asking a question or making a comment. The raise hand feature can be found in the participants panel on the desktop and mobile version and activated by clicking the hand icon. Please wait for the Chair or facilitator to recognize you and be sure to select unmute and announce yourself before you speak. When finished speaking, please lower your hand by clicking on the raise hand icon again and mute your microphone.

We will also be utilizing the chat feature to communicate with participants. The chat feature can be activated by clicking the chat button located on the bottom of the Webex screen.



### CALL-IN USERS CAN UNMUTE BY USING \*6



December 19, 2025

# Cleveland City Planning Commission

## P R E A M B L E

All meeting activity is being recorded via the Webex platform.

These proceedings are also being live streamed via YouTube.

All requests to speak on a particular matter submitted through proper channels have been considered. We have also received emails from those who have provided written comment on a particular matter. Proper channels for comments are listed below.

Communication with members of this body must follow proper channels for consideration.

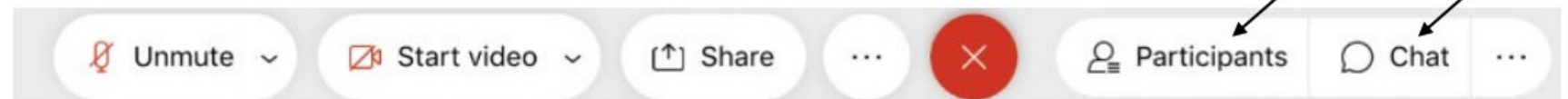
Any comments received by the **Wednesday 12:00 pm** deadline are collected by City Planning staff and disseminated to the Commission members prior to any scheduled meeting.

## PROPER CHANNELS FOR PUBLIC COMMENT

- Sending an e-mail to the [cityplanning@clevelandohio.gov](mailto:cityplanning@clevelandohio.gov) address with a comment or a letter
- Calling and/or leaving a message at 216-664-2210
- Sending a letter or dropping off comments at City Hall (601 Lakeside Avenue, Suite 501, Cleveland, OH 44114)



**CALL-IN USERS CAN UNMUTE BY USING \*6**



December 19, 2025

# Cleveland City Planning Commission

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## MEETING RULES AND PROCEDURES

- The Chair will call each agenda item and then each applicant will be invited to proceed through their presentation.
- Each presentation should be completed prior to questions and comments from the Commission in order to facilitate a smooth presentation.
- Once the presentation has concluded, the Chair will ask Planning staff to summarize Design Review Advisory Committee recommendations (if applicable) and any public comments received.
- Public comments received through the proper channels by the deadline are distributed to Commission members prior to the meeting. Staff will also identify any members of the public present and scheduled to speak.
- Public comment is allowed at the discretion of the Chair and any individual providing public comment is permitted two (2) minutes to speak to the agenda item in which they have an interest.
- The Chair will then request a recommendation from staff, if applicable.
- The Commission will then begin deliberations and project review.
- Any Commission member, except the Chair, may make a motion at any point after an agenda item has been called.

# Cleveland City Planning Commission

## Call to Order and Roll Call

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

December 19, 2025

**Erika Anthony, Chair**

December 19, 2025

**August Fluker, Vice Chair**

**Charles Slife, Council Member**

**Dr. Denise McCray–Scott**

**Andrew Sargeant**

**Anthony Whitfield**

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# Cleveland City Planning Commission

## Approval of Minutes from Previous Meeting

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

December 19, 2025


December 19, 2025

## Meeting Summary: December 5, 2025




### NEAR WEST DESIGN REVIEW

-  NW2025-020 – Witch Doctor Signage


### FAR WEST DESIGN REVIEW

-  FW2025-017 – Dante’s Pizza Signage


### EUCLID CORRIDOR BUCKEYE DESIGN REVIEW

-  EC2025-032 – African Town Retail
-  EC2025-037 – 8514 Carnegie Demolition
-  EC2025-038 – 8302 Carnegie Demolition

### DOWNTOWN/FLATS DESIGN REVIEW

-  DF2023-058 – CC/GPPC: Sequence 1A Public Realm

### SPECIAL PRESENTATIONS – PUBLIC ART

-  CSE2025-045 – E 79th Street RTA Station Artwork





### ADMINISTRATIVE APPROVALS

### SPECIAL PRESENTATIONS – (FOR INFORMATION ONLY)

- North Coast Waterfront Development

### DIRECTOR’S REPORT & ADJOURNMENT

## CPC Ruling:

-  Approved as Presented
-  Approved with Conditions
-  Postponed
-  Failed to Pass

\*To view the full meeting minutes, please contact the Planning Commission Administrator at [erueda@clevelandohio.gov](mailto:erueda@clevelandohio.gov)

# Cleveland City Planning Commission

## Zoning Map Amendments

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

December 19, 2025

**Map Change 2697** – Changing the Use, Height and Area Districts of parcels of land north of Herman Avenue between West 65th Street and West 58th Street; and subjecting an area titled the Site Development Boundary to Section 333.02 of the Cleveland Zoning Code; and attaching the Approved Site Development Plan (Map Change 2697).

December 19, 2025

Presenter: Xavier Bay, City Planner

# Map Change 2697

## City Planning Commission Hearing

December 19, 2025



CITY OF CLEVELAND  
Mayor Justin M. Bibb

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CITY PLANNING COMMISSION

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## **Proposal**

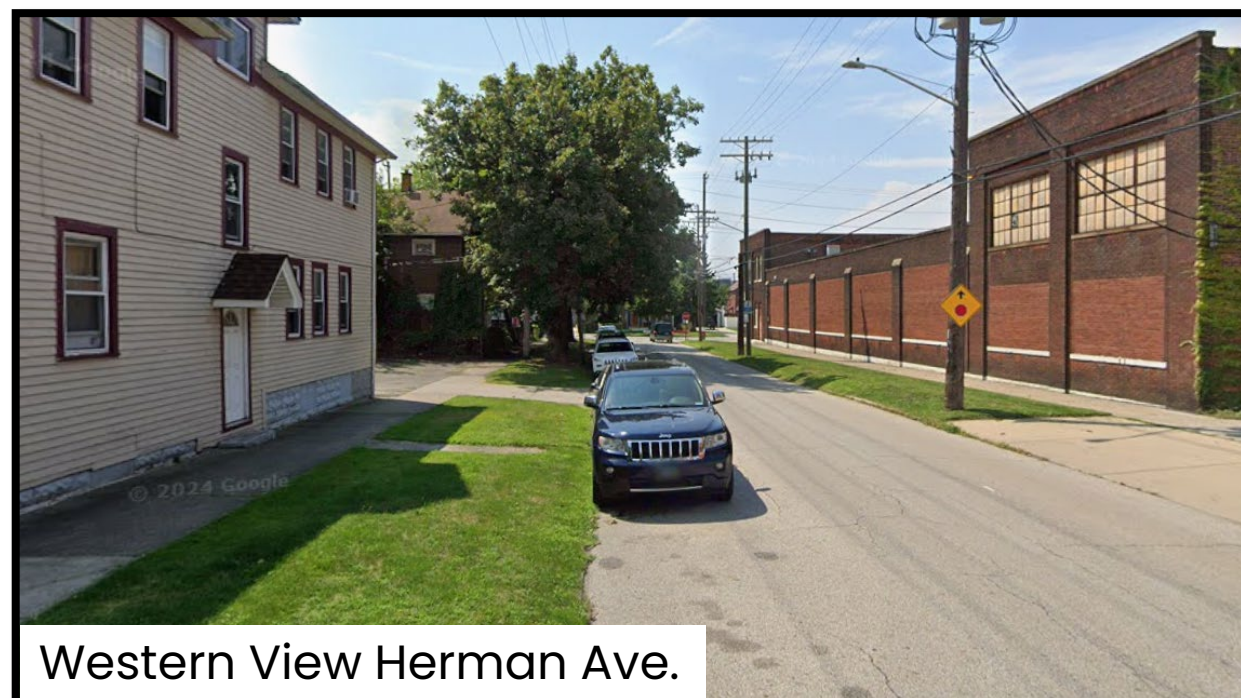
Changing the Use, Height and Area Districts of parcels of land north of Herman Avenue between West 65<sup>th</sup> Street and West 58<sup>th</sup> Street; and subjecting an area titled the Site Development Boundary to Section 333.02 of the Cleveland Zoning Code; and attaching the Approved Site Development Plan.

## **Proposal**

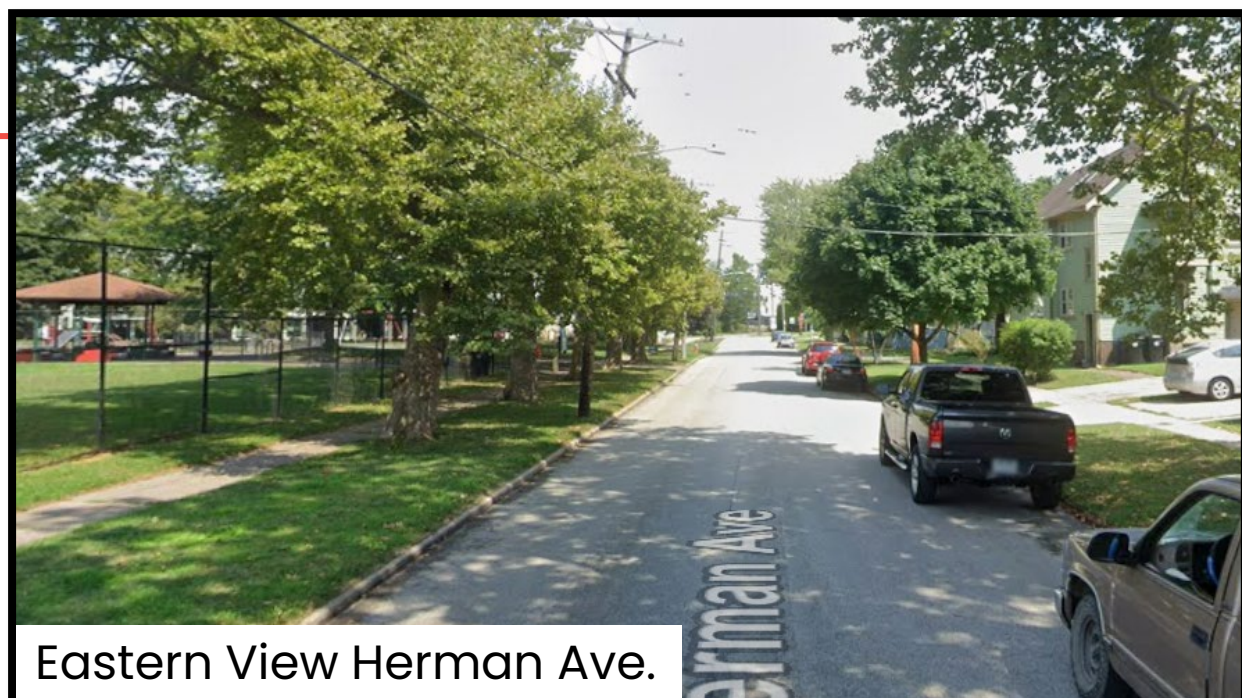
- **To allow the proposed development to move forward as planned.**
    - **To promote a diversity in housing typologies**
    - **To support transit and alternative mobility choices**
-

# Existing Conditions

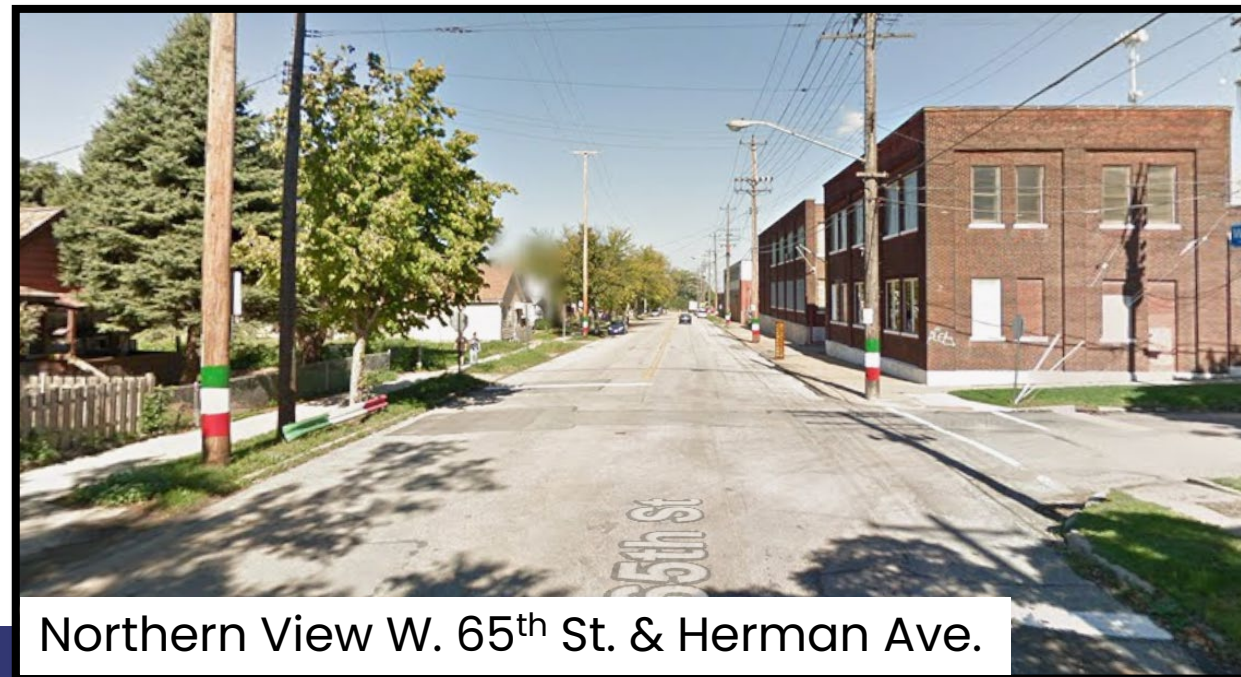




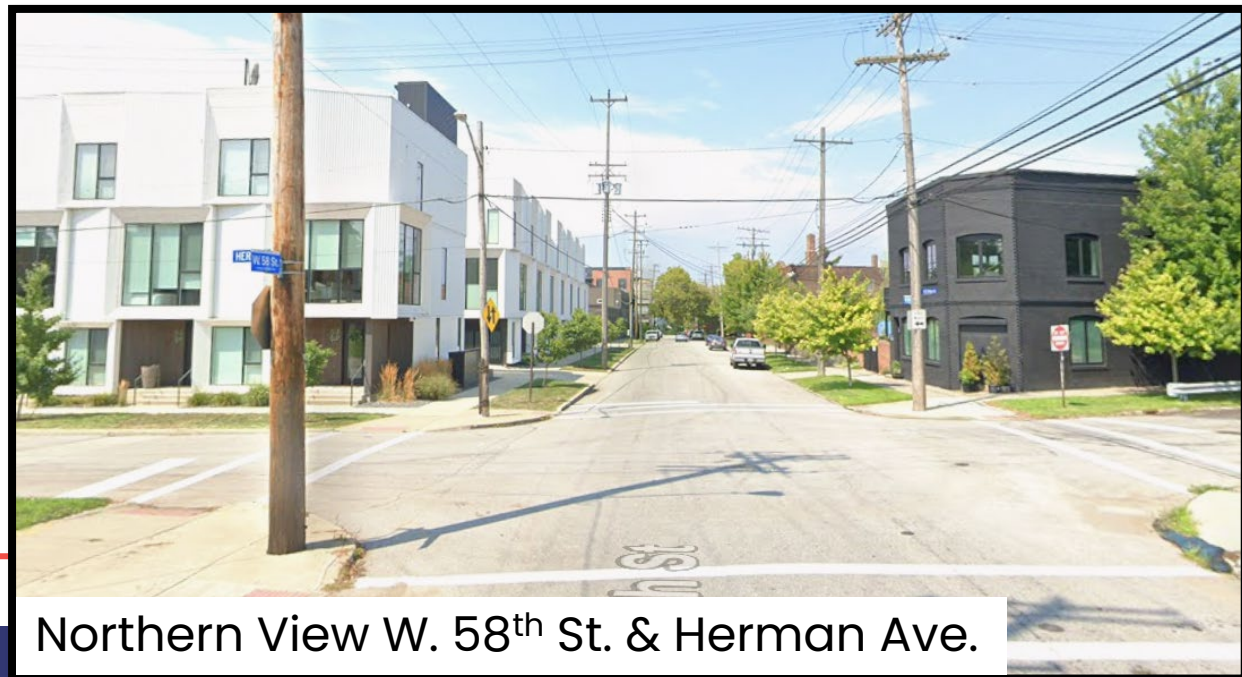
Western View Herman Ave.



Eastern View Herman Ave.



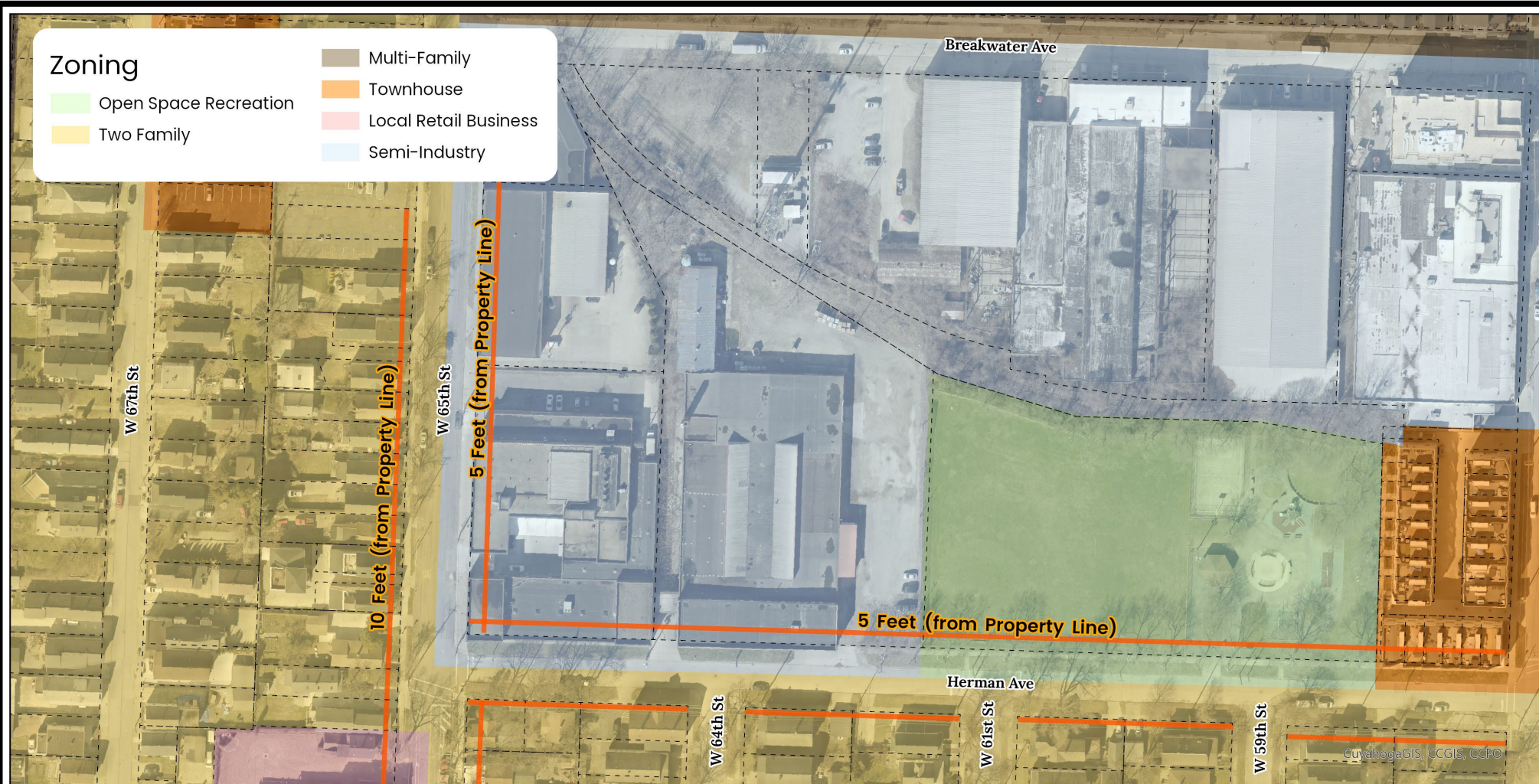
Northern View W. 65th St. & Herman Ave.



Northern View W. 58th St. & Herman Ave.

## Existing Zoning

- Semi Industry-G2
- Transit Oriented Development Overlay



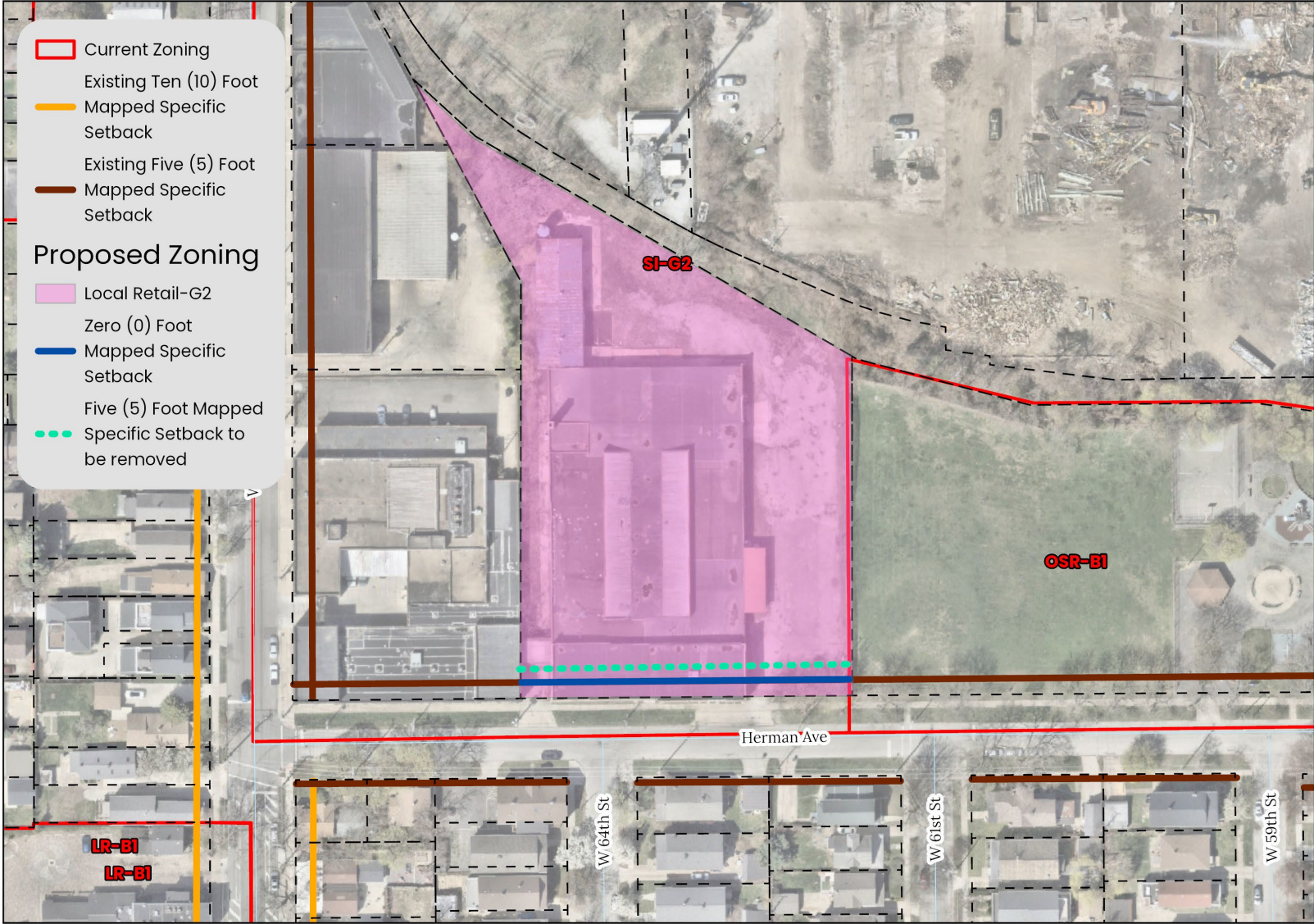
### Zoning

- Open Space Recreation
- Two Family
- Multi-Family
- Townhouse
- Local Retail Business
- Semi-Industry

## Existing Zoning



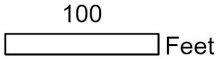
# Proposed Zoning



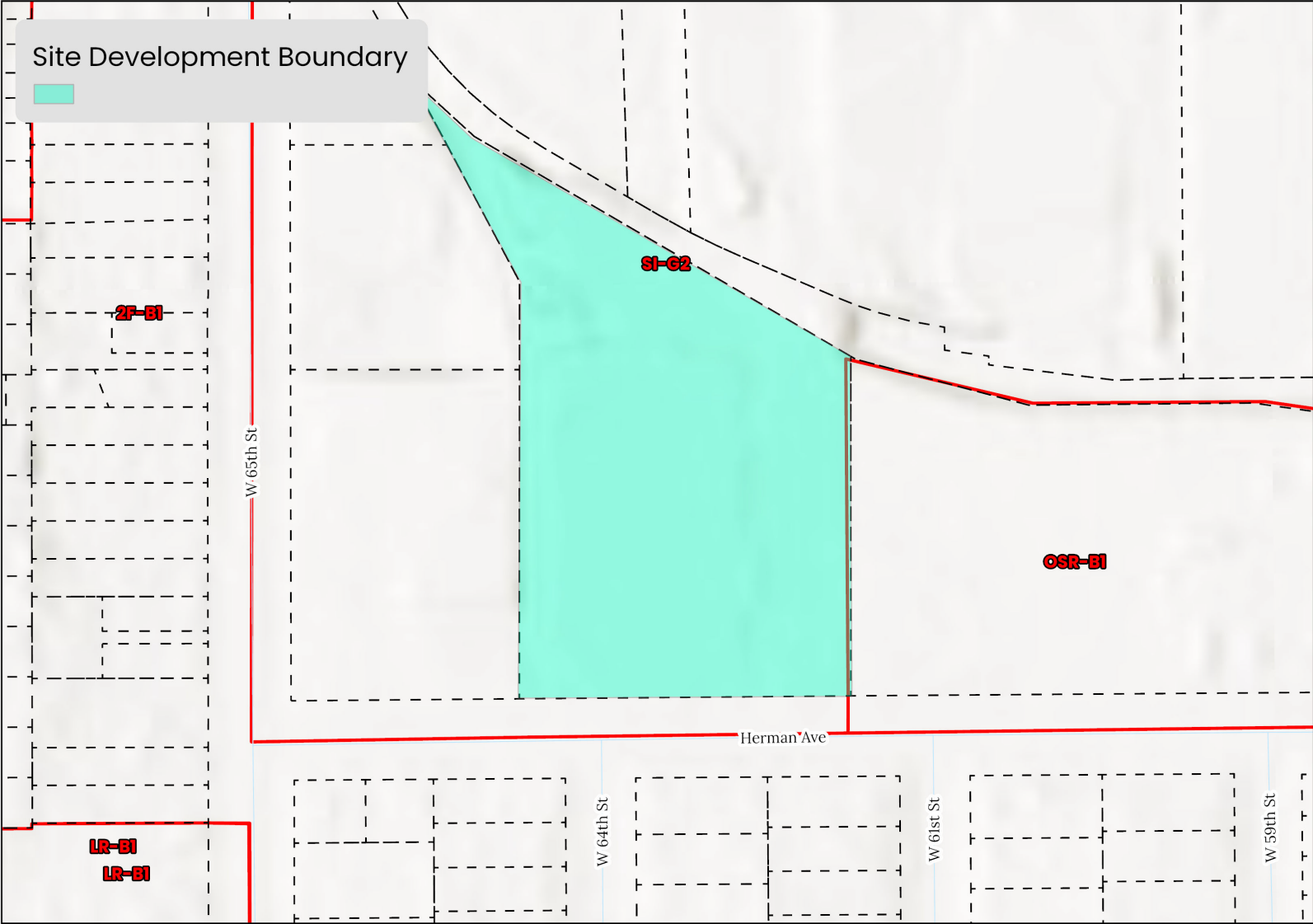
Date: 12/01/2025

## Map Change 2697

Changing the Use, Height and Area Districts of parcels of land north of Herman Avenue between West 65th Street and West 58th Street; and subjecting an area titled the Site Development Boundary to Section 333.02 of the Cleveland Zoning Code; and attaching the Approved Site Development Plan.



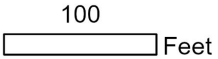
# Site Development Boundary

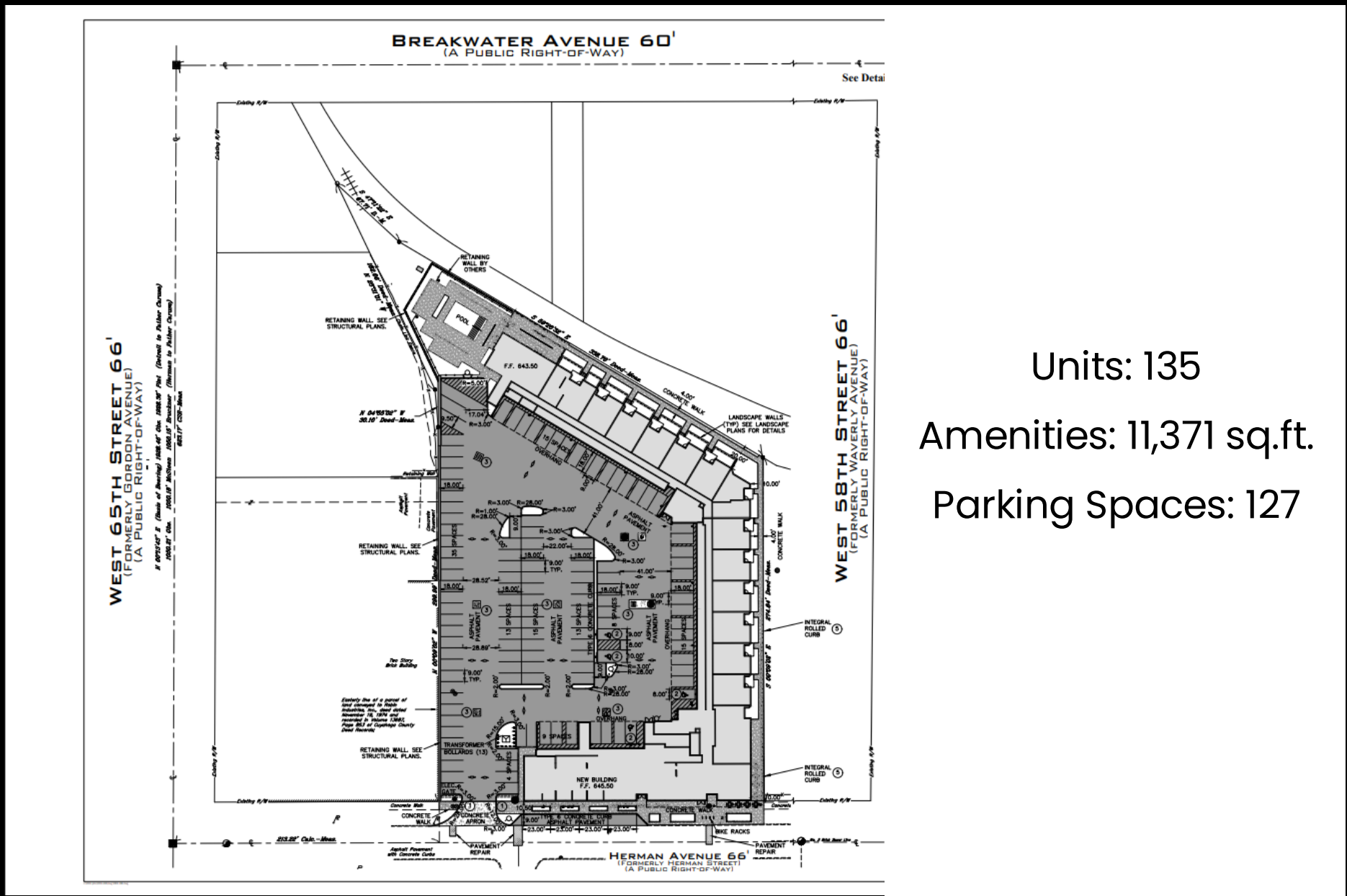


Date: 12/01/2025

## Site Development Boundary

Site Development Boundary for Canopy at Herman Park Plan Specific Rezoning





Units: 135  
Amenities: 11,371 sq.ft.  
Parking Spaces: 127

# Elevations



SOUTH ELEVATION

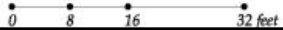


EAST ELEVATION

*Herman Ave - Soap Site*  
Cleveland, OH

## EXTERIOR ELEVATIONS

DIMITARCHITECTS  
architecture + interiors + urban design



# Elevations



NORTHWEST ELEVATION



NORTHEAST ELEVATION

*Herman Ave - Soap Site*  
Cleveland, OH

## EXTERIOR ELEVATIONS

DIMITARCHITECTS  
architecture + interiors + urban design

0 8 16 32 feet

# Elevations



NORTH ELEVATION



SOUTHWEST ELEVATION

*Herman Ave - Soap Site*  
Cleveland, OH

## EXTERIOR ELEVATIONS

DIMIT ARCHITECTS  
architecture + interiors + urban design



# Elevations

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# Elevations

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# Elevations

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# Transit Demand Management

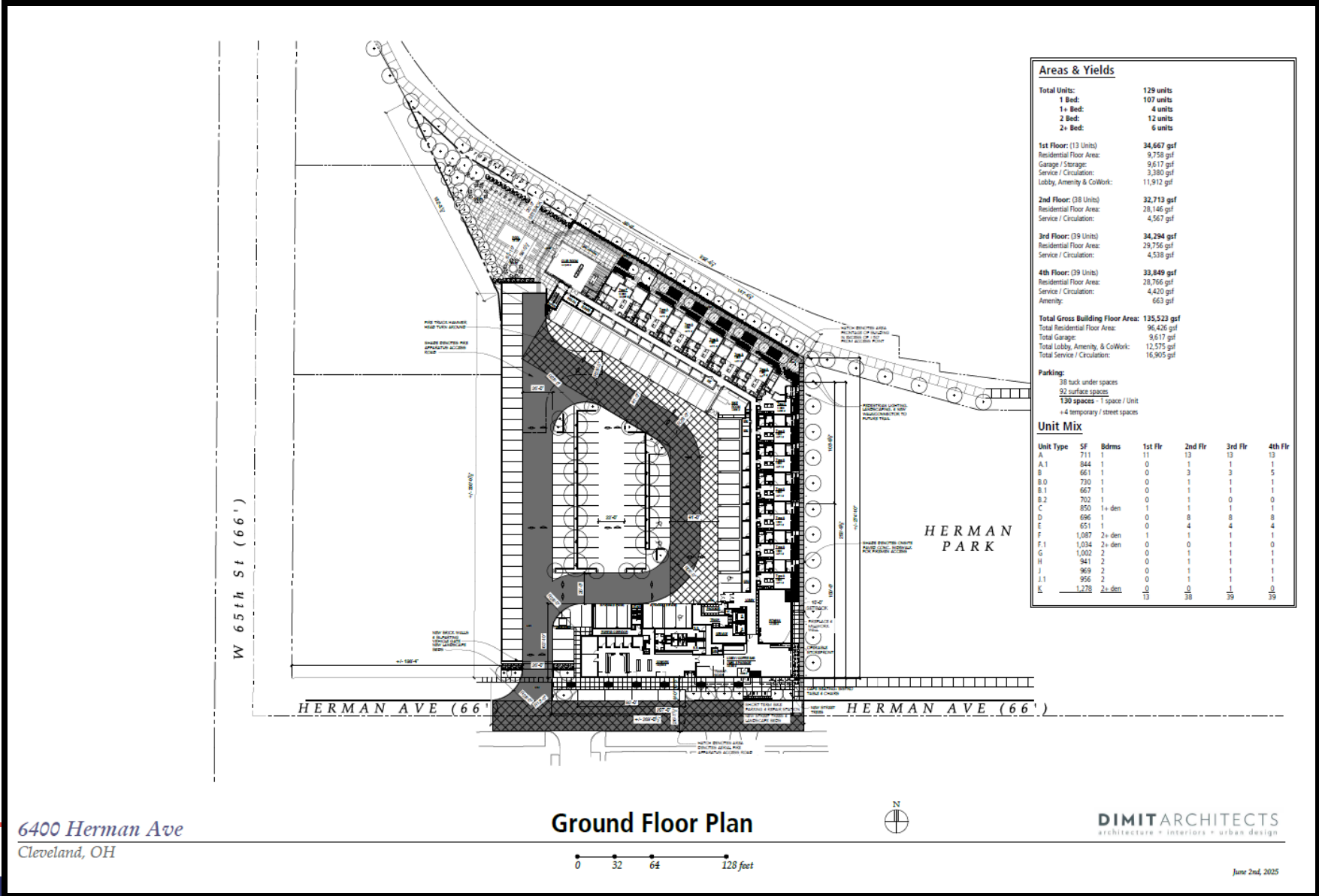
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- Set of strategies aimed at maximizing traveler choices.
  - Focuses on understanding how people make transportation decisions and helping people use infrastructure that is in place for transit, ridesharing, walking, biking and other modes of active transportation
  - Provided a list of choices that have been identified as highest priorities that offer the greatest amount of opportunity and benefit to residents and visitors alike
  - Current Site Plan Specific Legislation requires development to adopt and maintain prescriptive TDM Strategies
-

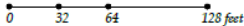
# Required TDM Strategies

Units: 135  
Amenities: 11,371 sq.ft.  
Parking Spaces: 127



6400 Herman Ave  
Cleveland, OH

Ground Floor Plan



DIMITARCHITECTS  
architecture + interiors + urban design

Will be exempt from requirements of §349.04 – as it relates to automobile parking, so long as property owner continuously adopts and maintains the TDM Strategies as adopted by CPC, and attached hereto.

## Transit Options

- Will provide kiosk or tv monitor displaying transit information in the lobby.

## Car & Parking Options

- Residents experience cost savings if opt not to rent a parking space(s)
- 4 short term parking spaces along Herman Ave. to facilitate shared transportation pickups, deliveries, and patronage of the commercial businesses.

## Parking and Delivery

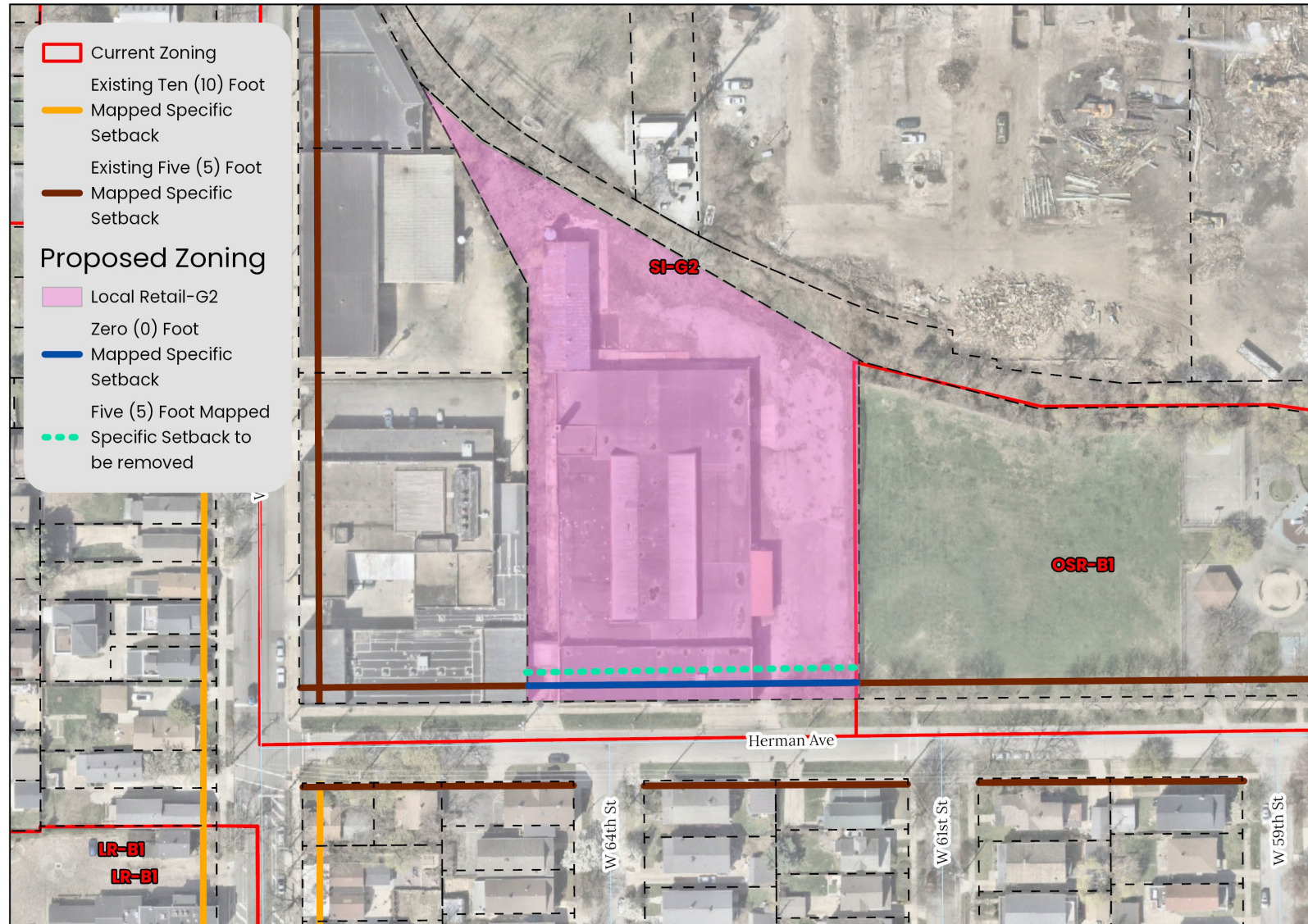
- Central parking location and multiple entrances for the public.
  - Designated delivery and package area including cold storage.
-

## Active Transportation –

- Will work with City of Cleveland to improve the streetscape along Herman Ave. including refreshed and widened sidewalks, street landscaping and furnishing, and buried power lines that are currently overhead.
- 5 bicycle parking stalls as well as a public bicycle repair station to be installed along Herman Ave.
- 50 resident indoor bicycle storage/parking spaces and family repair station.

## Family

- Family-focused amenities such as multi-bedroom designs, shared lounge area, shallow pool, on-site co-working solutions, health facilities, and immediate access to adjacent public parks.
-



**Current Zoning**

- Existing Ten (10) Foot Mapped Specific Setback
- Existing Five (5) Foot Mapped Specific Setback

**Proposed Zoning**

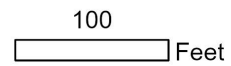
- Local Retail-G2
- Zero (0) Foot Mapped Specific Setback
- Five (5) Foot Mapped Specific Setback to be removed



Date: 12/01/2025

### Map Change 2697

Changing the Use, Height and Area Districts of parcels of land north of Herman Avenue between West 65th Street and West 58th Street; and subjecting an area titled the Site Development Boundary to Section 333.02 of the Cleveland Zoning Code; and attaching the Approved Site Development Plan.



## Map Change 2697 – 6400 Herman Ave Development (FW2024-012)

December 19, 2025

### Design Review Advisory Committee:

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CPC granted final approval for the 6400 Herman Ave. Development (FW2024-012) on 12/6/24 with the condition that they work with staff on finalizing site amenities.

### City Planning Staff:

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Planning staff is in support of this site-specific map change from Semi-Industry G2 to Local Retail G2 and establishing a 0' mapped specific setback, which will allow a diversity of housing options with a pedestrian-friendly streetscape.

# Cleveland City Planning Commission

## Conditional Uses

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

December 19, 2025

## **Pedestrian Retail Overlay** – Camelot Bakery

December 19, 2025

Project Address: 10401 Madison Avenue

Presenter: Xavier Bay, City Planner

Project Representative: Joe Moore, Meraki Architects

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**Ward 15: Council Member Spencer**

**SPA: Cudell**

**10401 Madison Ave.**

**Conditional Use**

**City Planning Commission Hearing**

**December 19, 2025**



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

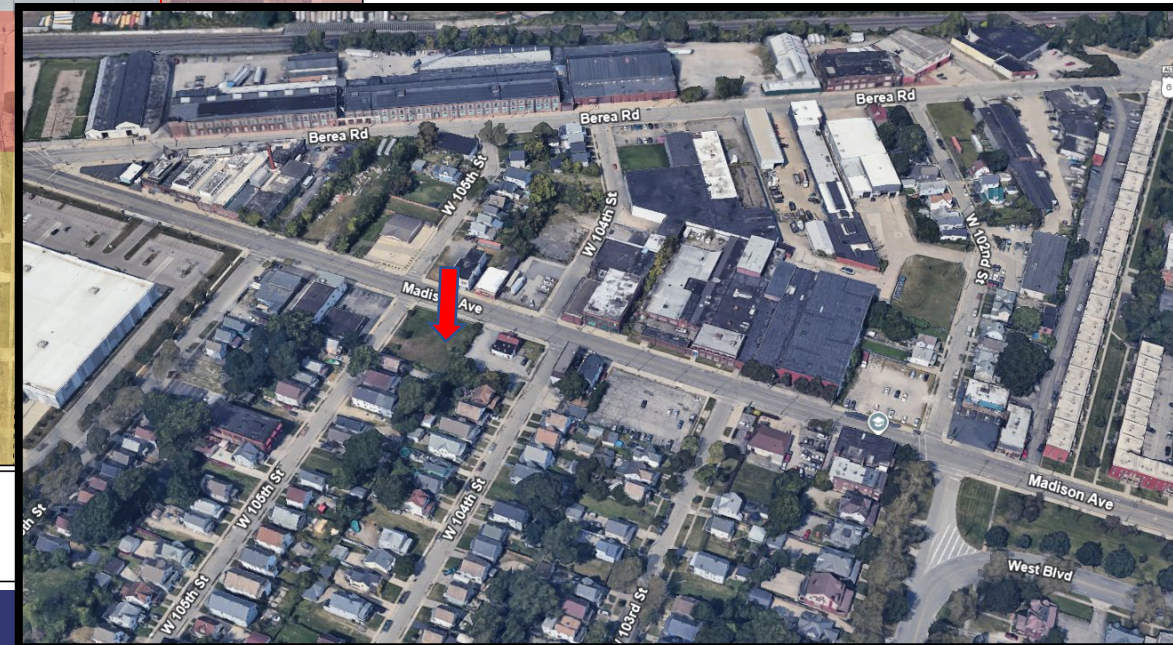
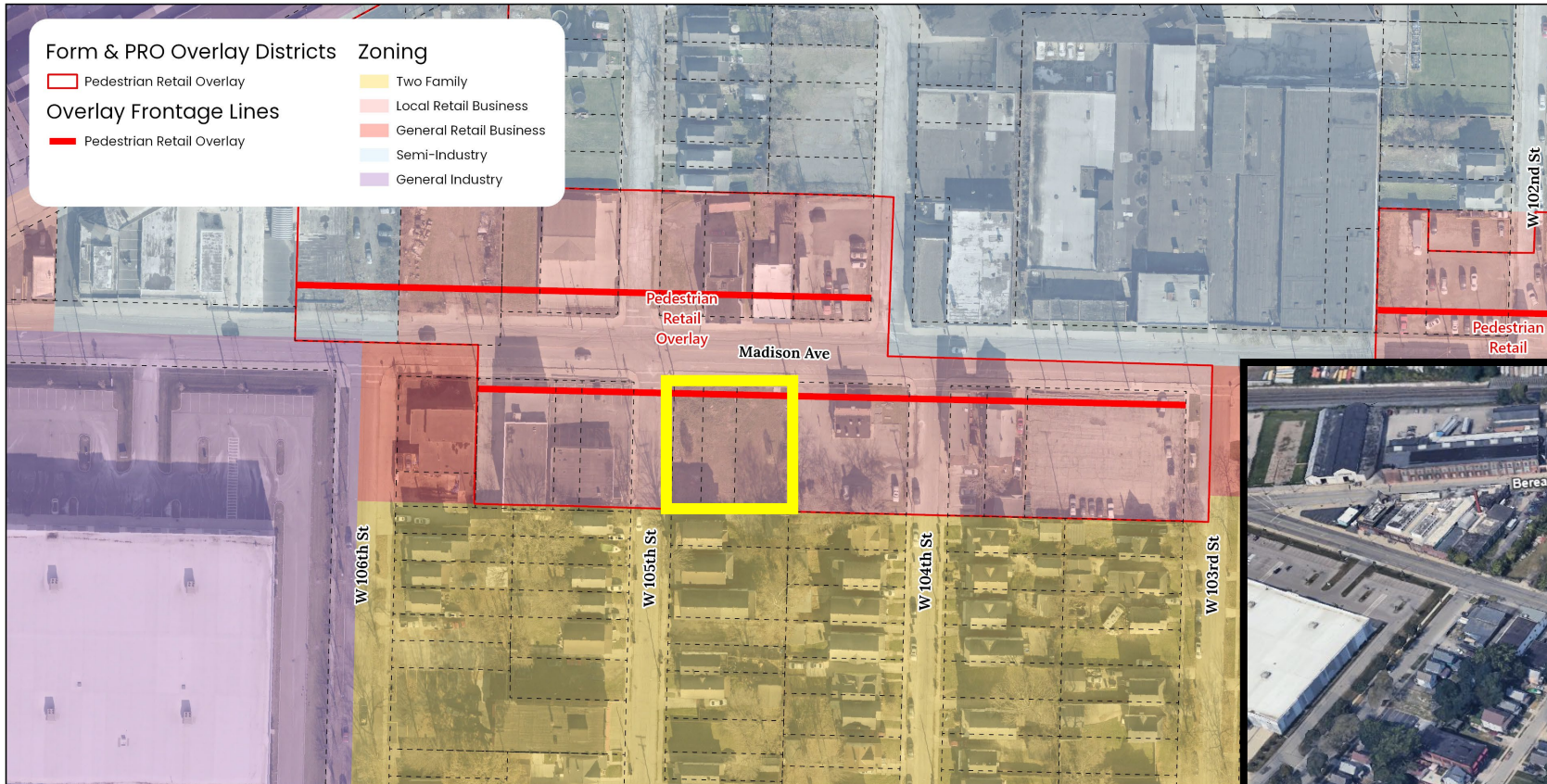
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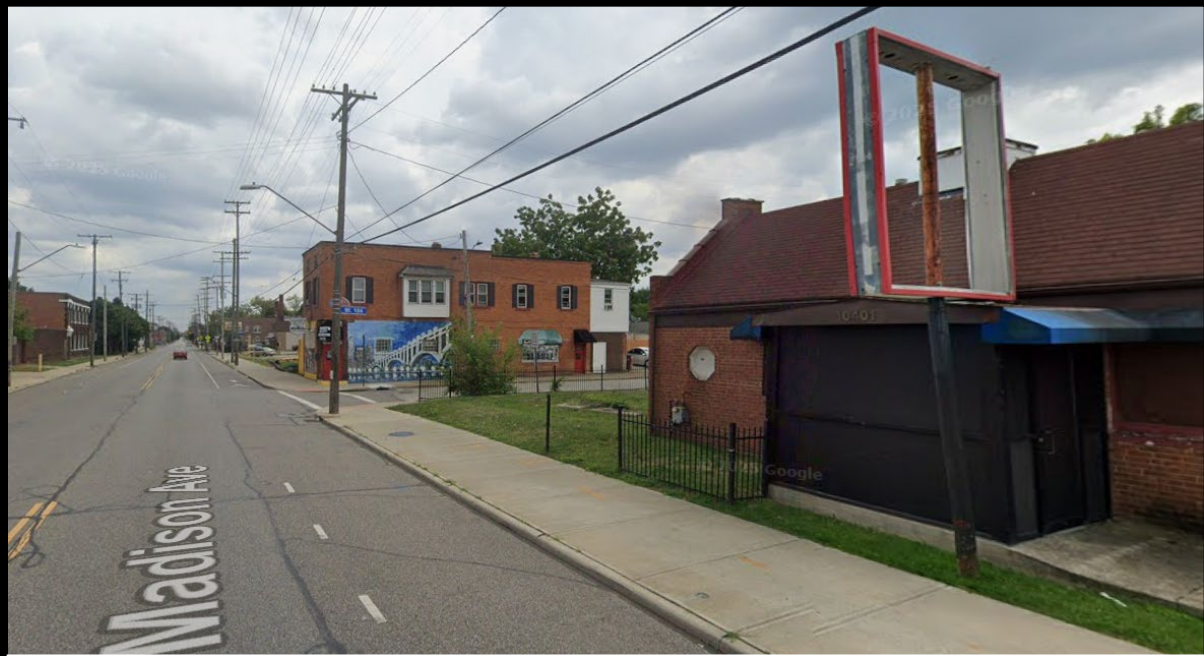
**CITY PLANNING COMMISSION**

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## Proposal

To erect a new 9,976 sq.ft. wholesale bakery.





**Southeast View Madison Ave.**



**Southwest View Madison Ave. & W. 105th St.**

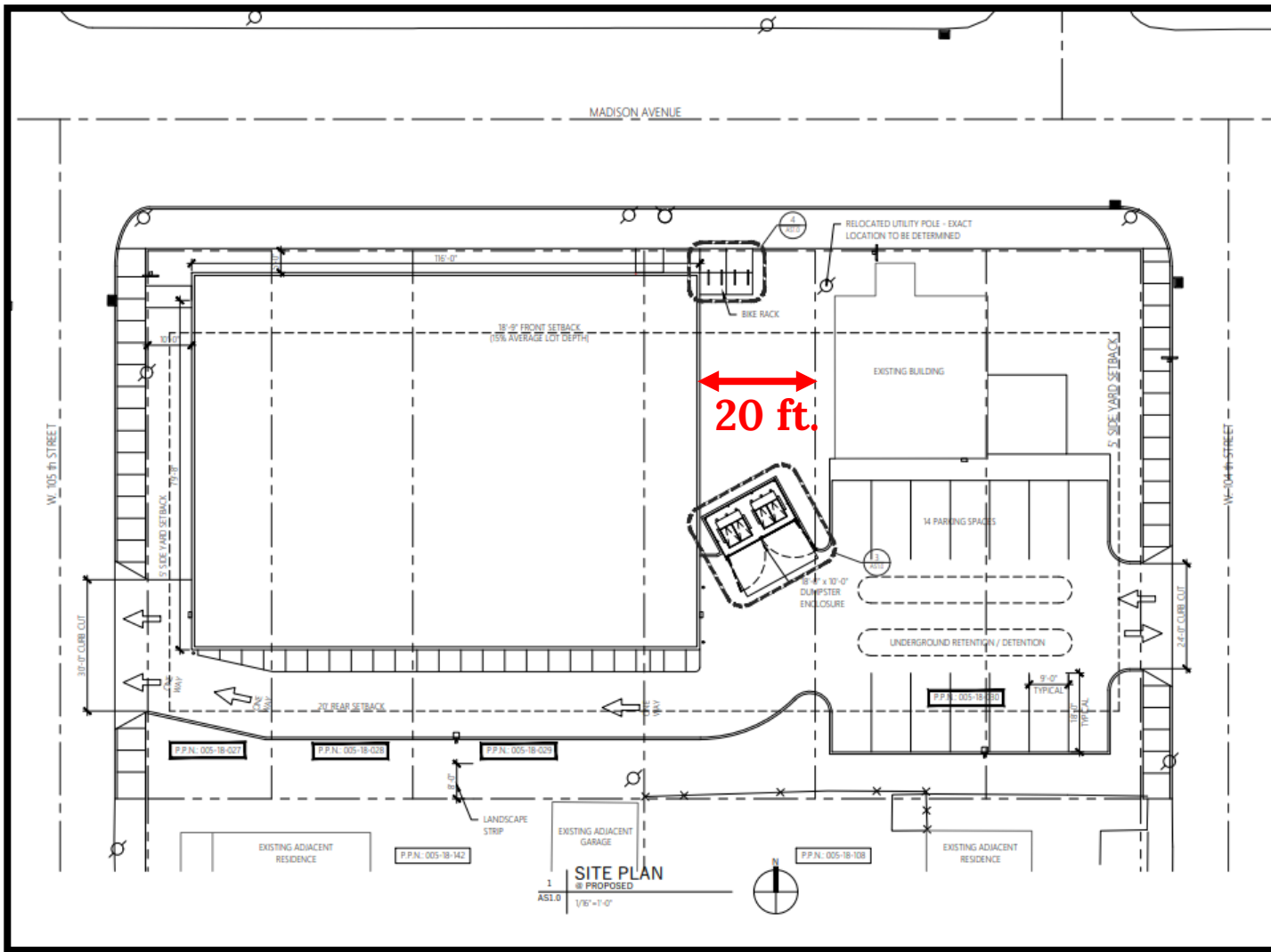


**Southern View W. 104th St.**



**Southwestern View W. 105th St.**

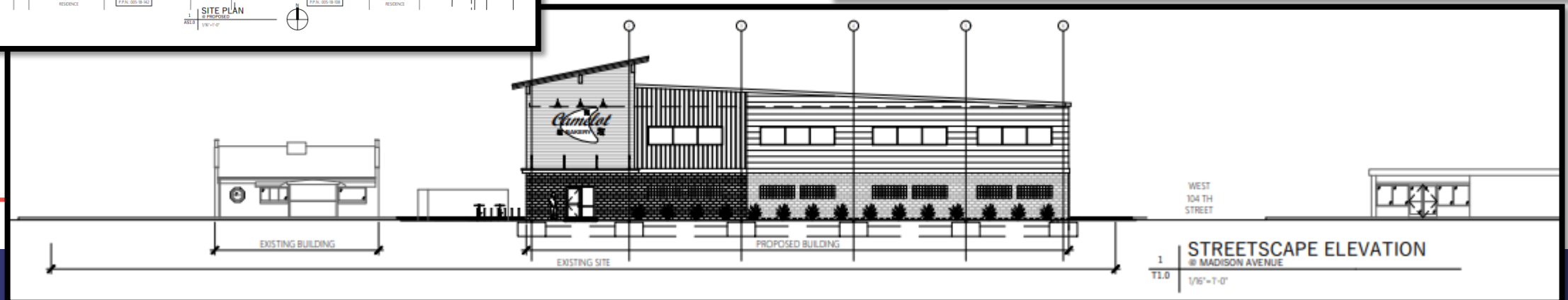
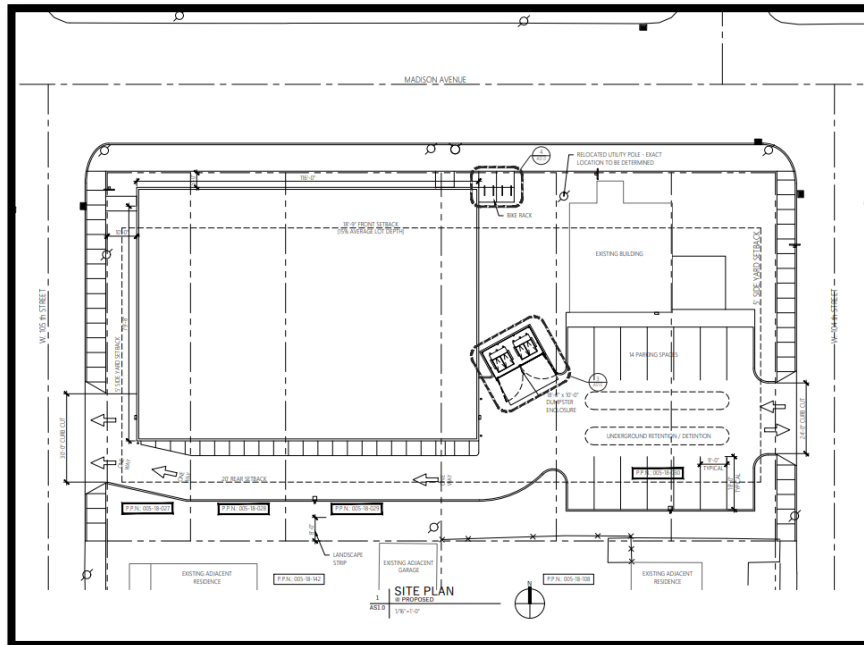
# Pedestrian Retail Overlay Conditional Use & Criteria (343.23 (e) (2) (E))



**E. A building with an interior side yard more than four (4) feet in width within forty (40) feet of a Pedestrian Retail Frontage.**

## Pedestrian Retail Overlay Conditional Uses

E.) Interior side yard greater than four (4) feet.



# Cleveland City Planning Commission

## Far West Design Review

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

December 19, 2025

## **FW2025-15** – Camelot Bakery

December 19, 2025

Project Address: 10401 Madison Avenue

Type: New Construction

Project Representative: Joe Moore, Meraki Architects

Approval: Final

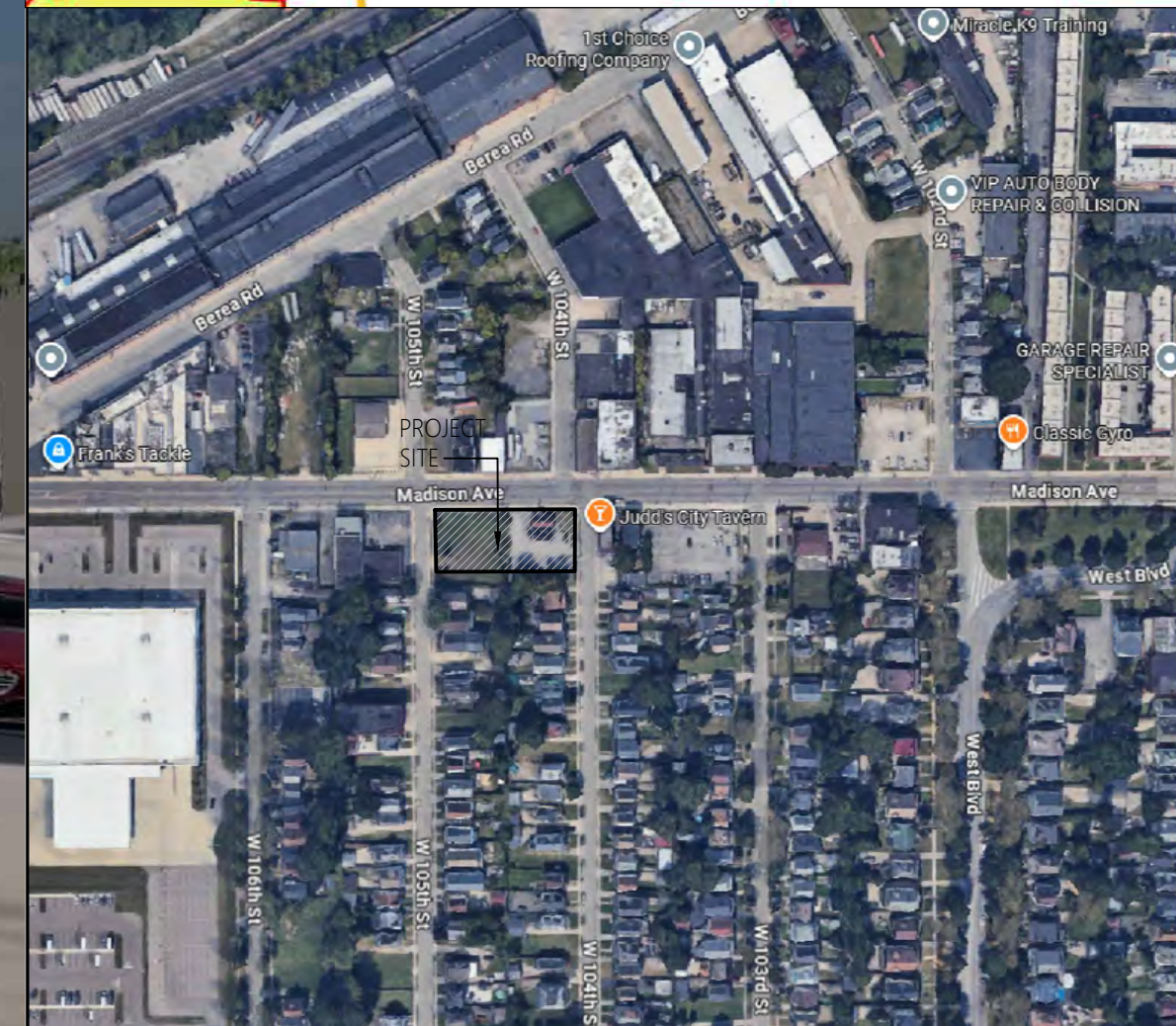
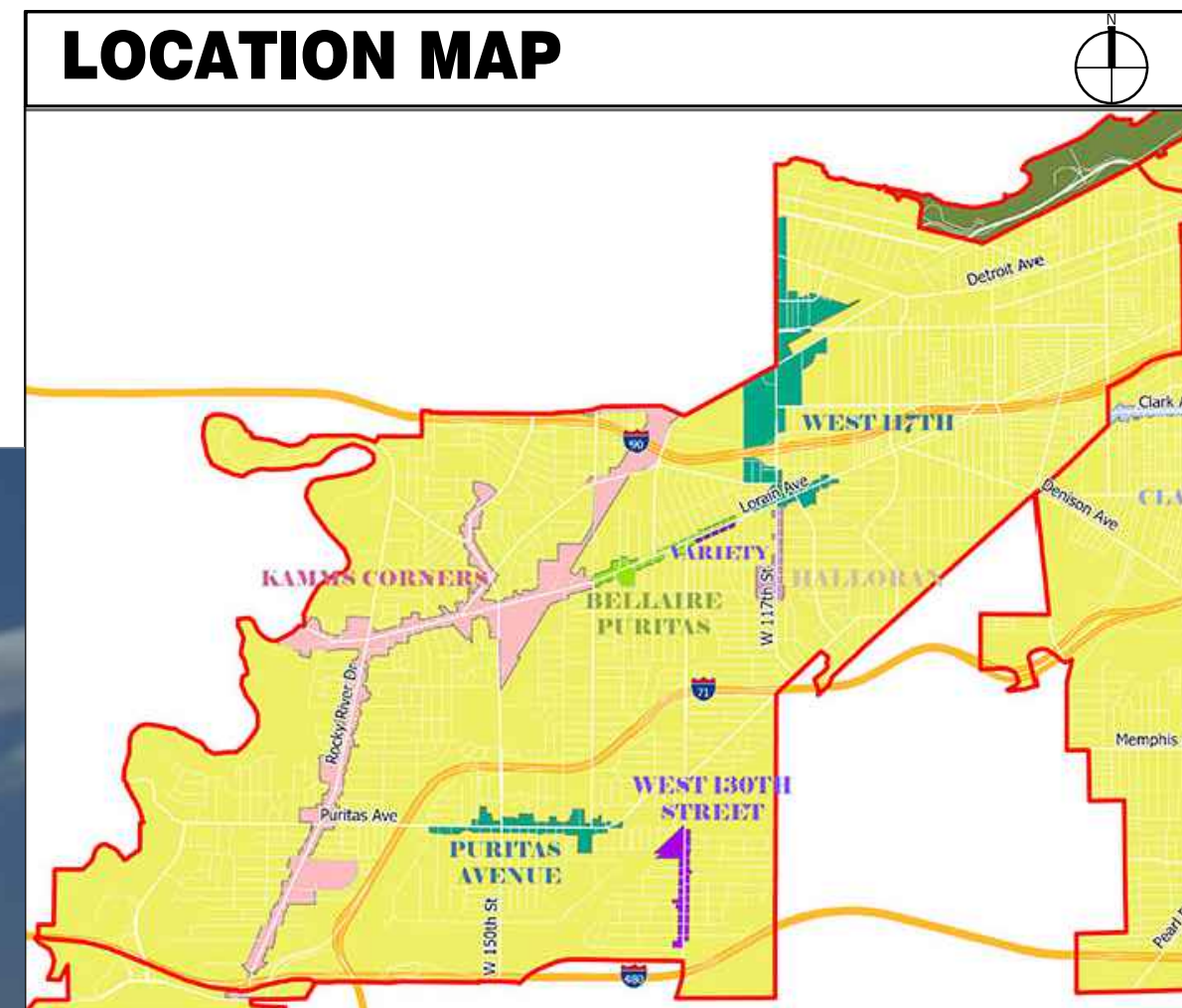
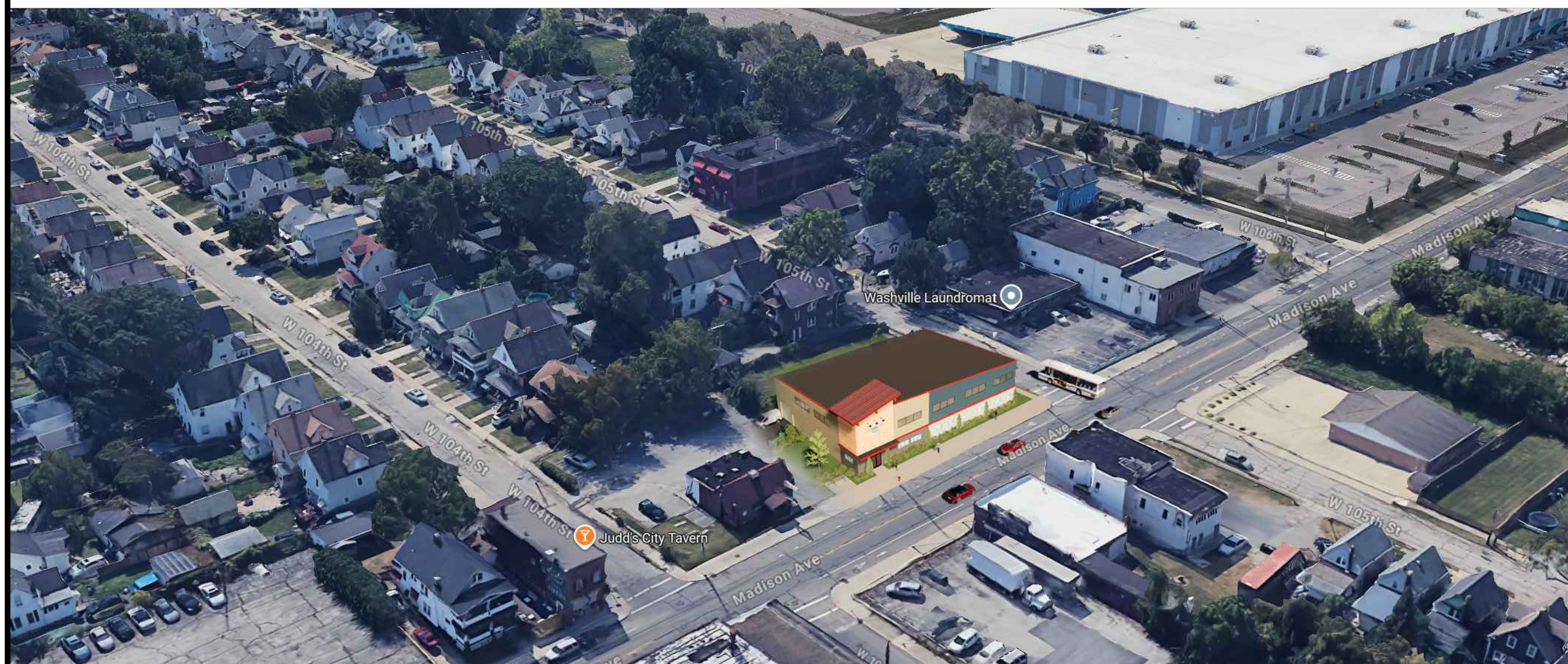
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**Ward 15: Council Member Spencer**

**SPA: Cudell**

# CAMELOT BAKERY

10401 MADISON AVENUE CLEVELAND, OH 44102



### SHEET INDEX

SHEET NO.	SHEET DESCRIPTION	ISSUE DATE	REV. DATE
T1.0	COVER SHEET, CODE DATA, SITE INFO, STREETScape ELEVATION	10-08-25	12-10-25
AS1.0	SITE CONTEXT PLAN	10-08-25	11-12-25
L1.0	LANDSCAPE PLAN & DETAILS		11-12-25
A1.0	PROPOSED FLOOR PLAN	10-08-25	11-12-25
A2.0	PROPOSED ELEVATIONS / EXTERIOR FINISH SCHEDULE	10-08-25	12-10-25
A2.1	MATERIAL SAMPLE BOARD		12-10-25
ES1.1	SITE PHOTOMETRIC PLAN		11-12-25
ES1.2	SITE ELECTRICAL DETAILS, SCHEDULES & LEGENDS		11-12-25
/	EXTERIOR LIGHTING CUT SHEETS		12-10-25
/	BIKE RACK CUT SHEET		12-10-25

### CODE DATA

**EXISTING SITE INFO:**  
 PERMANENT PARCEL NO.: 005-18-0027, 005-18-2028, 005-18-0029 & 005-18-030  
 (IF AVAILABLE, IF NOT AVAILABLE, DELETE FROM CODE DATA)  
 LEGAL DESCRIPTION: LR-C2 (LOCAL RETAIL BUSINESS DISTRICT (PEDESTRIAN RETAIL OVERLAY DISTRICT))  
 ZONING DISTRICT: LR-C2 (LOCAL RETAIL BUSINESS DISTRICT (PEDESTRIAN RETAIL OVERLAY DISTRICT))

**EXISTING LAND USE:** INDUSTRIAL  
**LOT SIZE (EXISTING):** 28,323 SQ. FT. (0.650 ACRES)

**YARD REGULATIONS (0000.00):**

	REQUIRED	PROPOSED
FRONT:	00'	00'
SIDE:	00'	00'
REAR:	00'	00'

**PARKING SETBACKS (349.05):**  
 All such parking spaces shall be located behind the setback building line. No such parking space shall be located within ten (10) feet of any wall of a residential building or structure if such wall contains a ground floor opening designed to provide light or ventilation for such building or structure.

	EXISTING BLDG.	PROPOSED BLDG.
FRONT:	5'	5'
SIDE:	00'	00'
REAR:	5'	5'

**LOT COVERAGE:**

	EXISTING BLDG.	PROPOSED BLDG.
	4.8% (1,358 S.F.)	35.2% (9,976 S.F.)

**MAXIMUM HEIGHT (353.00):** 60 FEET      25'-0" (+/-)

**PARKING REQUIREMENTS (349.04):**  
 WHOLESALE ESTABLISHMENTS: 1 SPACE FOR EACH 1,000 SQUARE FEET OF GROSS AREA  
 9,976 S.F. / 1,000 = 10 SPACES REQUIRED  
 18 SPACES PROVIDED (INCLUDING 4 INTERIOR LOADING SPACES)

**PROPOSED BUILDING INFO:**  
 GOVERNING CODES: O.B.C., OHIO BUILDING CODE (2024 EDITION)  
 O.P.C., OHIO PLUMBING CODE (2024 EDITION)  
 O.M.C., OHIO MECHANICAL CODE (2024 EDITION)  
 O.F.C., OHIO FIRE CODE (2024 EDITION)  
 N.E.C., NATIONAL ELECTRICAL CODE (2023 EDITION)  
 ICC A117.1 (ANSI) ACCESSIBILITY GUIDELINES (2009 EDITION)

**USE GROUP (OBC 304.1 & 311.2):** USE GROUP F-1 / MODERATE HAZARD FACTORY INDUSTRIAL  
**CONSTRUCTION TYPE (602.2):** TYPE II-B  
**ALLOWABLE HEIGHT (OBC TABLE 504.3 & 504.4):** 2 STORIES / 55'  
**ACTUAL HEIGHT:** 1 STORIES / 25' (+/-)  
**ALLOWABLE AREA (OBC TABLE 506.2):** 15,500 S.F.

**ACTUAL AREA:** 9,976 S.F.

**FIRE RESISTANCE RATING (TABLE 601):**

PRIMARY STRUCTURAL FRAME:	0 HOURS
EXTERIOR BEARING WALLS:	0 HOURS
INTERIOR BEARING WALLS:	0 HOURS
NON-BEARING EXTERIOR WALLS & PARTITIONS:	0 HOURS (PER TABLE 705.5)
NON-BEARING INTERIOR WALLS & PARTITIONS:	0 HOURS
FLOOR CONSTRUCTION:	0 HOURS
ROOF CONSTRUCTION:	0 HOURS

**FIRE SEPARATION DISTANCE (TABLE 705.5):**

LESS THAN 5 FEET:	2 HOUR
GREATER THAN 5 FEET, LESS THAN 10 FEET:	1 HOUR
GREATER OR EQUAL TO 10 FEET, LESS THAN 30 FEET:	0 HOUR
GREATER OR EQUAL TO 30 FEET:	0 HOURS

**OCCUPANCY (OBC TABLE 1004.5):**

INDUSTRIAL AREAS:	100 GROSS PER OCCUPANT (2,888 S.F.)	29 OCC.
KITCHENS (COMMERCIAL):	200 GROSS PER OCCUPANT (4,060 S.F.)	21 OCC.
STORAGE / WAREHOUSE:	500 GROSS PER OCCUPANT (8,028 S.F.)	7 OCC.
<b>OVERALL AREA (NET):</b>	<b>9,976 S.F.</b>	<b>57 OCC.</b>



SEAL:

A PROJECT FOR:

NEW BUILDING FOR:  
 CAMELOT BAKERY  
 10401 MADISON AVENUE  
 CLEVELAND, OH 44102

**REVISIONS:**

#	DESCRIPTION	DATE
1	P.C. / FINAL APPRO.	12-10-25

Project No.: 25031  
 Drawn By: MJS  
 Reviewed By: RJJ  
 Scale: AS NOTED  
 Date: 08-02-2025

Sheet Title:

ELEVATIONS

Sheet #:

T1.0

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SEAL:

A PROJECT FOR:

NEW BUILDING FOR:  
CAMELOT BAKERY  
10401 MADISON AVENUE  
CLEVELAND, OH 44102

REVISIONS:

#	DESCRIPTION	DATE
P.C. / FINAL APPRO		12-10-25

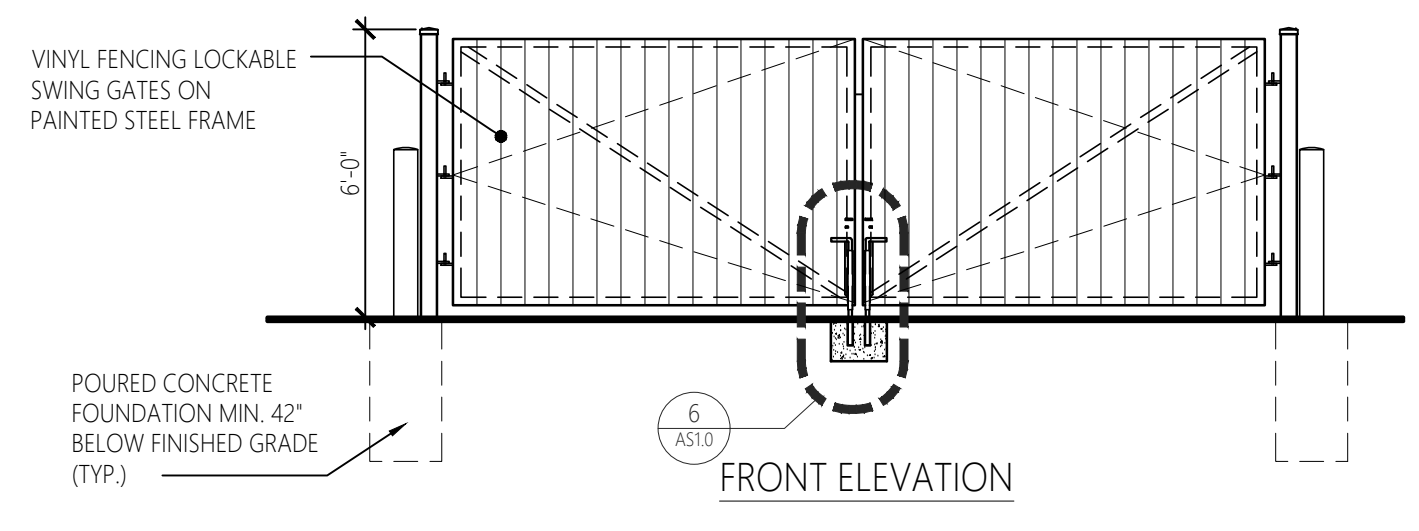
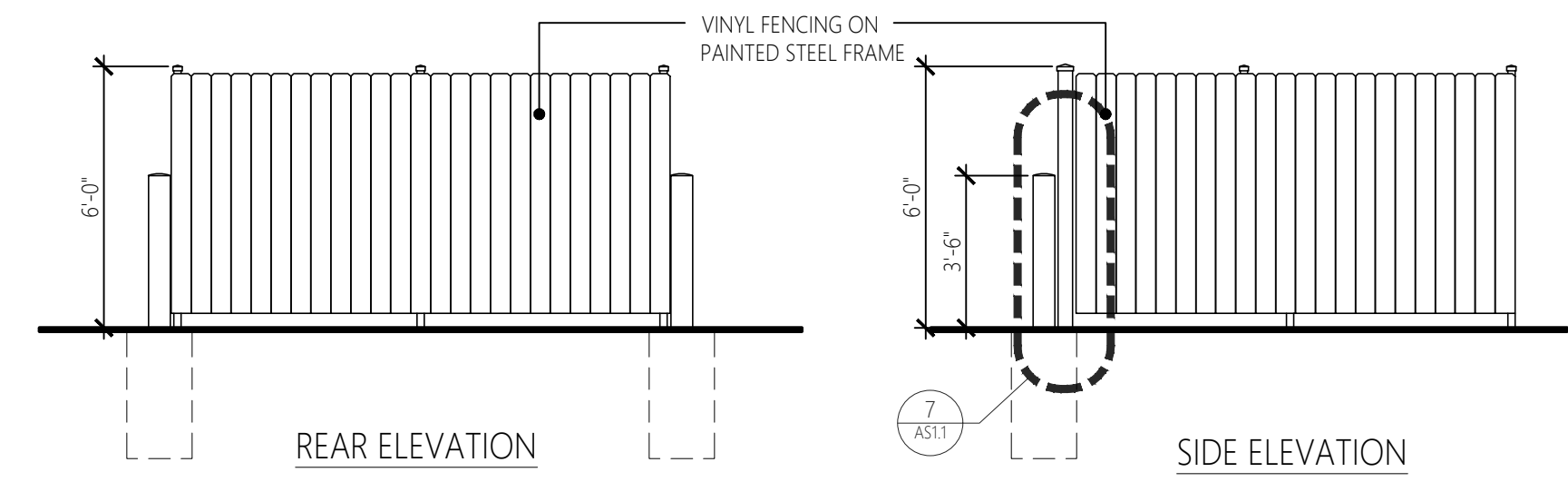
Project No.: 25031  
Drawn By: MJS  
Reviewed By: RJJ  
Scale: AS NOTED  
Date: 08-02-2025

Sheet Title:

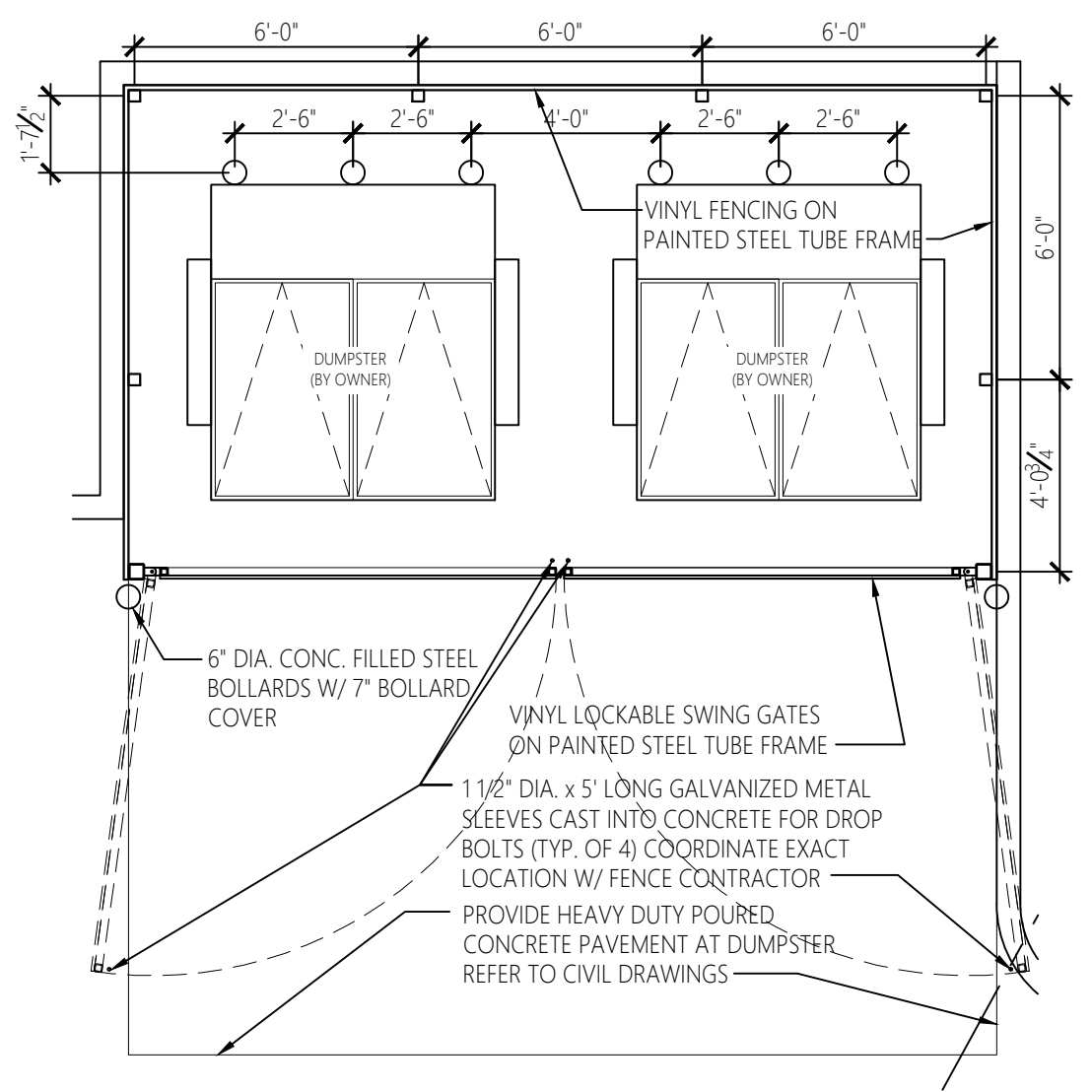
SITE  
CONTEXT  
PLAN

Sheet #:

AS1.0

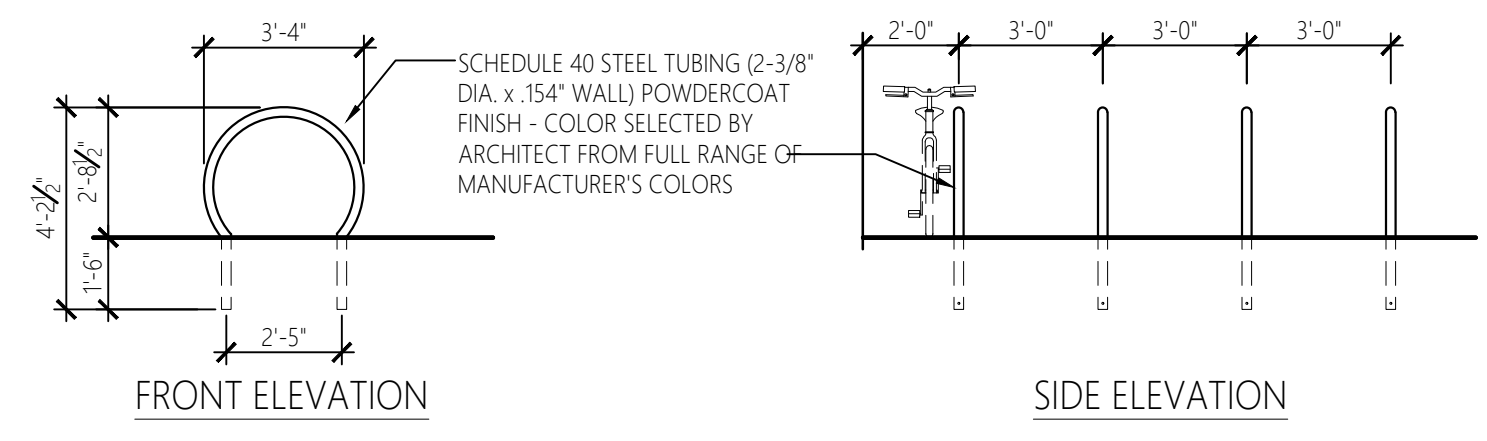


4 ELEVATIONS @ DUMPSTER ENCLOSURE  
AS1.0 1/4"=1'-0"

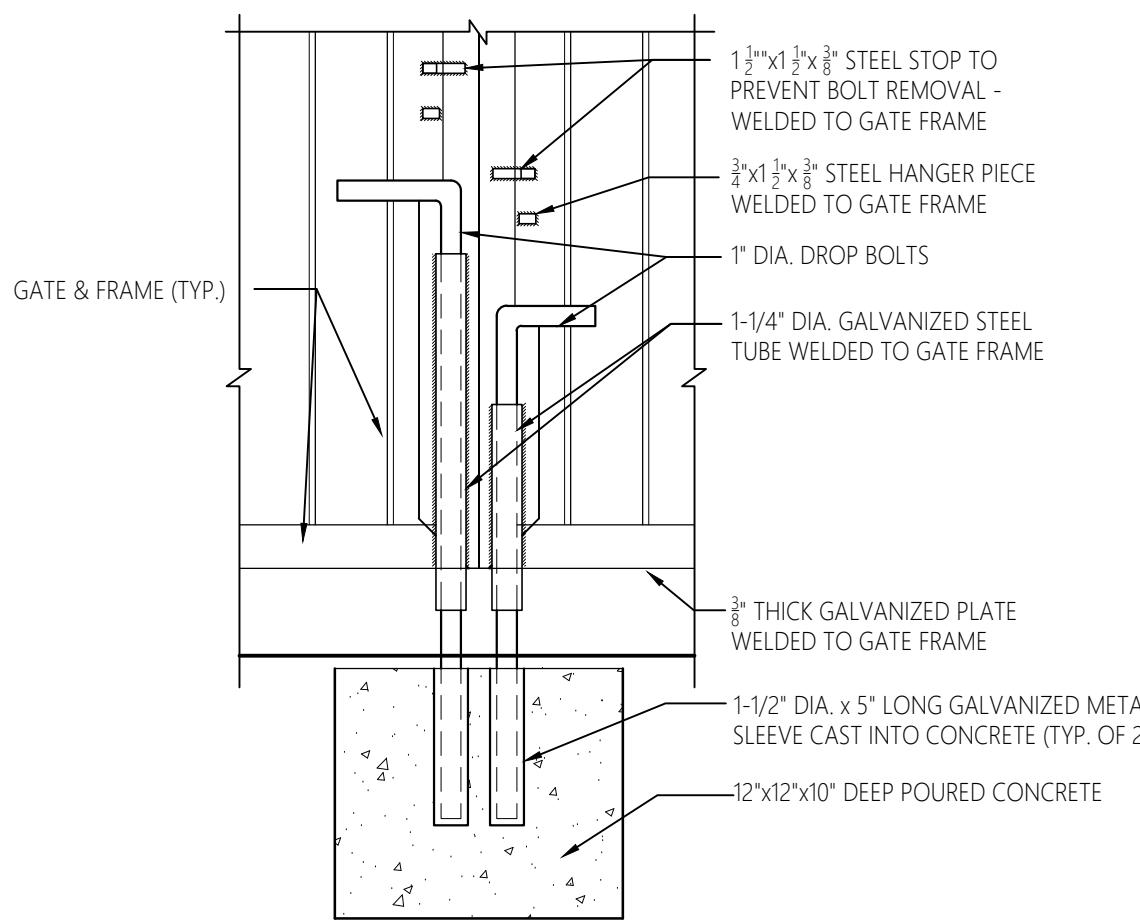


3 PLAN DETAIL TRASH ENCLOSURE  
AS1.0 1/4"=1'-0"

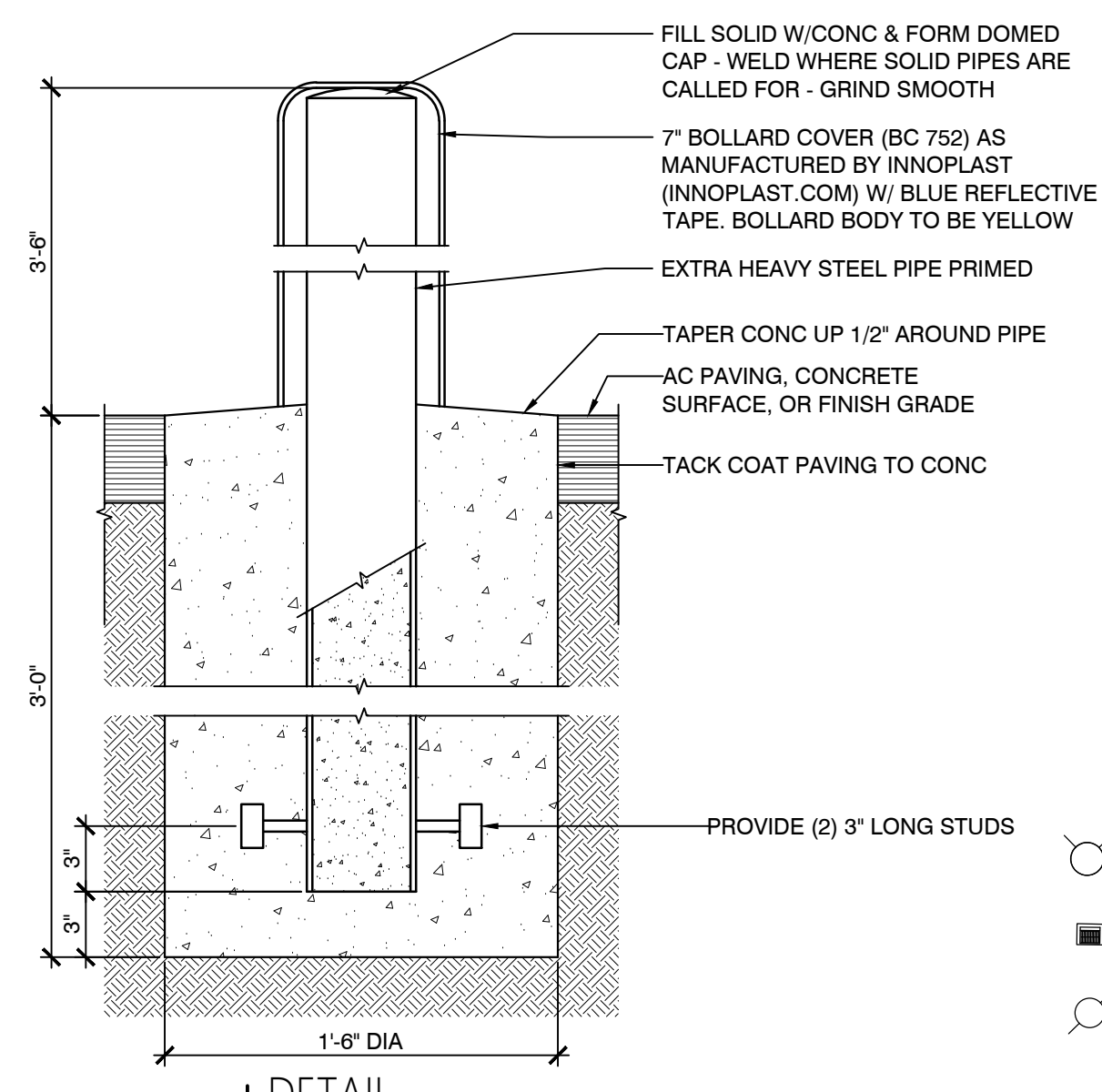
BASIS OF DESIGN: CIRCLE BIKE RACK (MODEL #CR2-02 EM) AS MANUFACTURED BY SITE SCAPES (WWW.SITESCAPESONLINE.COM)



5 ELEVATIONS @ BIKE RACK  
AS1.0 1/4"=1'-0"

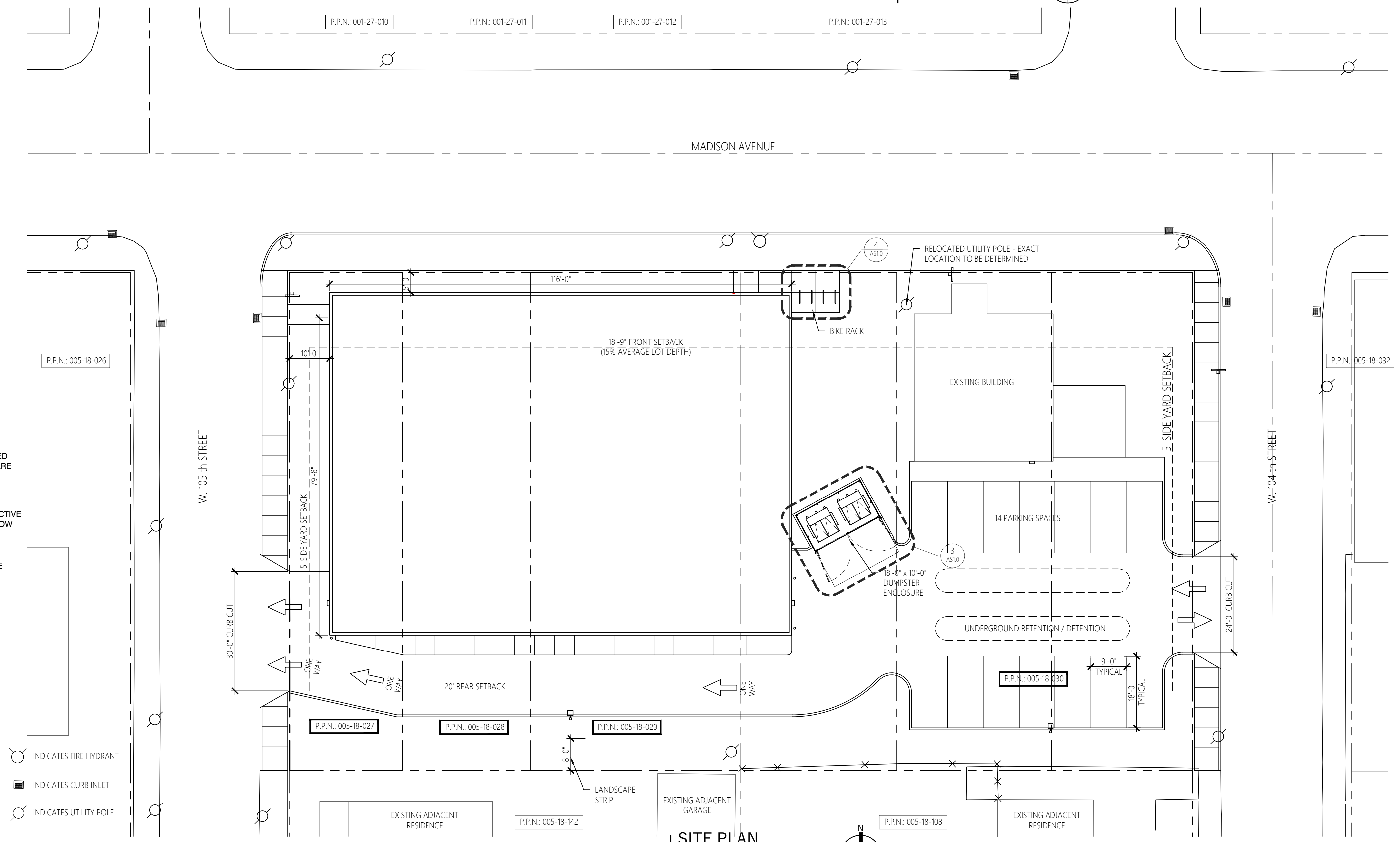


6 DETAIL @ FENCE GATES  
AS1.0 1 1/2"=1'-0"

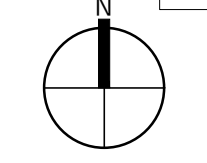


7 DETAIL @ TYP. BOLLARD  
AS1.0 1 1/2"=1'-0"

NOTES:  
1. ALL PIPE BOLLARDS SHALL BE 6" Ø EXTRA HEAVY PIPE & EXTEND 42" ABOVE FINISH GRADE EXCEPT ADJACENT TO POWER COMPANY TRANSFORMERS & RELATED ABOVE GRADE EQUIPMENT WHERE THEY SHALL BE 6" Ø EXTRA HEAVY PIPE & EXTEND TO 48" ABOVE FINISH GRADE LOCATED & SPACED AS DIRECTED BY THE POWER CO. - BOLLARDS SHALL BE GALV WHERE REQ'D BY UTILITY CO.  
2. LOCATE BOLLARDS 6" MIN CLEAR FROM ANY STRUCTURE (UNO).  
3. BOLLARDS SHALL BE INSTALLED PLUMB AND TRUE.



1 SITE PLAN @ PROPOSED  
AS1.0 1/16"=1'-0"











## PROPOSED NORTH ELEVATION



**CMU-1:**  
SCHORY EMERALD  
COLOR: OYSTER (# 92)  
8"X8"X16" SPLIT FACE



**CMU-2:**  
SCHORY EMERALD  
COLOR: MIDNIGHT (# 78)  
8"X8"X16" SPLIT FACE



**MTL-1:**  
VERTICAL METAL SIDING  
RIBBED PANEL  
COLOR: PUTTY



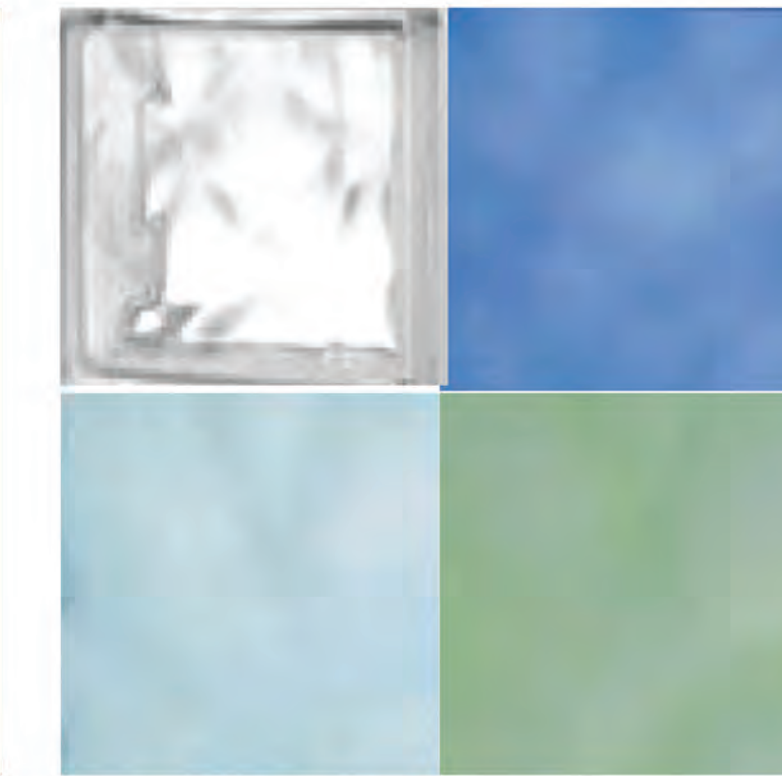
**MTL-2:**  
HORIZONTAL METAL SIDING  
FLUSH PANEL  
COLOR: SLATE BLUE



**MTL-3:**  
ACCENT METAL SIDING  
MAC METAL ARCHITECTURAL  
WOOD COLLECTION  
COLOR: SCANDINAVIAN FIR



**MTL-4 & 5:**  
ACCENT METAL SIDING  
INTERLOCK METAL BY EMI  
COLOR: BRITE RED



**GBWP:**  
GLASS BLOCK  
MEDINA GLASS BLOCK  
8"X8"X4"  
COLORS: CLEAR  
BLUE  
AZURE  
GREEN



**STRFRT:**  
STOREFRONT SYSTEM  
KAWNEER  
COLOR: DARK BRONZE  
ANODIZED ALUMINUM





# VIPER Area/Site

VIPER LUMINAIRE

## FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring three different optical technologies, Strike, Micro Strike and Silicone Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 1.5G
- Control options including photo control, occupancy sensing, NX Lighting Controls™, LightGRID+ and 7-Pin with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped



## CONTROL TECHNOLOGY



## SERVICE PROGRAMS



## SPECIFICATIONS

### CONSTRUCTION

- Die-cast housing with hidden vertical heat fins are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with 1000 hour powder coat paint finish
- External hardware is corrosion resistant

### OPTICS

- Micro Strike Optics (160, 320, 480, or 720 LED counts) maximize uniformity in applications and come standard with mid-power LEDs which evenly illuminate the entire luminous surface area to provide a low glare appearance. Catalog logic found on page 2
- Strike Optics (36, 72, 108, or 162 LED counts) provide best in class distributions and maximum pole spacing in new applications with high powered LEDs. Strike optics are held in place with a polycarbonate bezel to mimic the appearance of the Micro Strike Optics so both solutions can be combined on the same application. Catalog logic found on page 3
- Silicone Strike Optics (40, 80, 120, or 180 LED counts) maximize uniformity in applications and provides the highest LPW. These include an integral gasket allowing for IP66 rating. Catalog logic found on page 4.
- All optics maximize target zone illumination with minimal losses at the house-side, reducing light trespass issues. Additional backlight control shields and house side shields can be added for further reduction of illumination behind the pole
- One-piece silicone gasket ensures a weatherproof seal
- Zero up-light at 0 degrees of tilt
- Field rotatable optics

### INSTALLATION

- Mounting patterns for each arm can be found on page 11
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option (ASQU) or accessory for square and round poles
- All mounting hardware included

### INSTALLATION (CONTINUED)

- Knuckle arm fitter option available for 2-3/8" OD tenon
- For products with EPA less than 1 mounted to a pole greater than 20ft, a vibration damper is recommended

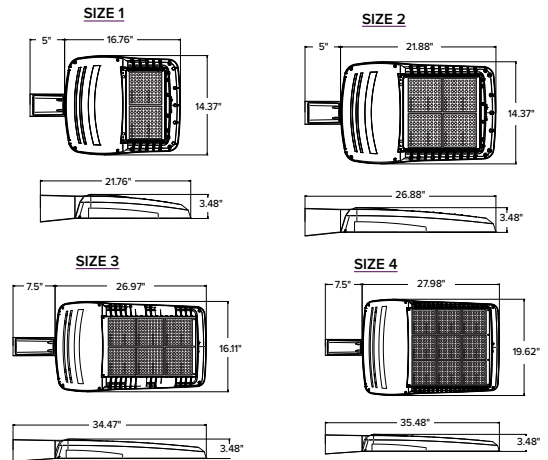
### ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/ IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised
- Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as two sets of leads are extended from the luminaire. Both options cannot be combined

### CONTROLS

- Photo control, occupancy sensor programmable controls, and Zigbee wireless controls available for complete on/off and dimming control
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0-10V Dimming Drivers are standard. Select CD option to have dimming leads extended outside the luminaire. Must specify if wiring leads are to be greater than the 6" standard.

## SILICONE STRIKE | OPTICS STRIKE



	EPA				Config.
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

### CONTROLS (CONTINUED)

- NX Lighting Controls™ available with in fixture wireless control module, features dimming and occupancy sensor
- LightGRID+ available with in fixture wireless control module, features dimming and occupancy sensor. Also available in 7-pin configuration

### CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations listed in this document are DLC® qualified. Refer to <http://www.designlights.org> for the most up-to-date list.
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 1.5 G rated for ANSI C136.31 high vibration applications
- Fixture is IP65 rated with Strike and Microstrike optics. Fixture is IP66 rated with Silicone Strike optics.
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9) and Trade Agreements Act (FAR 52.225-11). See Buy America(n) Solutions (link to <https://www.currentlighting.com/resources/america-solutions>).
- FCC CFR Title 47 Part 15, Class A

### WARRANTY

- 5 year warranty

# VIPER Area/Site

VIPER LUMINAIRE

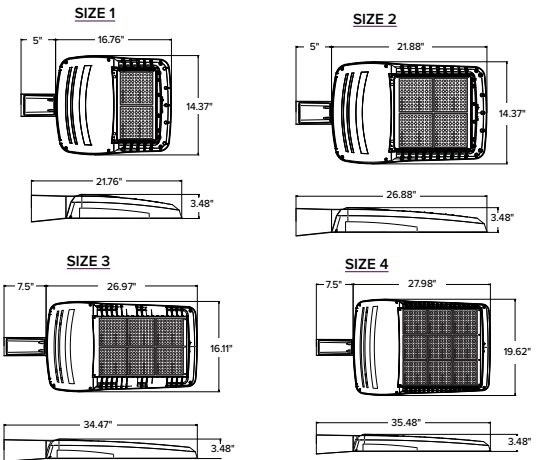
## FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring three different optical technologies, Strike, Micro Strike and Silicone Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 1.5G
- Control options including photo control, occupancy sensing, NX Lighting Controls™, LightGRID+ and 7-Pin with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped

MICRO STRIKE

SILICONE STRIKE

OPTICS STRIKE



## CONTROL TECHNOLOGY



LIGHTGRID+

## SERVICE PROGRAMS

STOCK QS10

## SPECIFICATIONS

### CONSTRUCTION

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- Corrosion resistant, die-cast aluminum housing with 1000 hour powder coat paint finish
- External hardware is corrosion resistant

### OPTICS

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- All optics maximize target zone illumination with minimal losses at the house-side, reducing light trespass issues. Additional backlight control shields and house side shields can be added for further reduction of illumination behind the pole
- One-piece silicone gasket ensures a weatherproof seal
- Zero up-light at 0 degrees of tilt
- Field rotatable optics

### INSTALLATION

- Mounting patterns for each arm can be found on page 11
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option (ASQU) or accessory for square and round poles
- All mounting hardware included

### INSTALLATION (CONTINUED)

- Knuckle arm fitter option available for 2-3/8" OD tenon
- For products with EPA less than 1 mounted to a pole greater than 20ft, a vibration damper is recommended

### ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/ IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised
- Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as two sets of leads are extended from the luminaire. Both options cannot be combined

### CONTROLS

- Photo control, occupancy sensor programmable controls, and Zigbee wireless controls available for complete on/off and dimming control
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0-10V Dimming Drivers are standard. Select CD option to have dimming leads extended outside the luminaire. Must specify if wiring leads are to be greater than the 6" standard.

	EPA				Config.
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

### CONTROLS (CONTINUED)

- NX Lighting Controls™ available with in fixture wireless control module, features dimming and occupancy sensor
- LightGRID+ available with in fixture wireless control module, features dimming and occupancy sensor. Also available in 7-pin configuration

### CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations listed in this document are DLC® qualified. Refer to <http://www.designlights.org> for the most up-to-date list.
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 1.5 G rated for ANSI C136.31 high vibration applications
- Fixture is IP65 rated with Strike and Microstrike optics. Fixture is IP66 rated with Silicone Strike optics.
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9) and Trade Agreements Act (FAR 52.225-11). See Buy America(n) Solutions (link to <https://www.currentlighting.com/resources/america-solutions>).
- FCC CFR Title 47 Part 15, Class A

### WARRANTY

- 5 year warranty

# VIPER Wall

VPW1/VPW2/VPW3 LED WALLPACK

## FEATURES

- Low profile LED wall luminaire with a variety of IES distributions for lighting applications such as retail, commercial and industrial building mount
- Featuring Strike and Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual Comfort - Option for Size 2 and Size 3
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™, and LightGRID+.
- Battery Backup options available for emergency code compliance
- Quick-mount adapter allows easy installation/maintenance
- 347V and 480V versions for industrial applications and Canada



## CONTROL TECHNOLOGY



## SPECIFICATIONS

### CONSTRUCTION

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Powder paint finish provides durability in outdoor environments. Tested to meet 1000 hour salt spray rating

### OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 2700K, 3000K, 3500K, 4000K and 5000K CCTs
- Zero uplight distributions
- LED optics provide IES type II, III and IV distributions.

### INSTALLATION

- Quick-mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box)
- Designed for direct j-box mount.

### ELECTRICAL

- 120V-277V universal voltage 50/60Hz 0-10V dimming drivers
- 347V input is available in most wattage, 480V is available for 55W and above.
- Ambient operating temperature -40°C to 40°C
- Driver RoHS and IP66
- 10kV Surge Protector optional
- Drivers have greater than .90 power factor and less than 20% Total Harmonic Distortion
- Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as two sets of leads are extended from the luminaire. Both options can not be included in one same fixture.
- Dimming drivers are standard. Select CD (Customer Dimming) for the dimming wires to be extended outside the fixture.

### CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- Button photocontrol is suitable for 120-277V operation
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor

### CONTROLS CONTINUED

- Integral Battery Backup provides emergency lighting for the required 90 minute path of egress
- Battery Backup suitable for operating temperatures -20°C to 40°C.
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application.
- LightGRID+ available with in fixture wireless control module, features dimming and occupancy sensor.

### CERTIFICATIONS

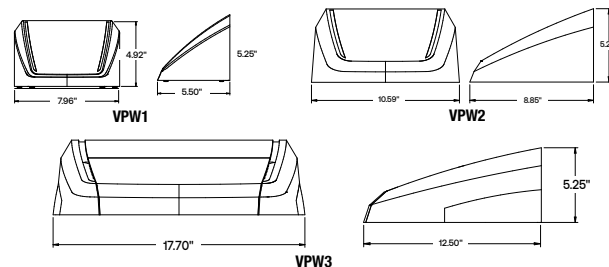
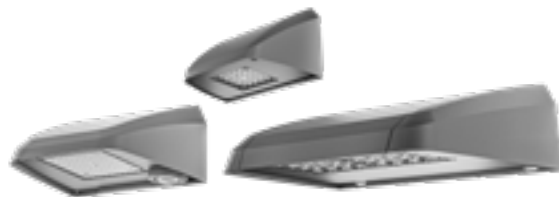
- Certified to UL 1598 and CSA 22.2#250.0-24
- IP65 rated housing
- Emergency battery backup options are California Energy Commission (CEC) Title 20 Compliant
- This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9) and Trade Agreements Act (FAR 52.225- 11). See Buy America(n) Solutions (link to <https://http://www.currentlighting.com/resources/americasolutions>).
- DarkSky approved with 3000K CCT or warmer

### WARRANTY

- 5 year limited warranty

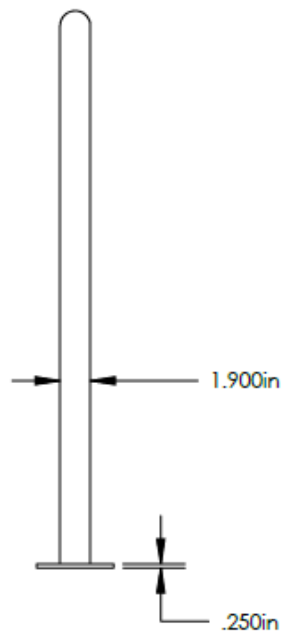
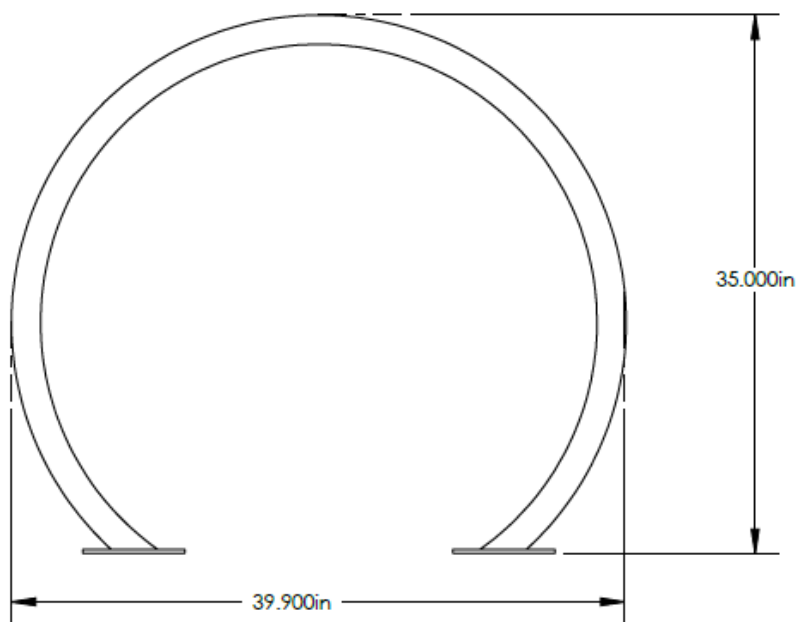
DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

## MICRO STRIKE | OPTICS STRIKE

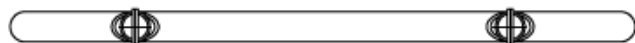
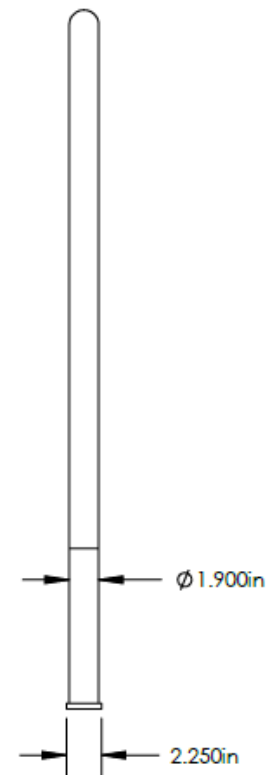
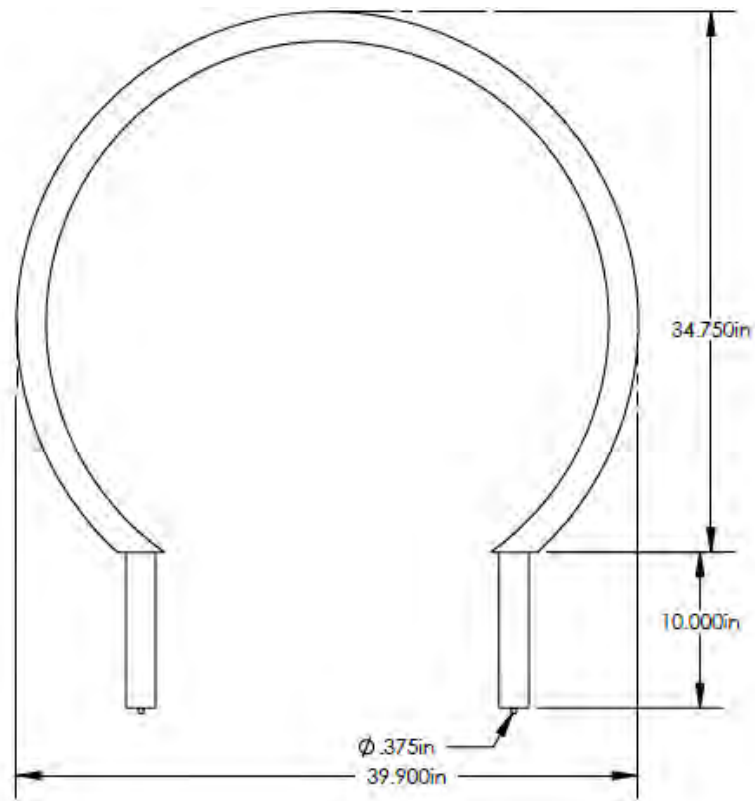


	Weight
VPW1	4.1 lbs / 1.86 kg
VPW2	7.15 lbs / 3.24 kg
VPW3	17.1 lbs / 7.80 kg

**Sunrise Bike Rack - Surface Mount  
536-1420**



**Sunrise Bike Rack - In-Ground Mount  
536-1420**



## FW2025-15 – Camelot Bakery

December 19, 2025

### Design Review Advisory Committee:

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FWDRAC recommended final approval with the following conditions on 12/17/25:

- Provide lighting along Madison Avenue under entrance canopy
- Add landscaping along the west elevation
- Add lighting to the east and west elevations
- Investigate reducing materials along the front elevation – specifically Metal-2.

### City Planning Staff:

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Planning staff is in support of approving this project with the recommended conditions from FWDRAC.

Applicant will work out any final details with staff for administrative approval.

## **FW2025-18** – Al Ihsan Signage

December 19, 2025

Project Address: 4600 Rocky River Dr

Type: Signage

Project Representative: JP Ptacek, Larsen Architects

Approval: Final (Variance Required)

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**Ward 17: Council Member Slife**

**SPA: Kamm's**

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**Al Ihsan School**

**4600 Rocky River Dr.**

**City Planning Commission Hearing**

**December 19, 2025**



**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

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**CITY PLANNING COMMISSION**

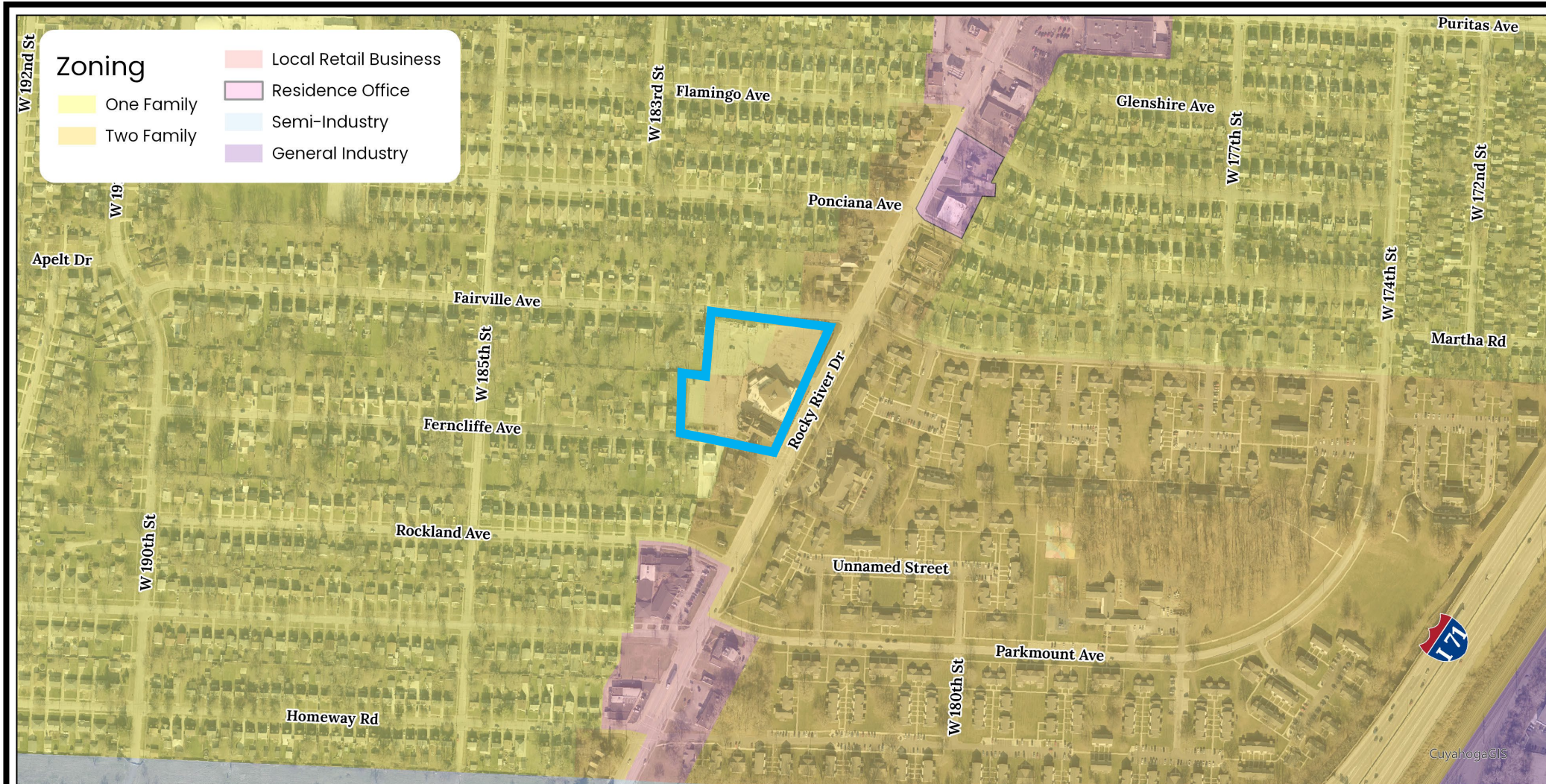
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# Proposal

Al Ihsan School & Mosque is proposing two 6 ft. tall 32 sq.ft. business identification electronic changeable copy monument signs in a Residential Zoning District.



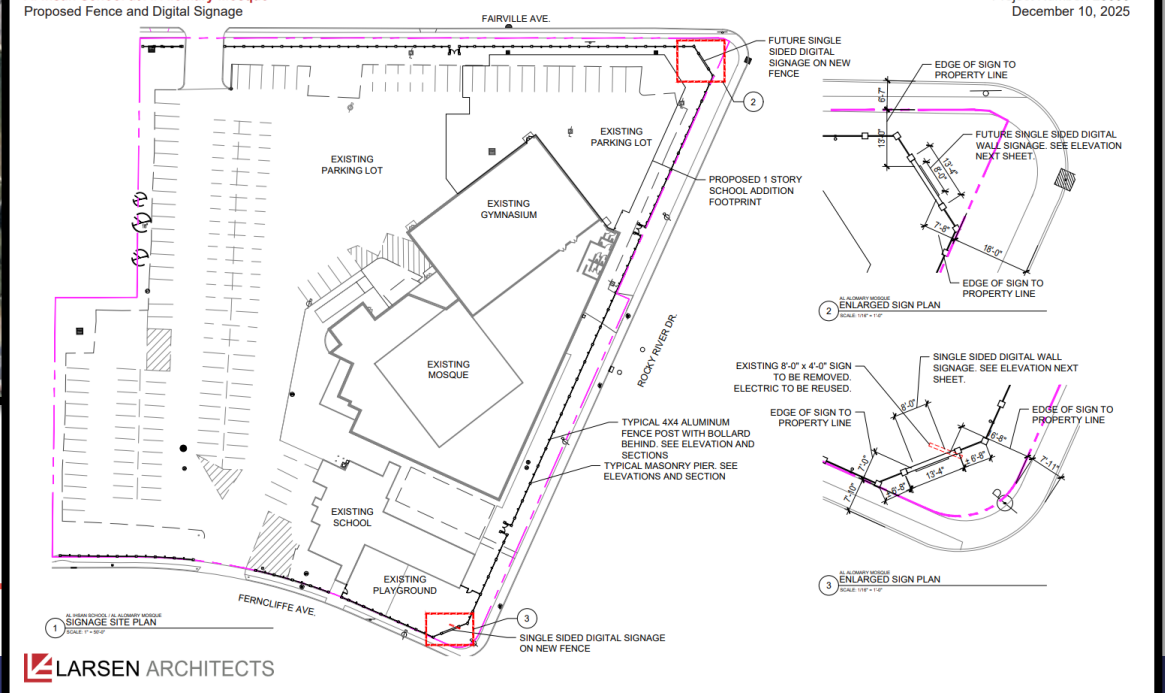
# Existing Zoning: One Family-B1 & Two Family-B1





Al Ihsan School at Al Alomary Mosque  
Proposed Fence and Digital Signage

Project Number: 25093  
December 10, 2025





**Southwest View Rocky River Dr. & Ferncliffe Ave.**



**Northwest View Rocky River Dr. & Fairville Ave.**



**Southwest View Rocky River Dr. & Fairville Ave.**



**Northwest View Rocky River Dr. & Ferncliffe Ave.**

# Why City Planning Commission?

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- §350.16 gives City Planning Commission the jurisdiction to vary the Sign Code to either more strict or less strict regulations than what §350 requires based on a specific set of criteria: (*Administrative approval does not apply*)
    - **Design Compatibility:** may vary only if such variation will result in signage which is better suited to the design of the subject property or nearby properties of architectural or historic significance
    - **Design Guidelines:** any variation from regulations shall be approved only in accordance with applicable design guidelines adopted by CPC & City Council
    - **Minimum Variation:** Any variation shall be the **MINIMUM** necessary to ensure design compatibility
-

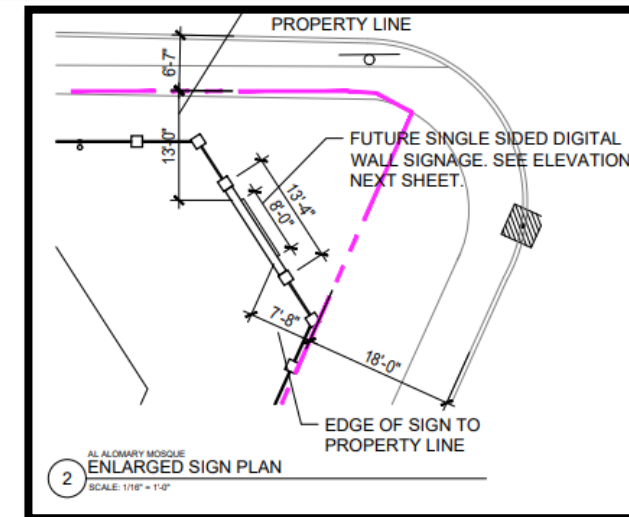
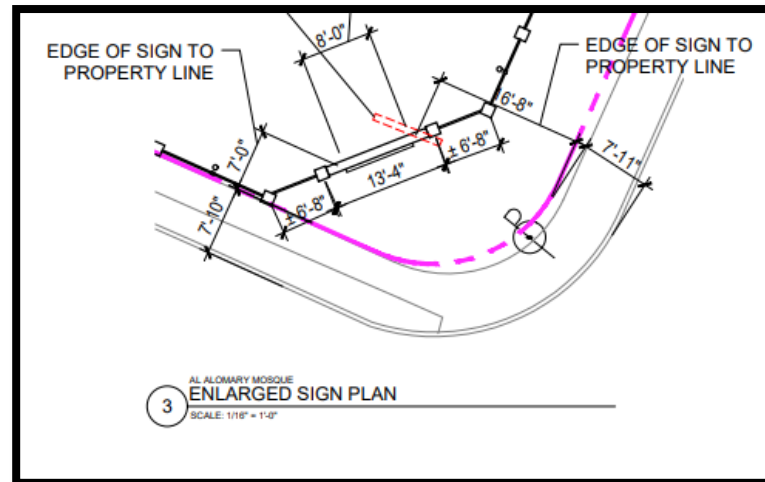
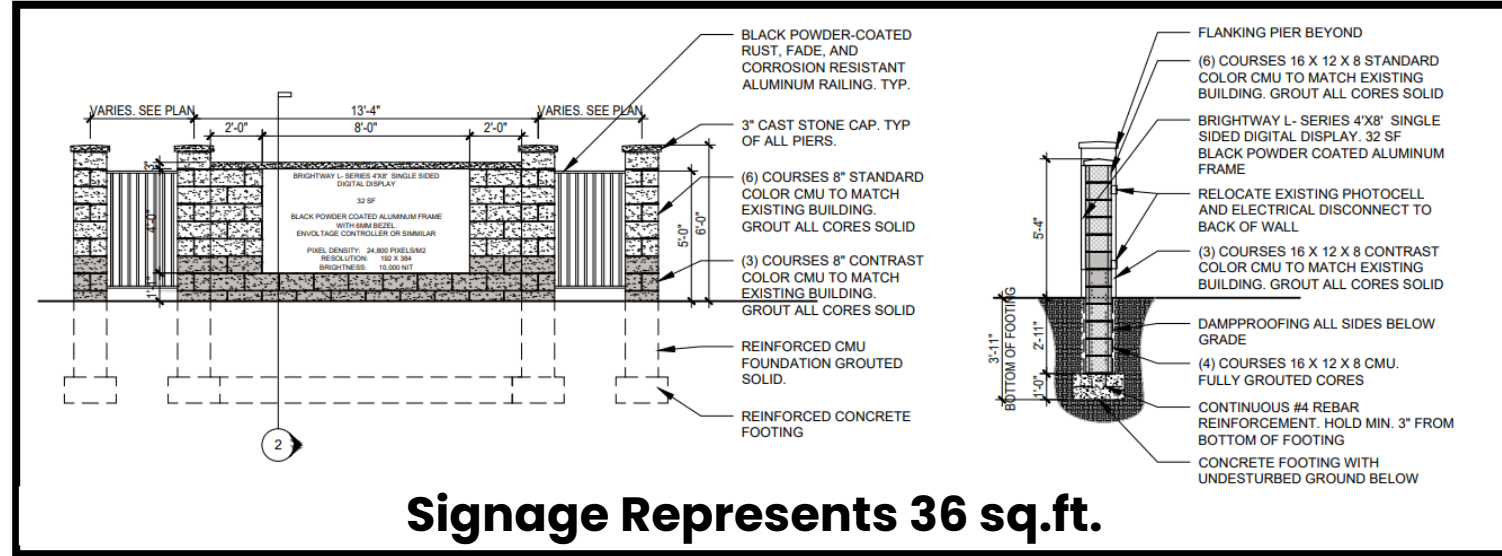
# Variances Required

## Two Proposed Monument Business Identification Signs:

### § 350.13 Signs for Residential

#### Districts:

- 20 ft. minimum distance from lot lines required.
- Proposing 7 ft. & 7 ft.-8in.
- 13 ft. and 13 ft.-8 in. distance variance required



# Design Approval Required

## § 350.13(g) Community Facility Uses,

include schools and places of worship.

- This electronic changeable copy sign will require Board of Zoning Appeals(BZA) approval for a use variance
- As a Community Facility, the Al Ihsan Mosque/School may obtain said variance from BZA on the condition that:
  - The placement and design of the electronic changeable signs are approved by the City Planning Commission



# Considerations

- ❖ Does this result in signage that is better suited to the design of the subject property or nearby properties? (*Design Compatibility*)
- ❖ Does this result in signage that follows CPC's standard of *approved design guidelines*?
- ❖ **Are these variances the *minimum necessary* to ensure design compatibility with surrounding properties and residential neighbors?**

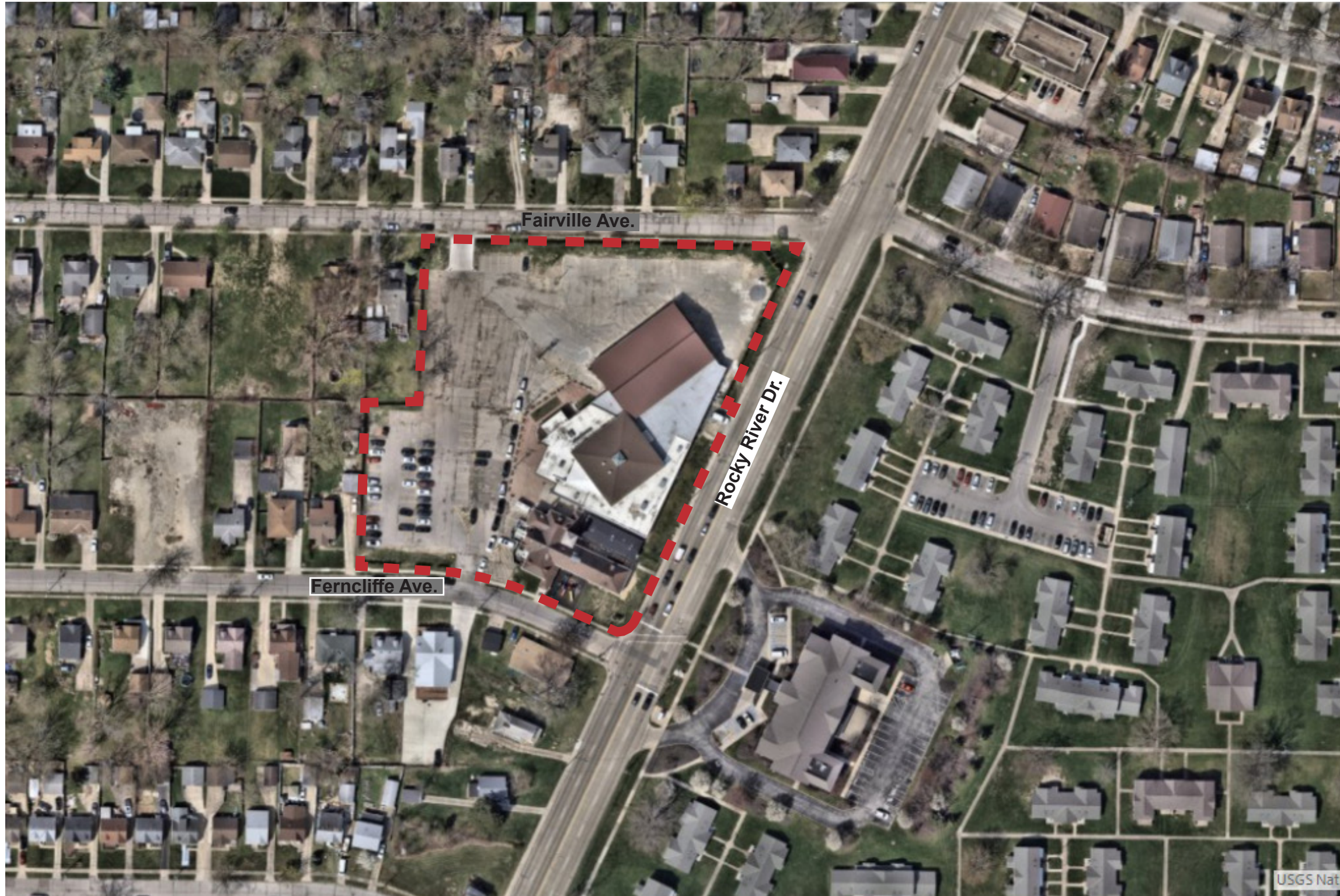


# AL IHSAN SCHOOL AL ALOMARY MOSQUE

## Signage

December 10, 2025

Revised December 17, 2025



**4600 Rocky River Drive**

Parcel Number: 026-33-010  
Owner: Cleveland Muslim  
Community Center  
Area District: B  
Height District: 1  
Use District: Two Family  
Zone Code: 2F-B1  
Review District: Kamm's Corners Expansion  
Ward: 17  
Lot Size: 2.56 Acres

This project involves adding a black aluminum railing and masonry post fence along Fairville Avenue, Rocky River Drive, and Ferncliffe Avenue. The fence will incorporate a single sided digital sign at both intersections.

Aerial Location Plan  
Scale: Not to scale



18214 Fairville Avenue



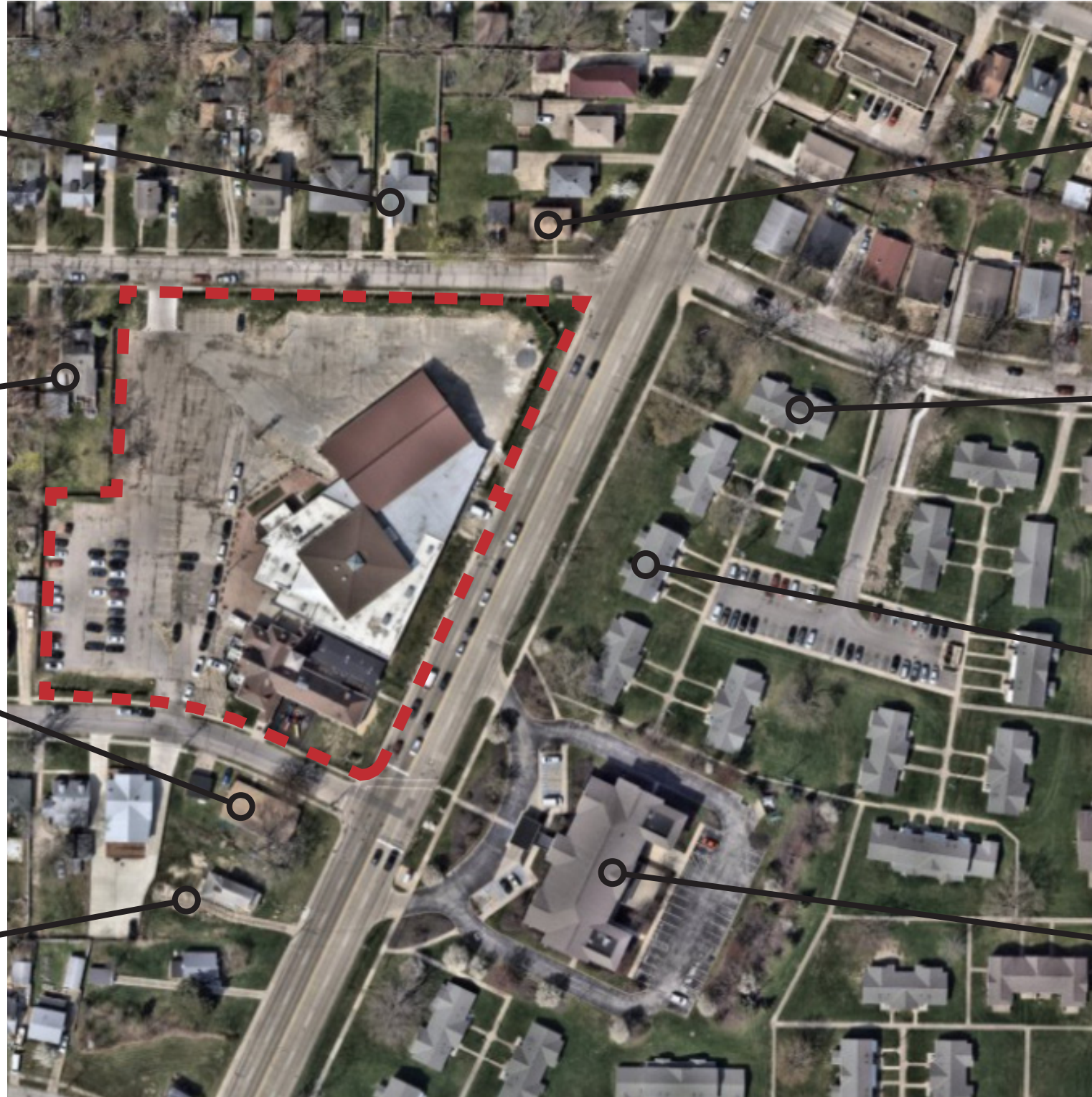
18309 Fairville Avenue



18211 Ferncliffe Avenue



4650 Rocky River Drive



4546 Rocky River Drive



18161 Fairville Avenue



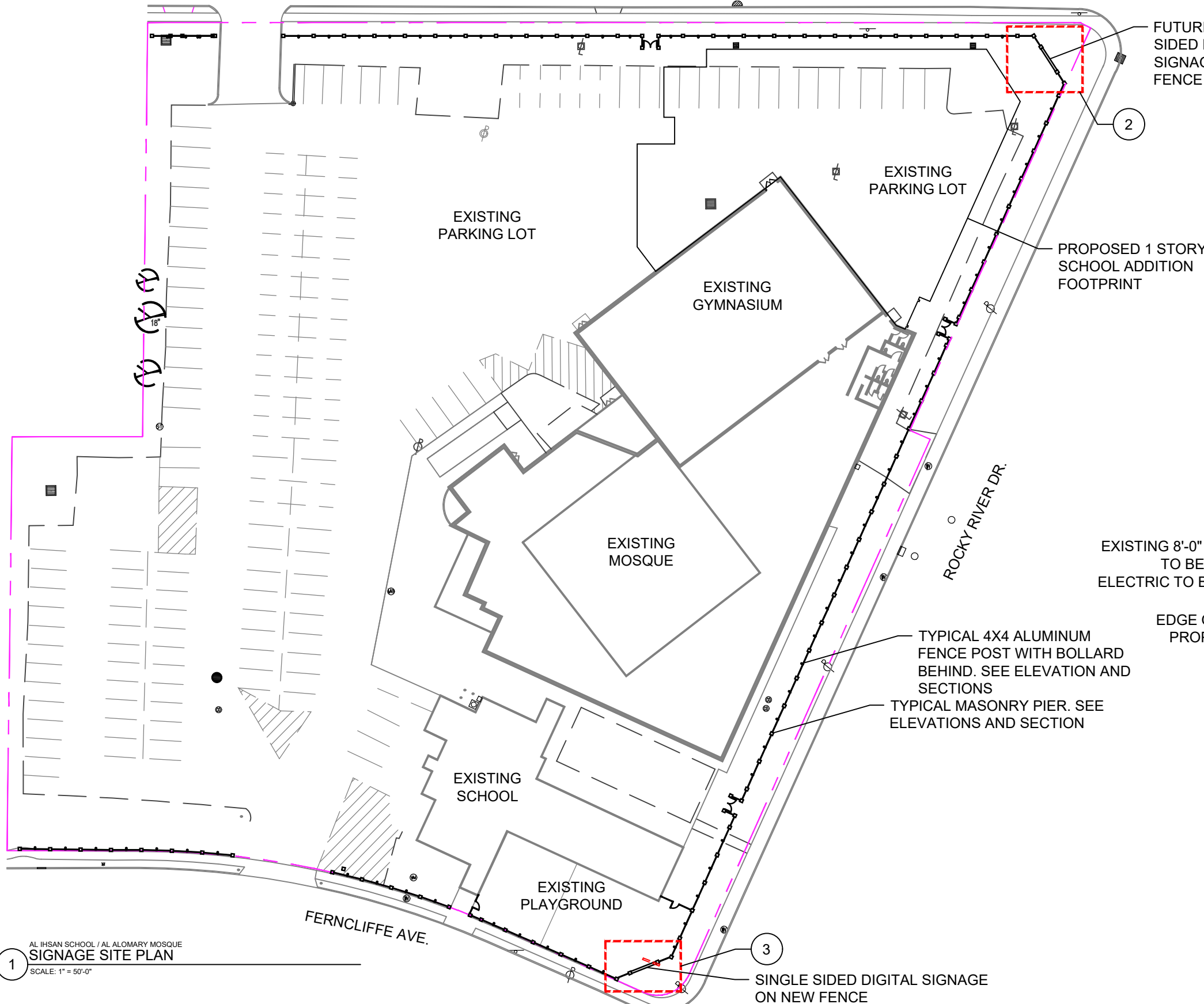
4650 Rocky River Drive



4609 Rocky River Drive

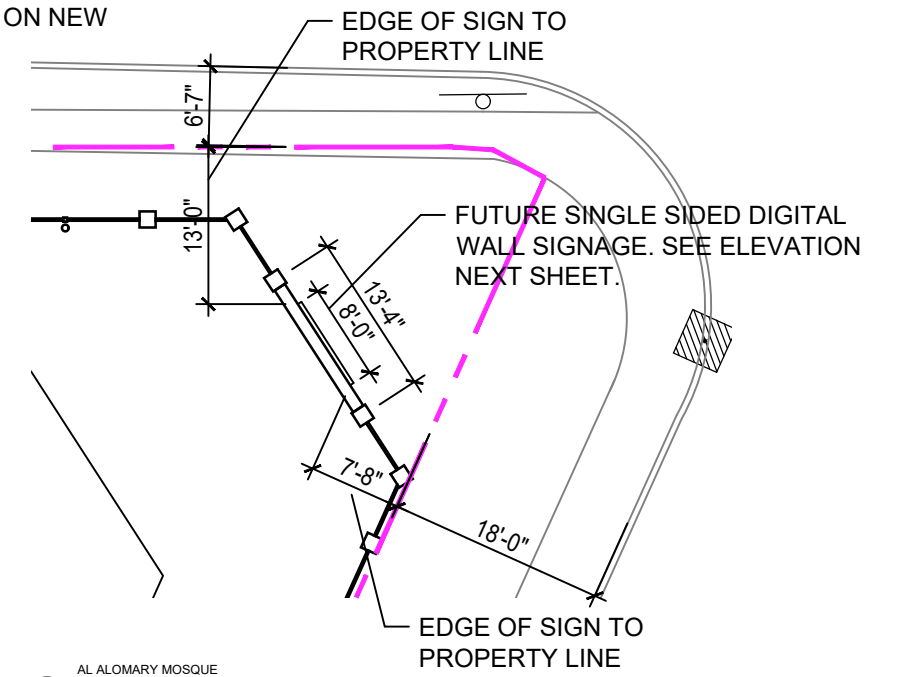


FAIRVILLE AVE.



FUTURE SINGLE SIDED DIGITAL SIGNAGE ON NEW FENCE

2



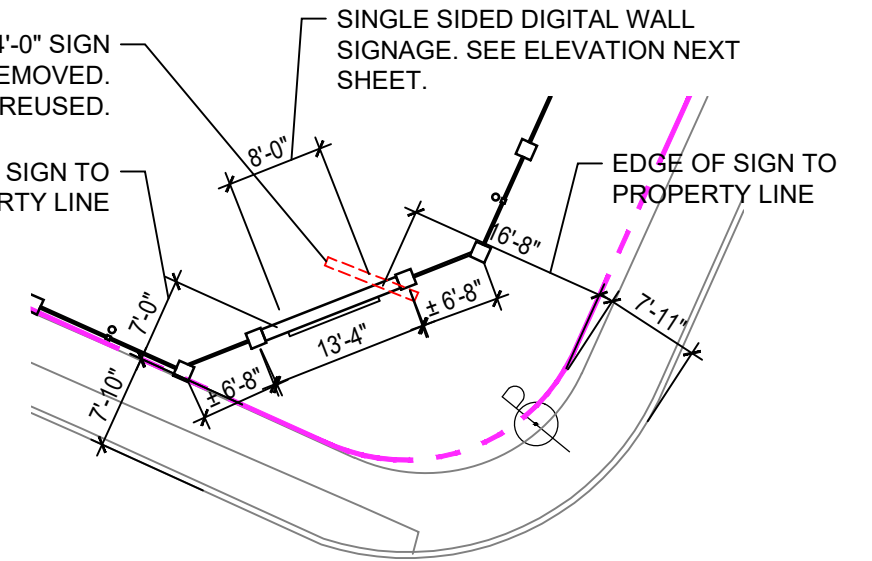
AL ALOMARY MOSQUE  
2 ENLARGED SIGN PLAN  
SCALE: 1/16" = 1'-0"

EXISTING 8'-0" x 4'-0" SIGN TO BE REMOVED. ELECTRIC TO BE REUSED.

SINGLE SIDED DIGITAL WALL SIGNAGE. SEE ELEVATION NEXT SHEET.

EDGE OF SIGN TO PROPERTY LINE

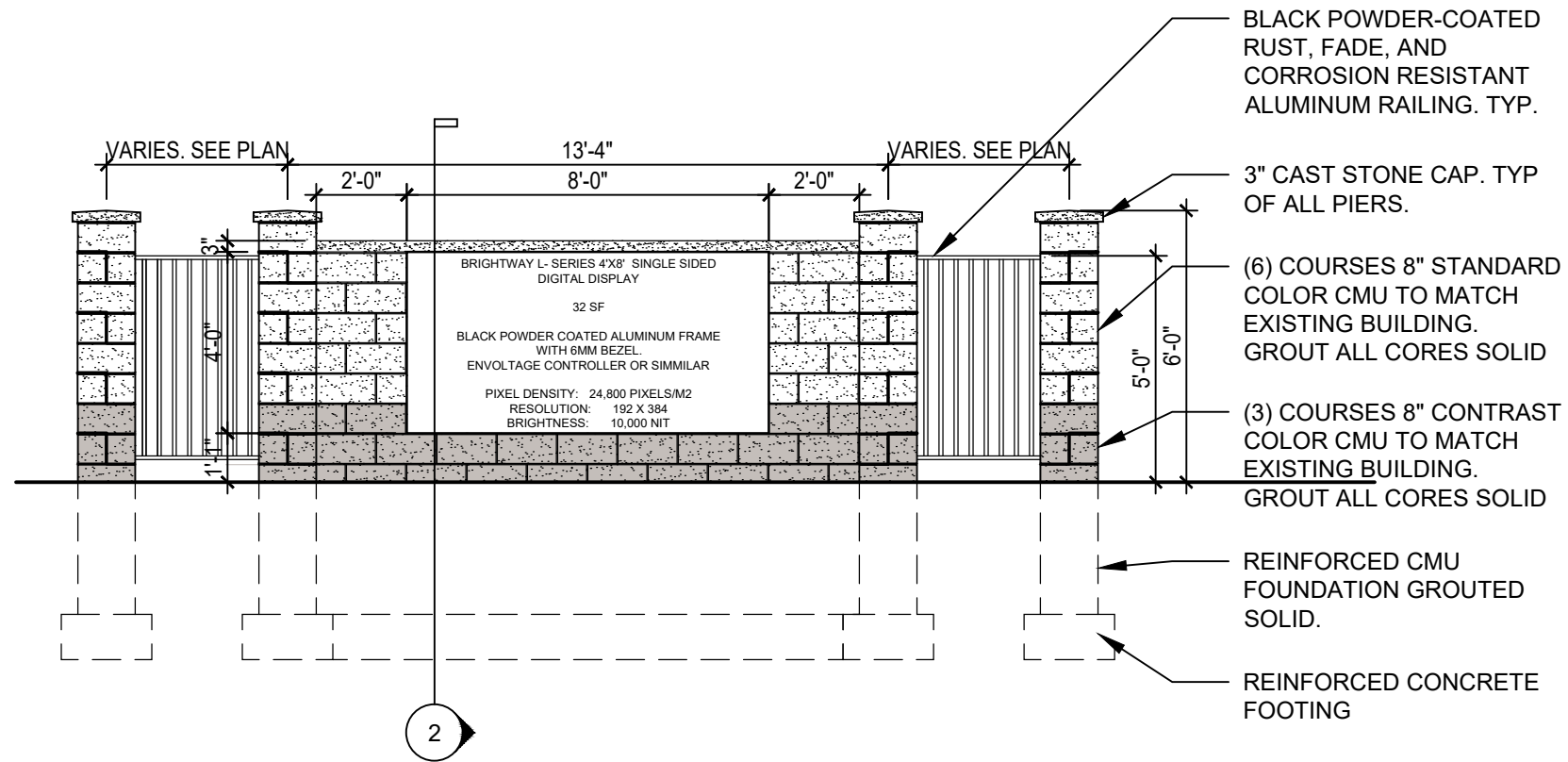
EDGE OF SIGN TO PROPERTY LINE



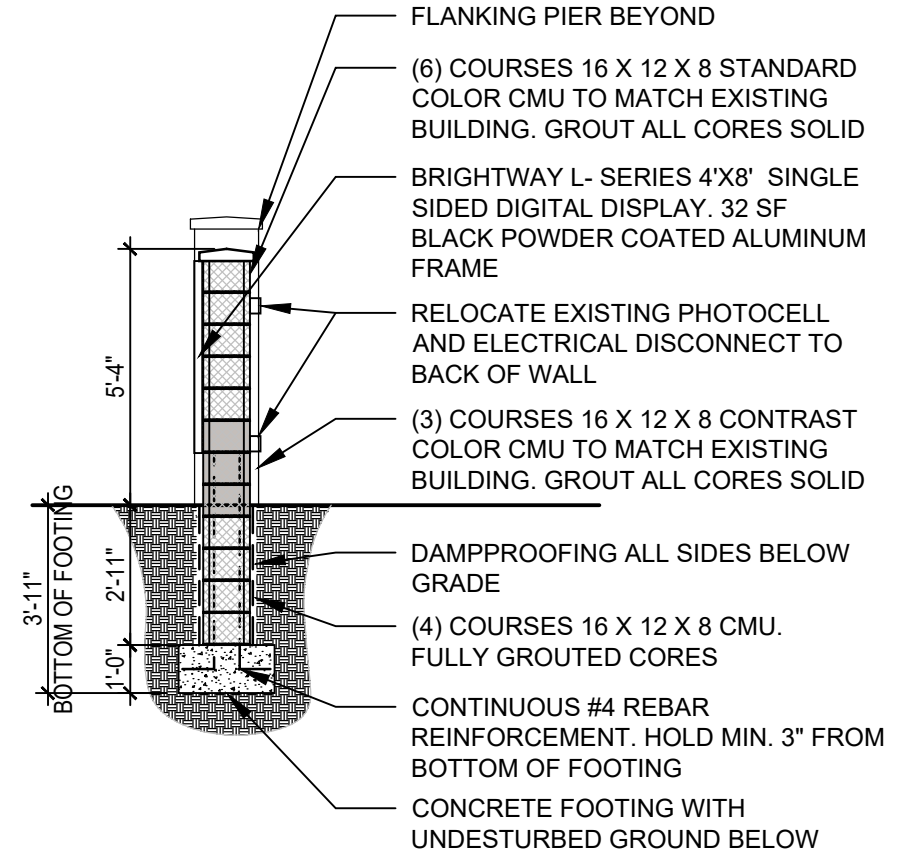
AL ALOMARY MOSQUE  
3 ENLARGED SIGN PLAN  
SCALE: 1/16" = 1'-0"

3 SINGLE SIDED DIGITAL SIGNAGE ON NEW FENCE

1 AL IHSAN SCHOOL / AL ALOMARY MOSQUE  
SIGNAGE SITE PLAN  
SCALE: 1" = 50'-0"



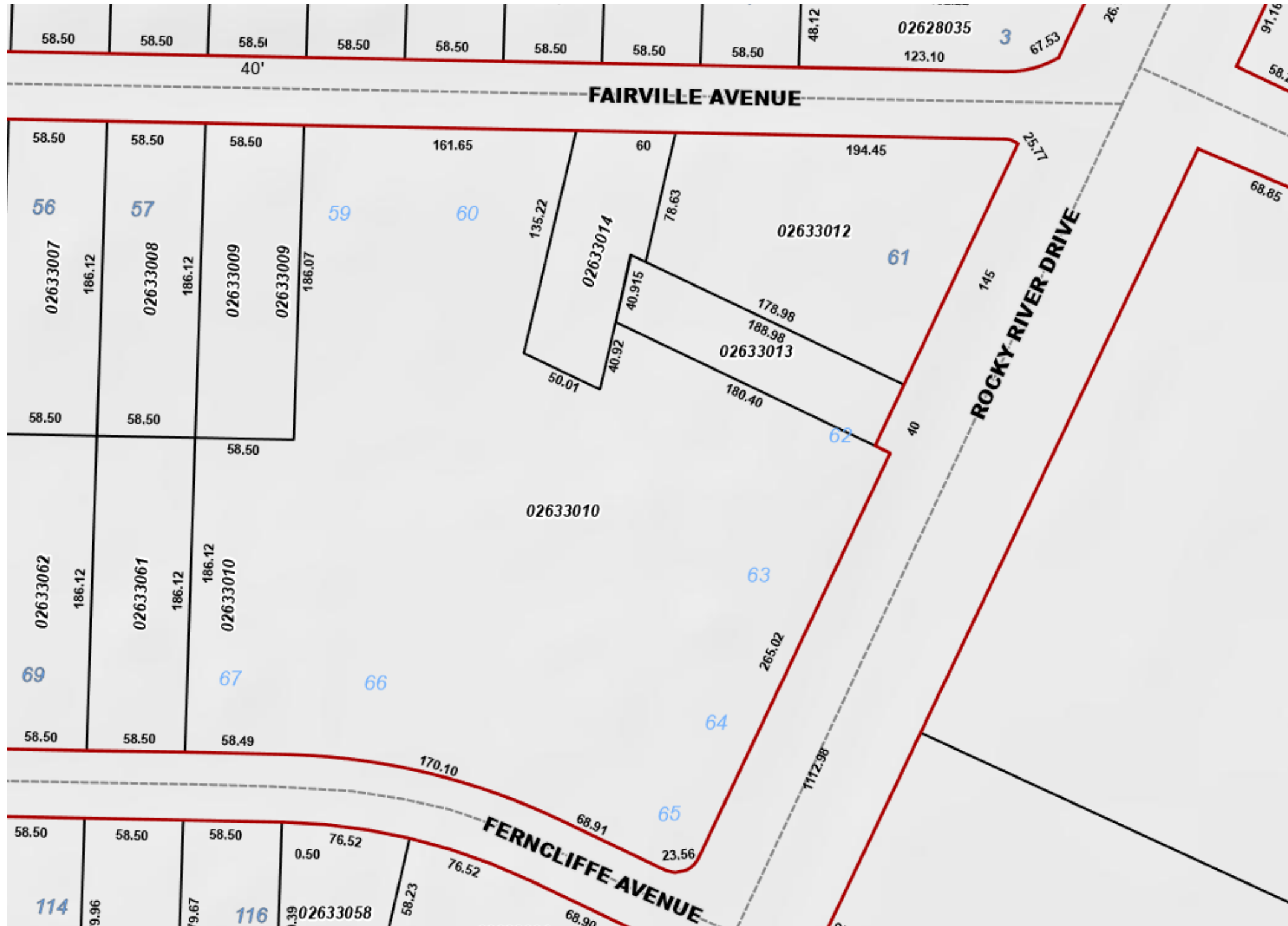
AL IHSAN SCHOOL / AL ALOMARY MOSQUE  
**1 SECURITY FENCE & DIGITAL SIGN ELEVATION**  
 SCALE: 1/4" = 1'-0"



AL IHSAN SCHOOL / AL ALOMARY MOSQUE  
**2 SECTION AT DIGITAL SIGN**  
 SCALE: 1/4" = 1'-0"

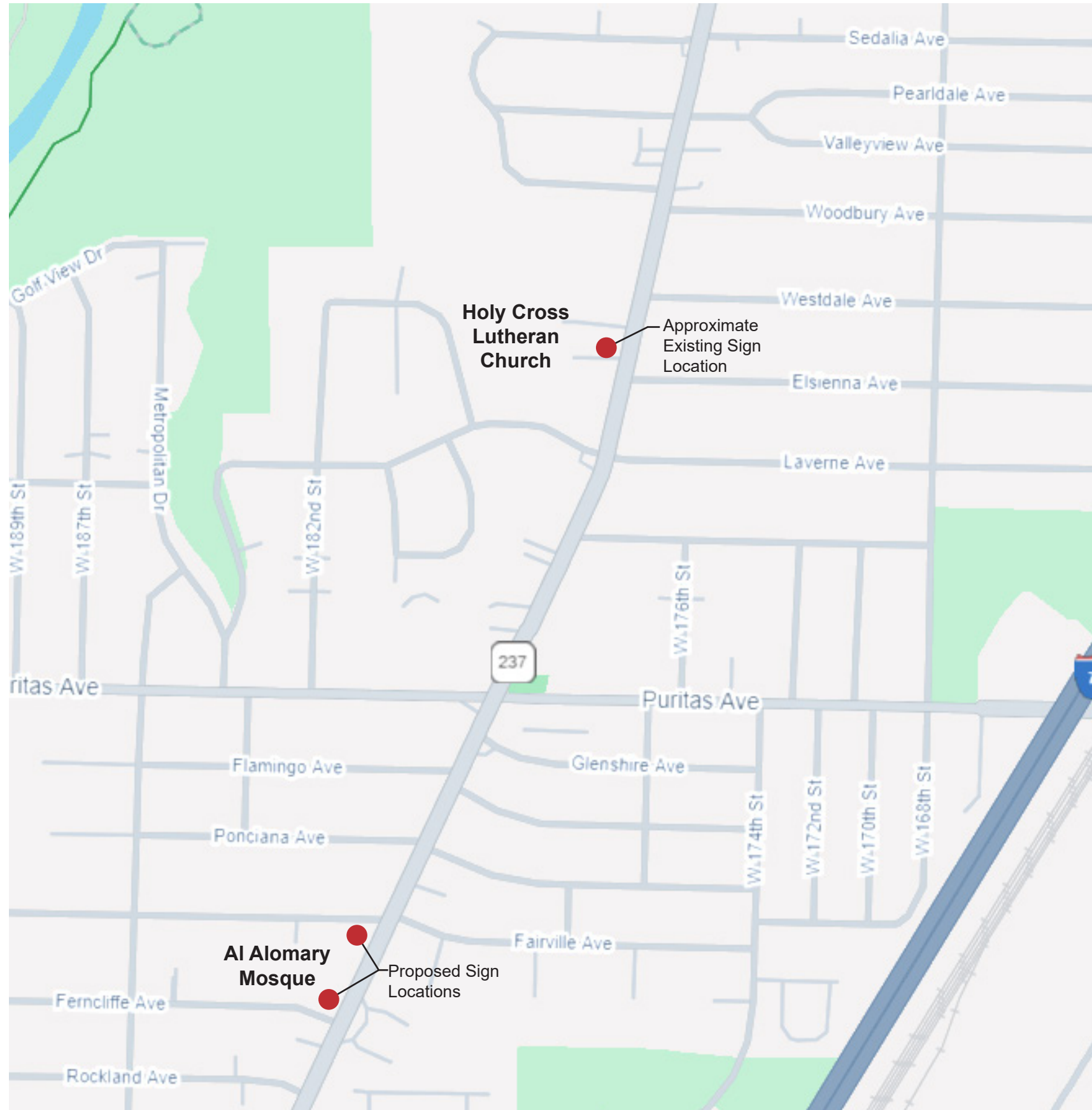






**Al Ihsan School at Al Alomary Mosque**  
Proposed Fence and Digital Signage

Project Number: 25093  
December 17, 2025



## FW2025-18 – Al Ihsan Signage

December 19, 2025

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### Design Review Advisory Committee:

FWDRAC recommended final approval with the following conditions on 12/17/25:

- Signs cannot flash or scroll, and brightness should be limited to the minimum necessary to ensure it does not impact neighboring properties

---

### City Planning Staff:

Planning staff recommends approval with condition that signs be turned off or dimmed in evening to avoid disturbing any neighboring properties.

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# Cleveland City Planning Commission

## Central Southeast Design Review

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

December 19, 2025

## **CSE2025-046** – 6405 Francis Ave Demolition

December 19, 2025

Project Address: 6405 Francis Ave

Type: Demolition

Project Representative: Woo Jun, City of Cleveland

Approval: Final

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**Ward 5: Council Member Starr**

**SPA: Broadway-Slavic Village**

# 6405 Francis Ave

Proposal for Nuisance Abatement Demolition  
of a Residential Structure



**CITY OF CLEVELAND**

Mayor Justin M. Bibb

# 6405 Francis, 44127

PPN: 125-01-019



# Property Information

## 01 Owner

The Elizabeth Baptist Church

- Owner June 08, 2021
  - Bought out of Forfeiture Sale
- 

## 02 Complaints & Board-ups

Main structure condemned on January 22, 2024

3 complaints since condemnation.

2 board-ups by the City

## 03 Legal Issues

None.

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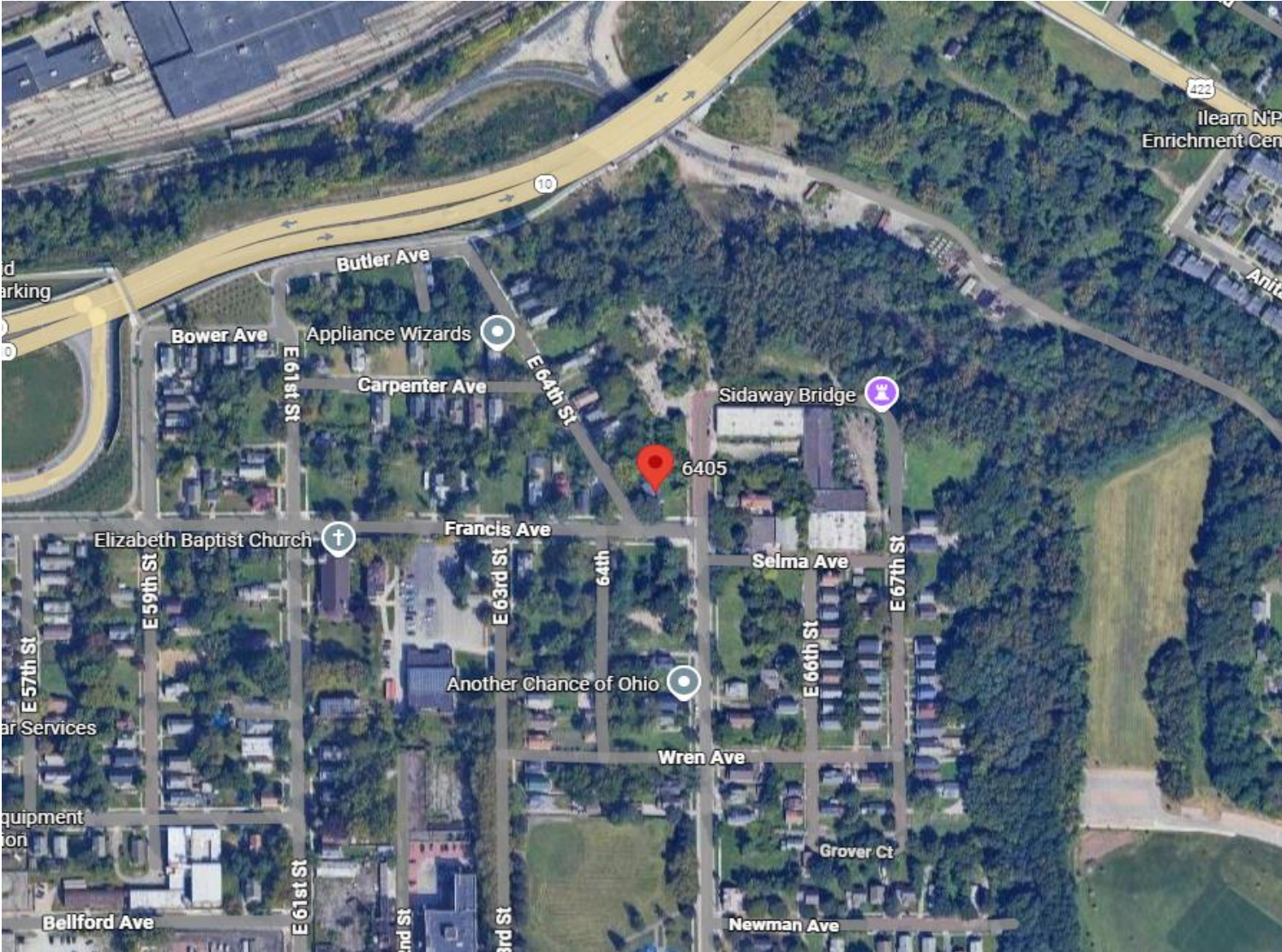
## 04 Vacancy & Background

Property has been vacant since at least 2021.



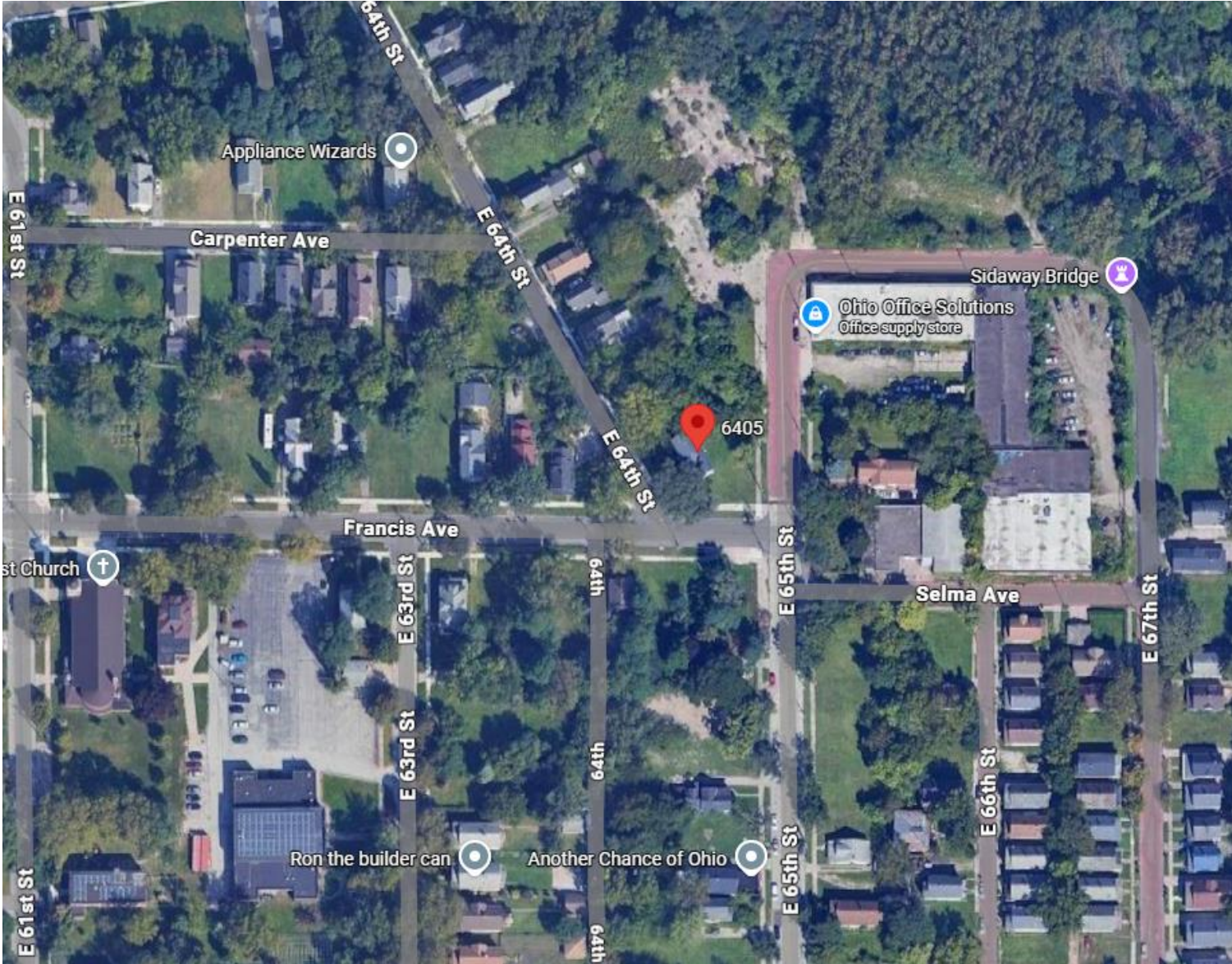
# Site Location

Situated on the northside of Francis Ave in between E 64<sup>th</sup> St and E 65<sup>th</sup> St



# Site Context

Mixture of residential and commercial structures



# Exterior Photos



# Exterior Photos



# Interior Photos



# Interior Photos



# Adjacent Parcels



# Street Opposite 6405 Francis



# Site Plan & Finish

- Demolish the structure
- Remove all foundation and subgrade material
- Level the site with clean backfill
- Topsoil, seed, and straw.

## Final Comments

.Woman found dead on 6307 Francis



## **CSE2025-046** – 6405 Francis Ave Demolition

December 19, 2025

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### Design Review Advisory Committee:

CSEDRAC recommended final approval (with no conditions) on 12/9/25.

---

### City Planning Staff:

Planning staff is in support of this demolition.

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# Cleveland City Planning Commission

## Euclid Corridor Buckeye Design Review

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

December 19, 2025

**EC2025-040** – Unity Six

December 19, 2025

Project Address: Capital Avenue & E 89th Street

Type: New Construction

Project Representative: Fred Wolfe, Young Design Studio

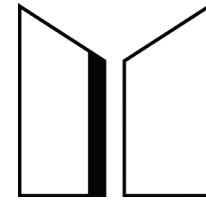
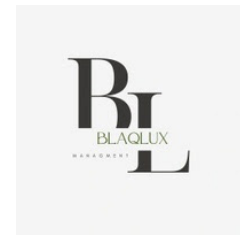
Approval: Conceptual

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**Ward 6: Council Member Griffin**

**SPA: Fairfax**

# UNITY SIX



YOUNG  
DESIGN  
STUDIO

# Project Description – E. 89th Street Workforce Housing Development

Our proposed development on E. 89th Street introduces six high-quality triplex buildings designed to provide attainable workforce housing for households earning up to 80% of the Area Median Income (AMI). The project includes a mix of 1-bedroom/1-bath and 2-bedroom/2-bath units intended to support teachers, healthcare employees, service workers, and long-time Cleveland residents who want to remain in Fairfax but are often priced out of newer housing options. This development is being advanced in partnership with Fairfax Renaissance Development Corporation (FRDC) Executive Director Denise VanLeer and City Council President Blaine A. Griffin, whose collaboration helps ensure alignment with community priorities and the long-term vision for the neighborhood.

The project is being designed by architect Brandon Young and his team at Young Design Studio, whose experience with context-sensitive urban infill has helped shape a plan that is both modern and respectful of the existing neighborhood fabric. Each triplex is approximately 35 feet in height and incorporates traditional gable roofs and design elements that reflect the existing character of the street. The architecture combines modern, clean lines with materials and proportions that respect Fairfax’s historic identity, creating a cohesive and context-sensitive addition to the block.

Beyond the buildings themselves, the project introduces several community-focused improvements, including redesigned sidewalks to enhance walkability, rear-loaded surface parking to keep vehicles off the street, preservation of mature trees to maintain neighborhood character, and exterior lighting to improve nighttime visibility and discourage unsafe activity. A dedicated maintenance plan will further support ongoing cleanliness, reduce trash and illegal dumping, and help create a safer and more welcoming environment for residents and neighbors.

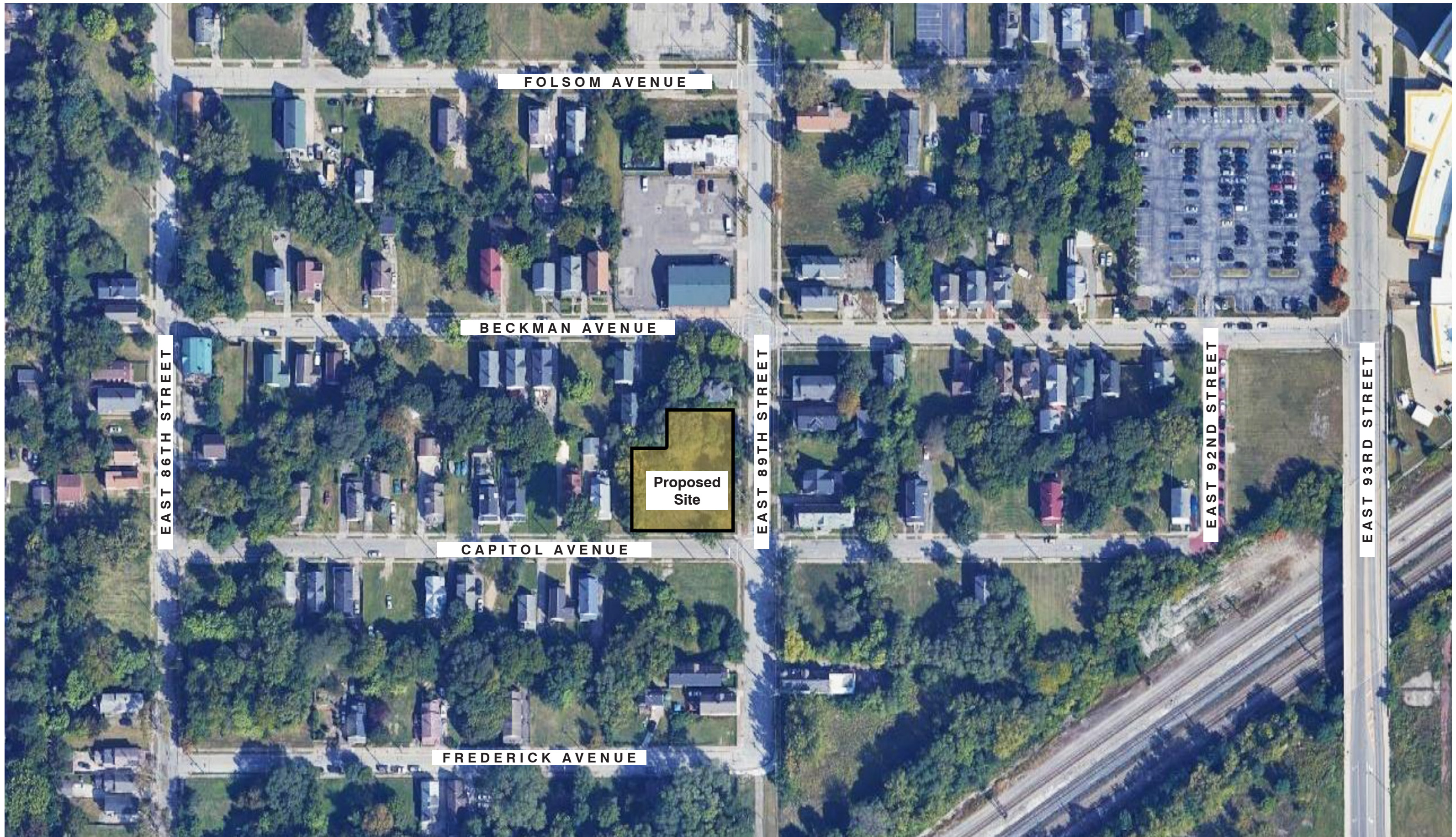
In addition to providing much-needed attainable housing, the project supports the local economy by prioritizing Cleveland-based contractors and small businesses whenever feasible. It aligns with the Fairfax Master Plan and broader Opportunity Corridor revitalization efforts by filling long-vacant parcels with new homes that strengthen density, walkability, and neighborhood stability. As long-term owners and managers, our team is committed to stewardship, responsible maintenance, and ongoing reinvestment in the community.

Overall, this development transforms underutilized land into safe, modern, and attainable homes while contributing to a cleaner, safer, and more connected E. 89th Street. Through strong partnerships, thoughtful design, and a commitment to the people of Fairfax, the project provides meaningful benefits for current residents, future tenants, and the long-term growth and stability of the neighborhood.

## Project Summary

**Unity Six**  
East 89th St. and Capitol Ave. Cleveland, Oh 44104





**Site Map** N ^  
**Unity Six**  
East 89th St. and Capitol Ave. Cleveland, Oh 44104





Southwest Corner



Northeast Corner



Southeast Corner



Southeast Corner

## Existing Conditions

Unity Six

East 89th St. and Capitol Ave. Cleveland, Oh 44104



Lot to the North



Lot to the East



Lot to the South



Lot to the West

## Existing Conditions

### Unity Six

East 89th St. and Capitol Ave. Cleveland, Oh 44104



89th/Capitol - Facing South



89th/Capitol - Facing North



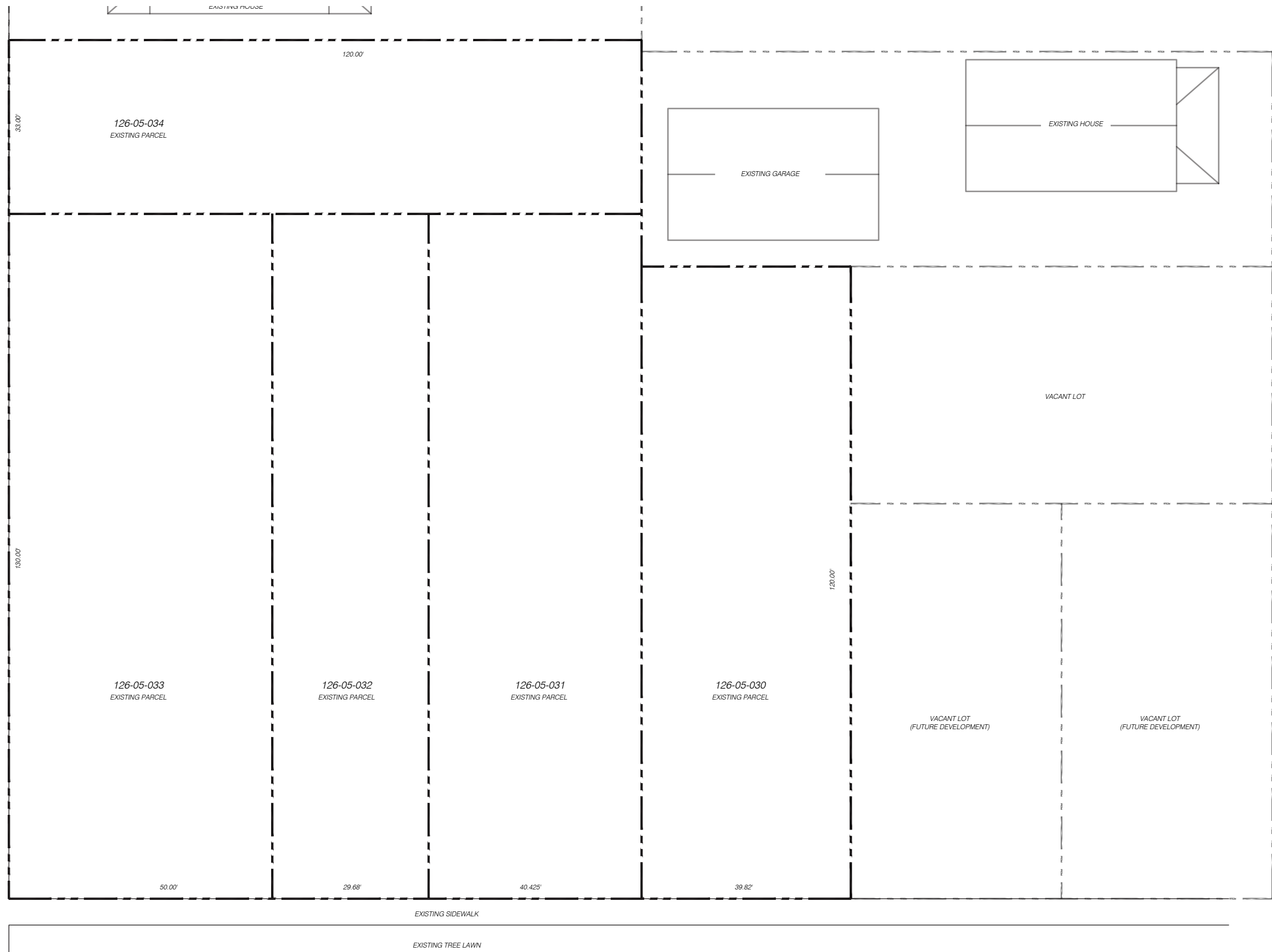
89th/Beckman - Facing South



89th/Beckman - Facing North

**89th St.**  
**Unity Six**  
East 89th St. and Capitol Ave. Cleveland, Oh 44104

CAPITOL AVENUE

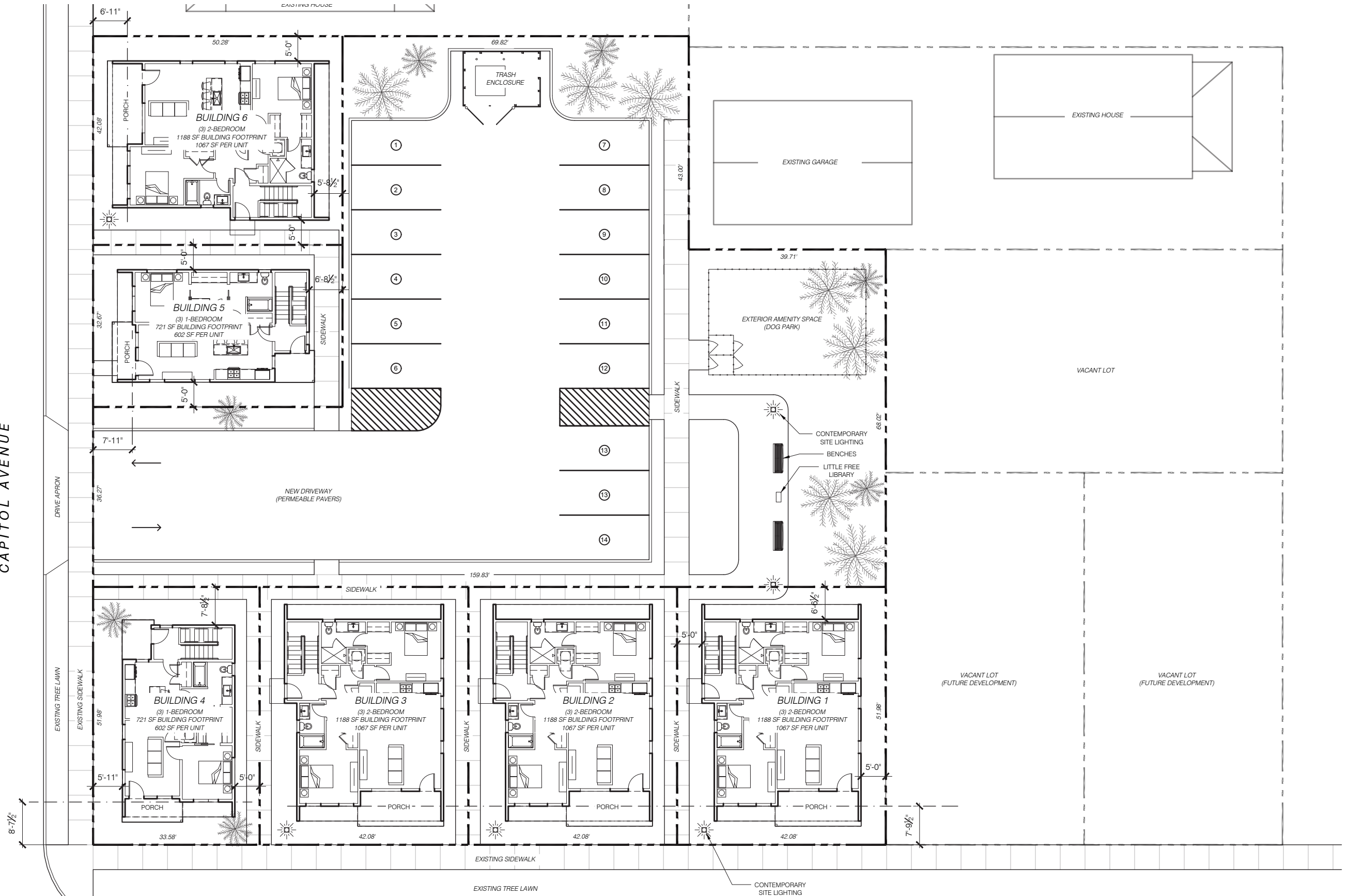


# Existing Site Plan N >

Unity Six  
East 89th St. and Capitol Ave. Cleveland, Oh 44104



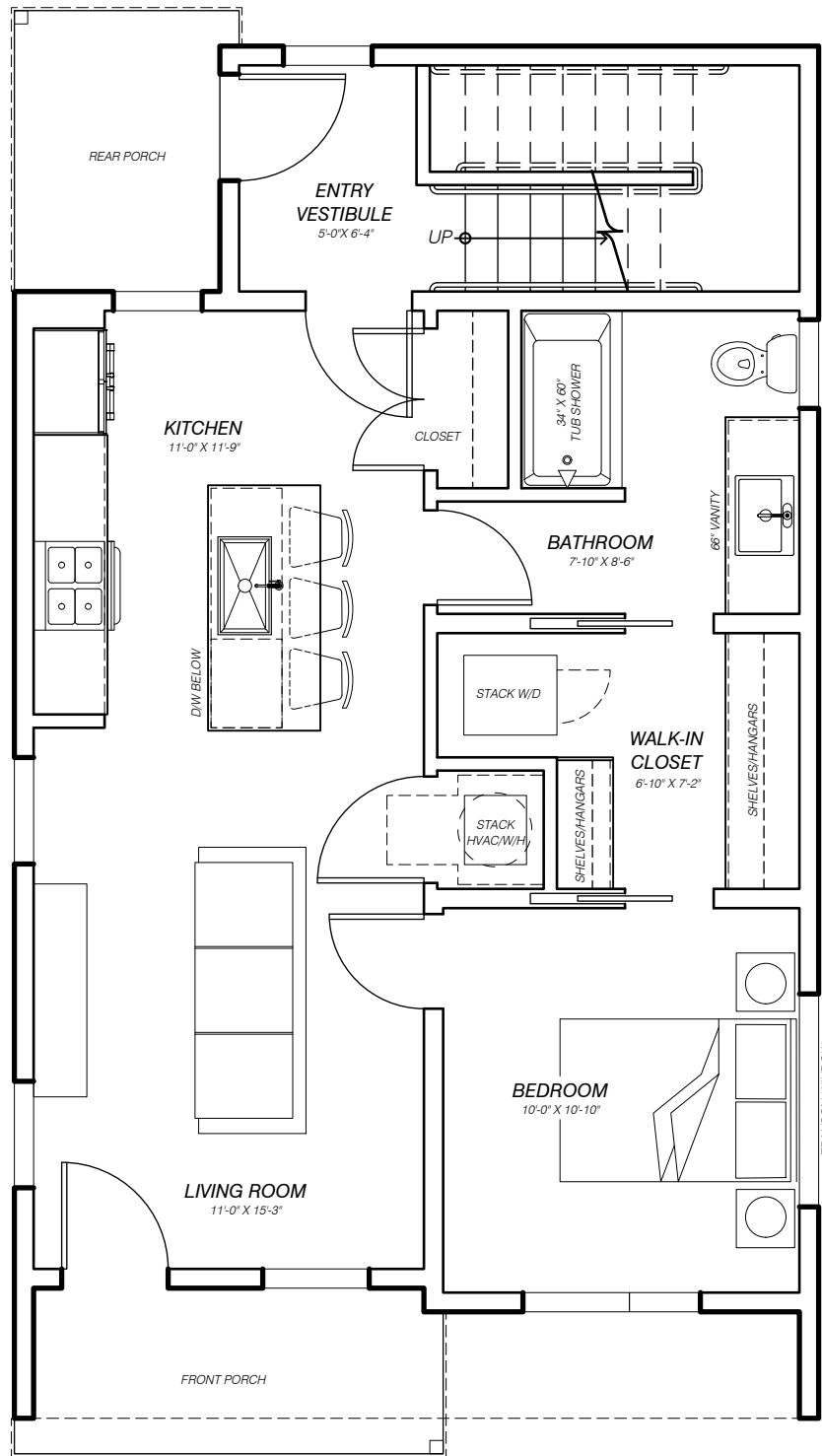
CAPITOL AVENUE



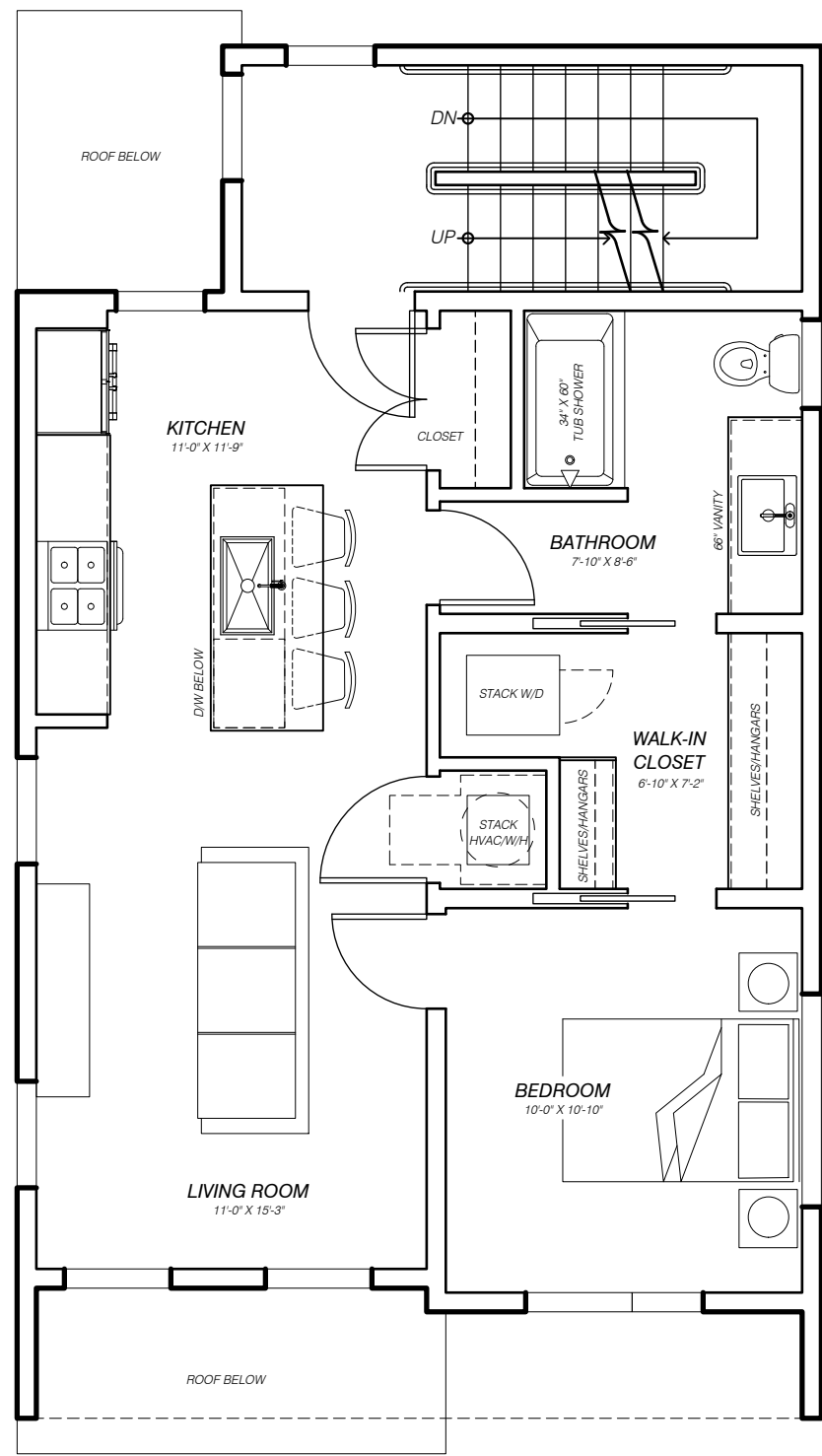
# Proposed Site Plan N>

Unity Six  
East 89th St. and Capitol Ave. Cleveland, Oh 44104

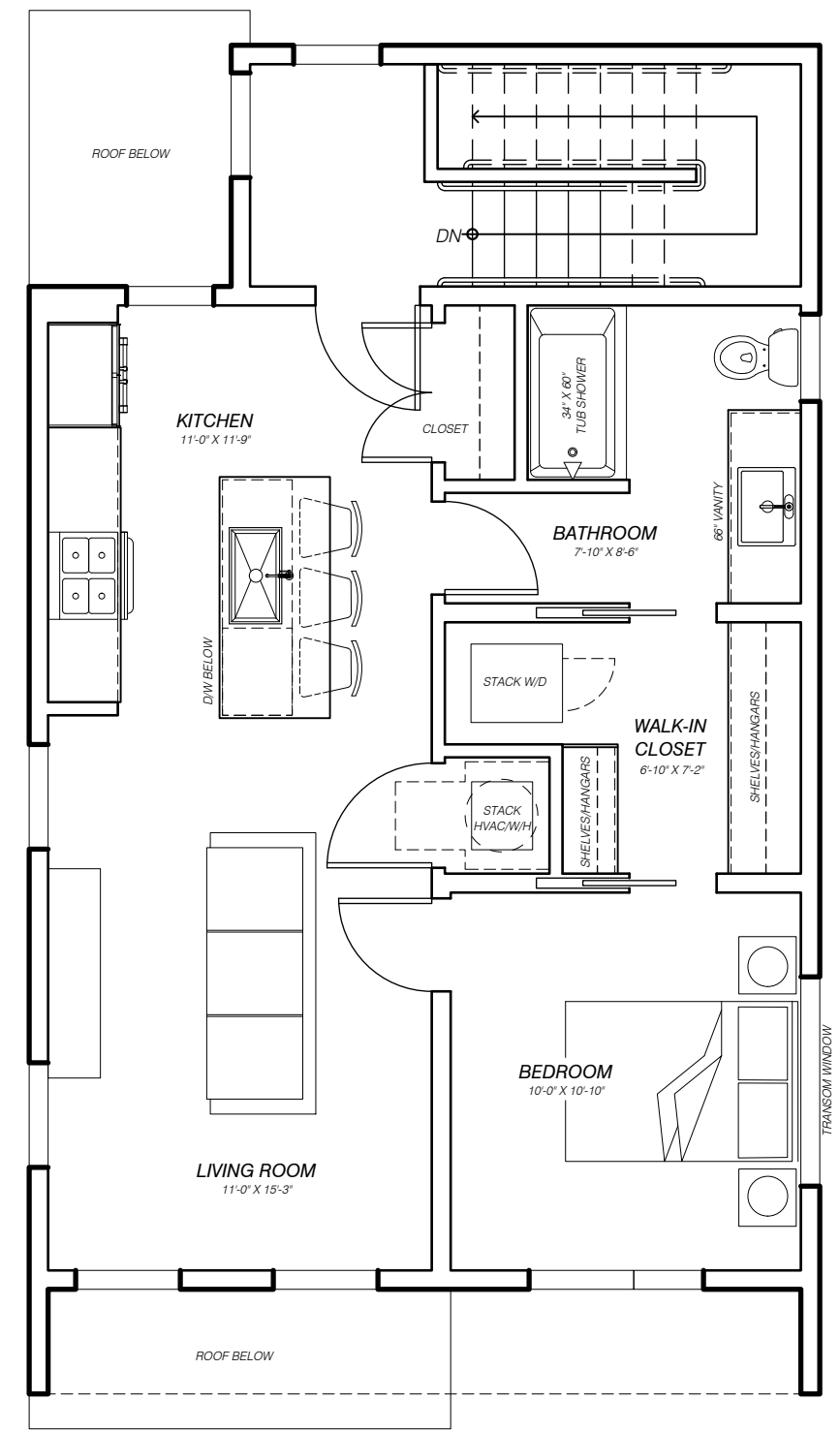




FIRST FLOOR PLAN  
SCALE: 3/16" = 1'-0"



SECOND FLOOR PLAN  
SCALE: 3/16" = 1'-0"

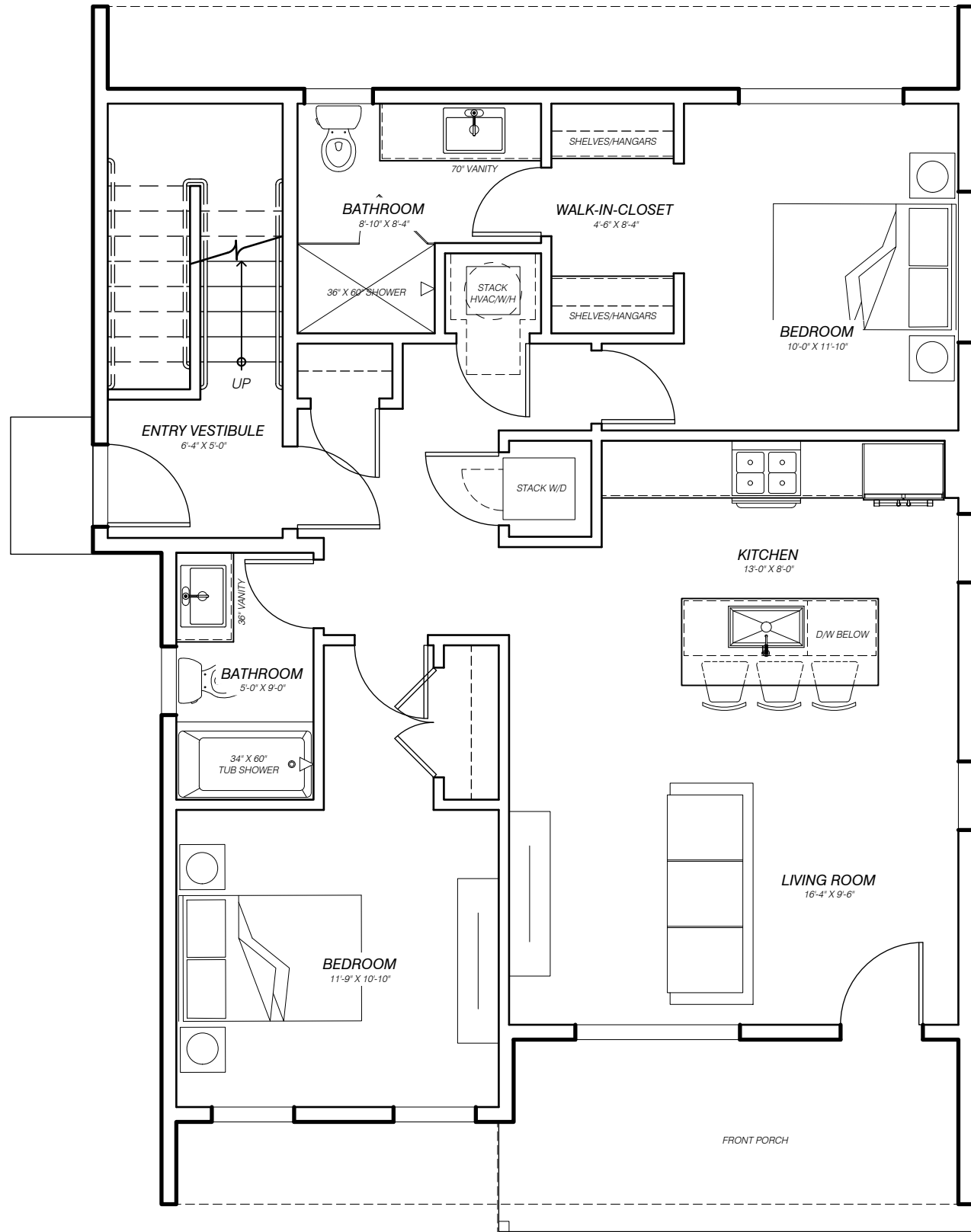


THIRD FLOOR PLAN  
SCALE: 3/16" = 1'-0"

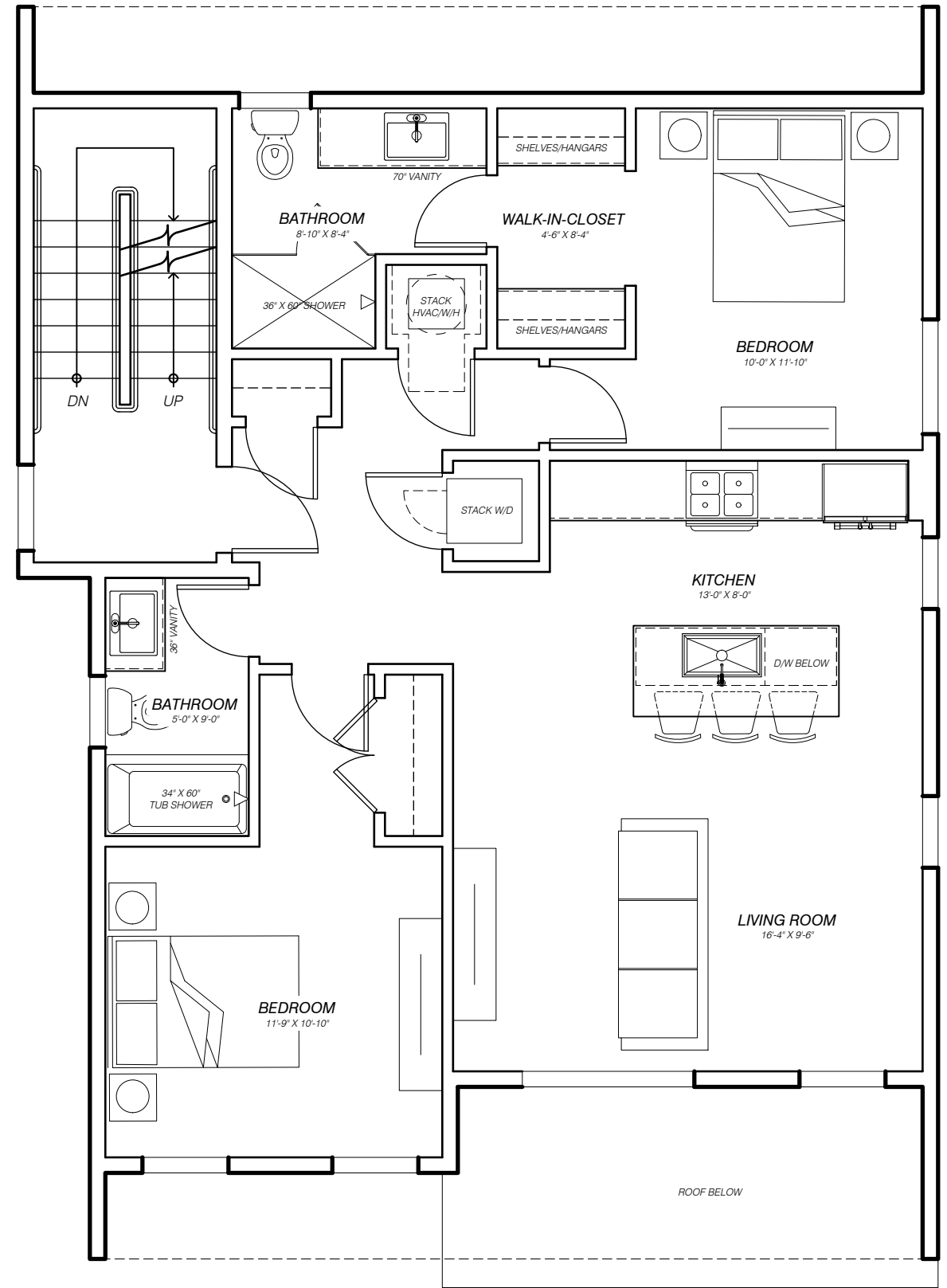
# Floor Plan - 1/1

## Unity Six

East 89th St. and Capitol Ave. Cleveland, Oh 44104



FIRST FLOOR PLAN  
SCALE: 3/16" = 1'-0"

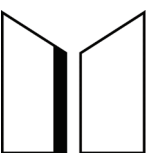


SECOND FLOOR PLAN  
SCALE: 3/16" = 1'-0"

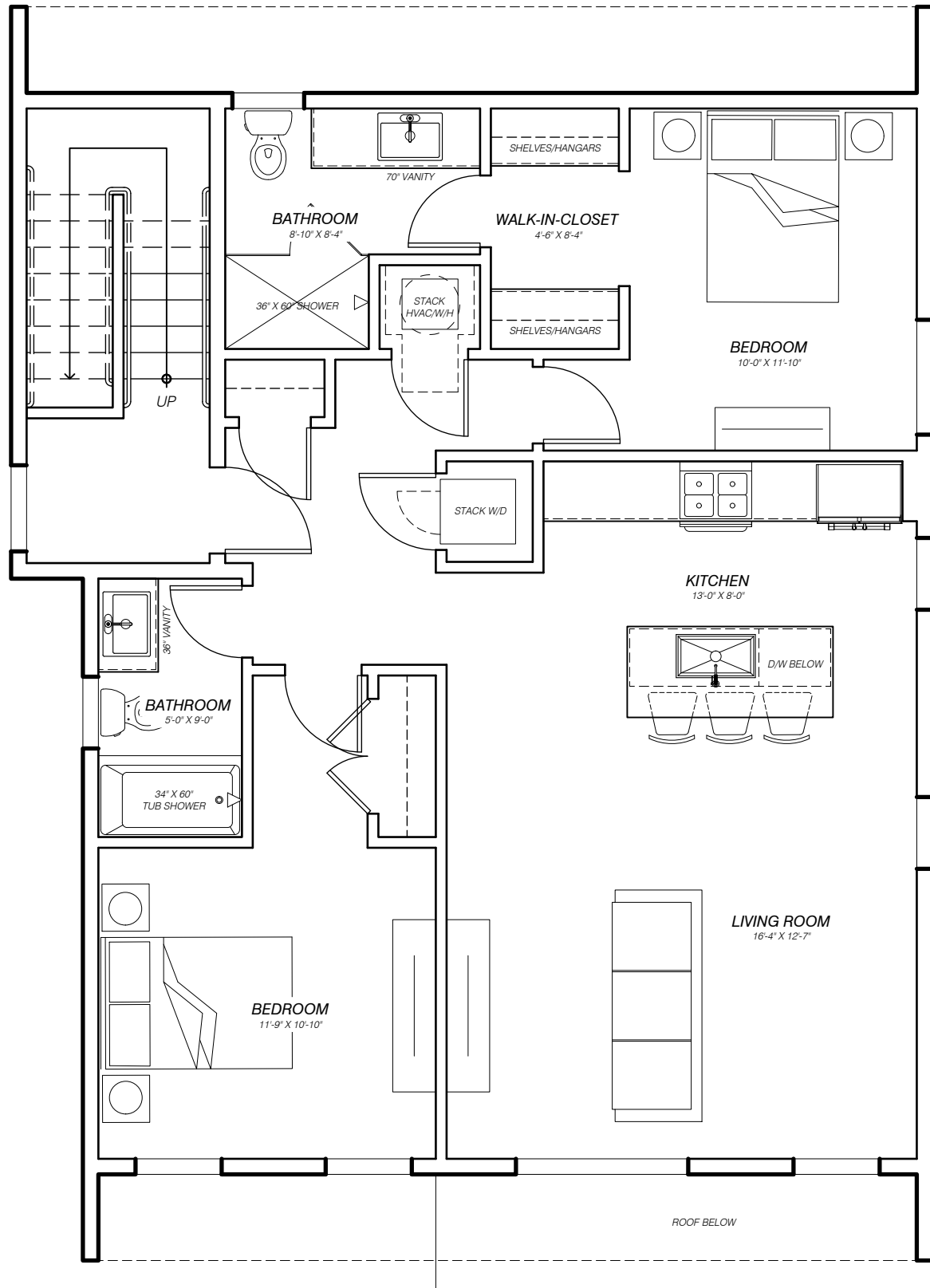
## Floor Plan - 2/2

### Unity Six

East 89th St. and Capitol Ave. Cleveland, Oh 44104



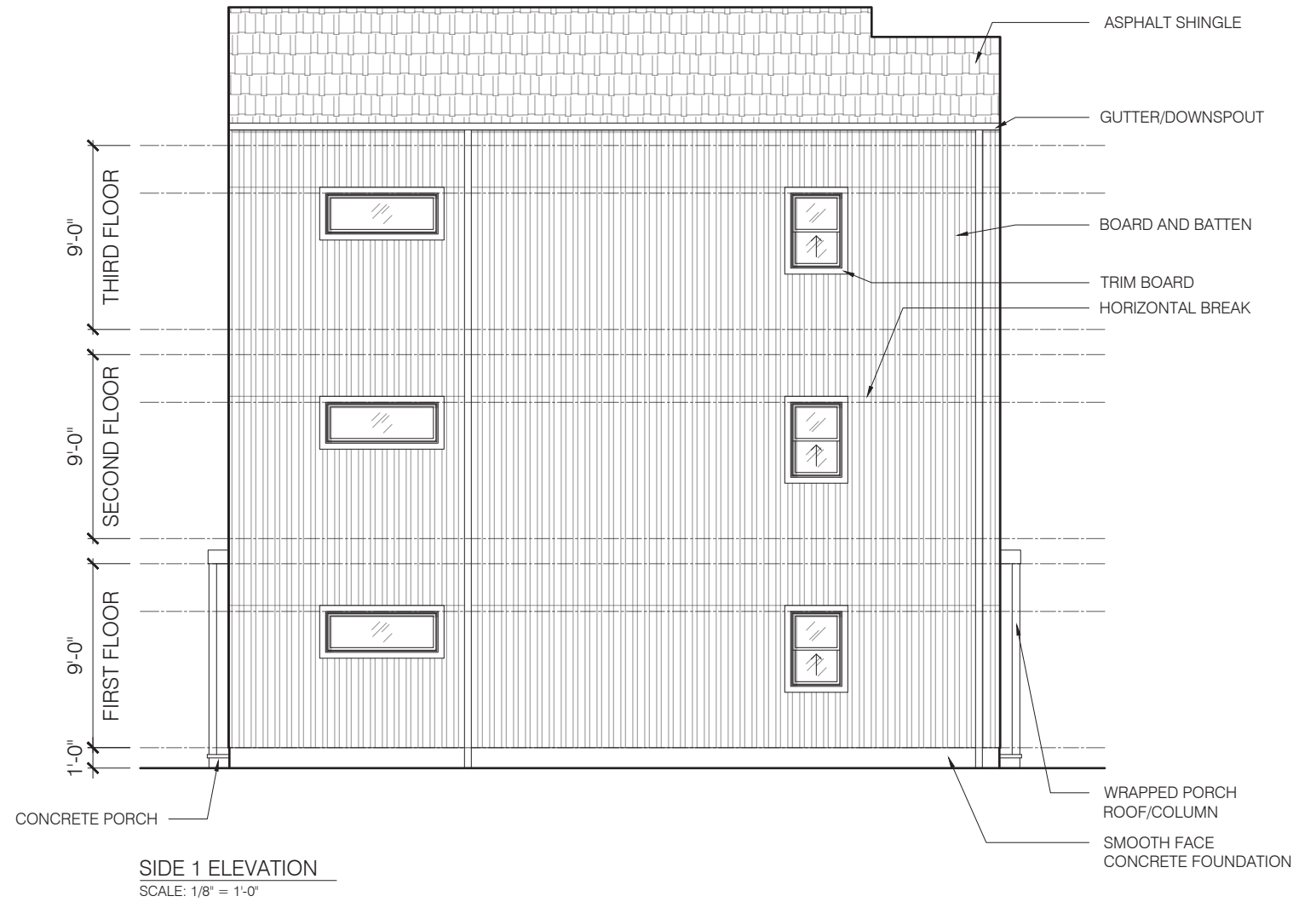
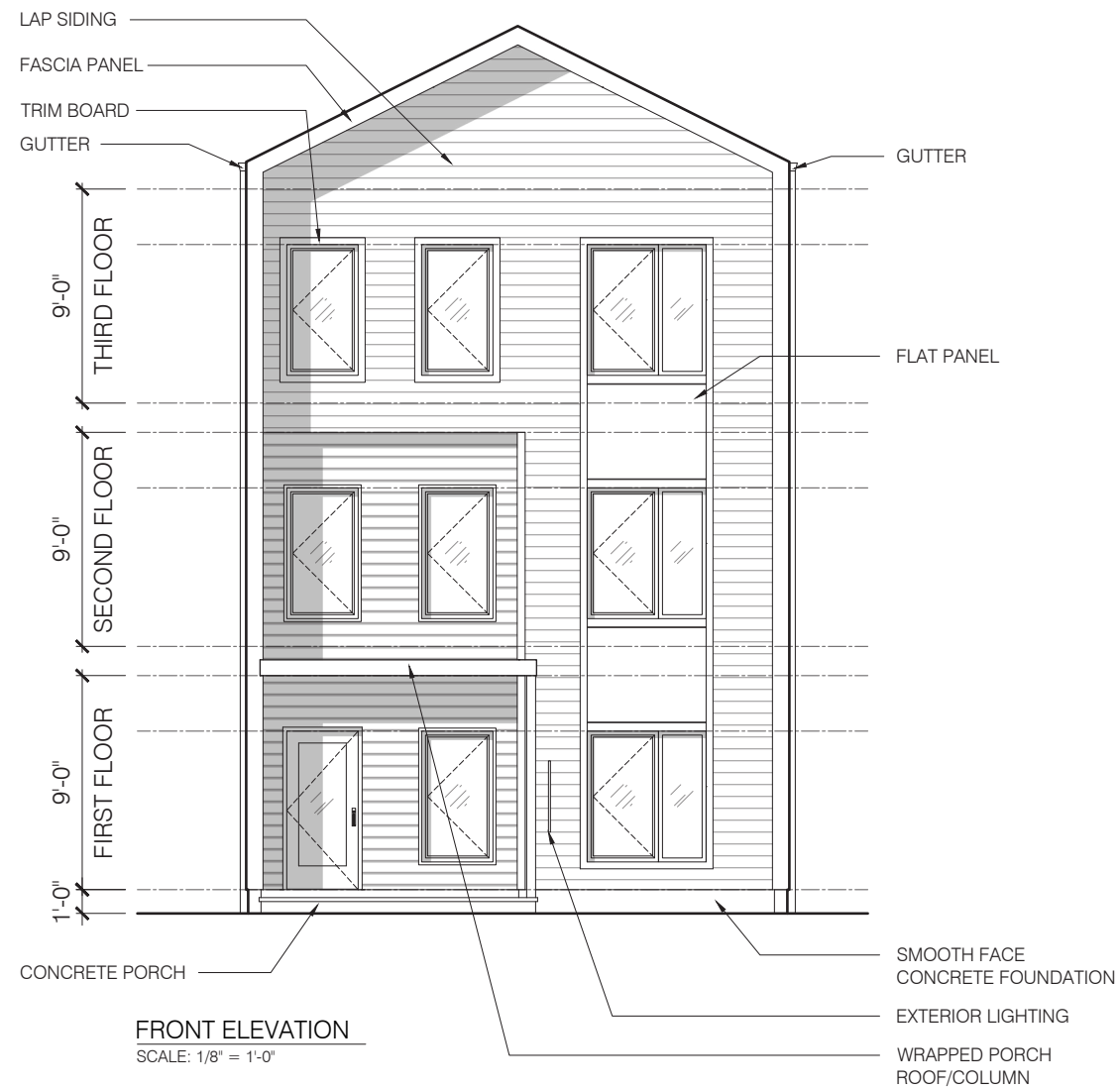
YOUNG  
DESIGN  
STUDIO



THIRD FLOOR PLAN  
SCALE: 3/16" = 1'-0"

**Floor Plan - 2/2**

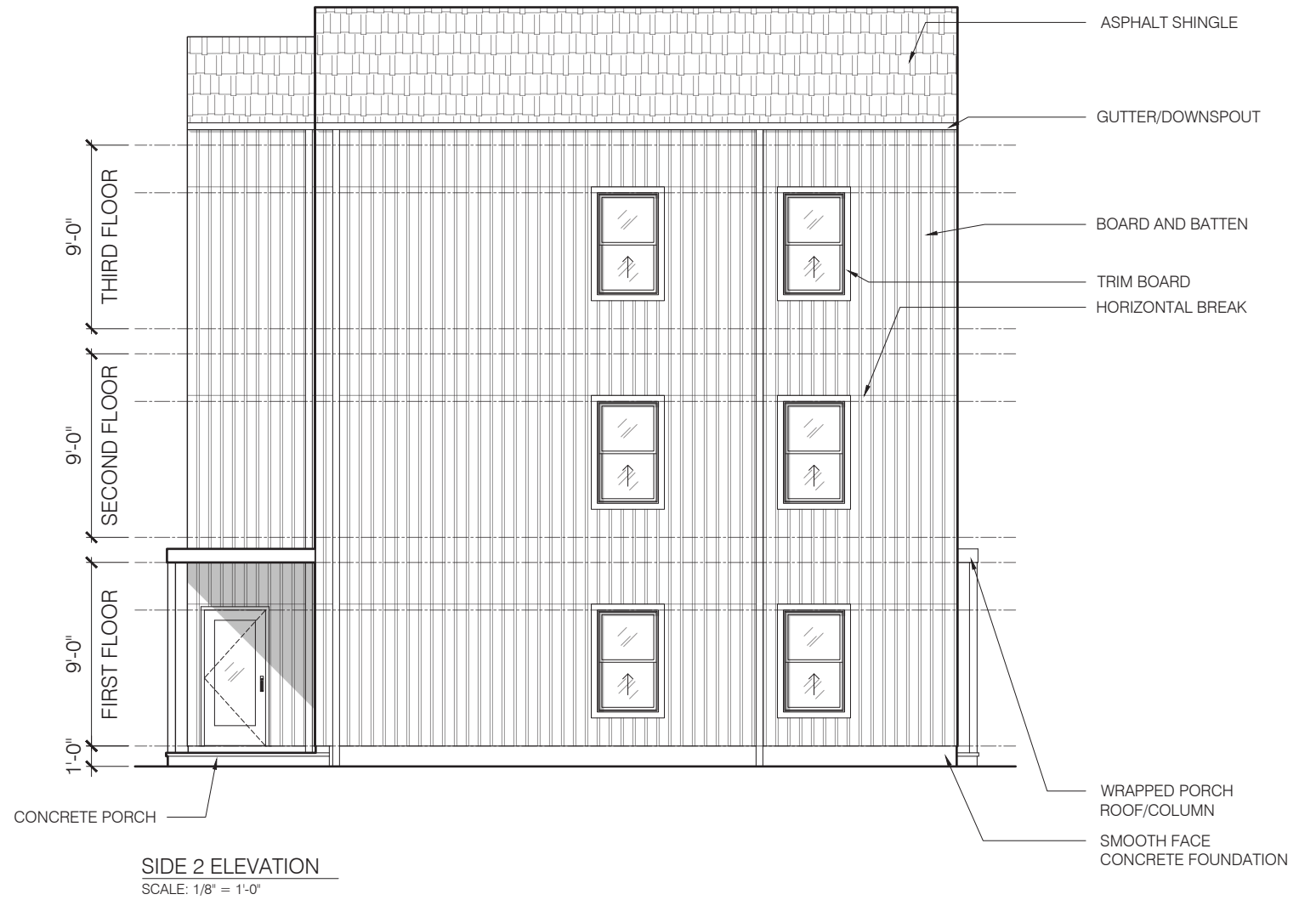
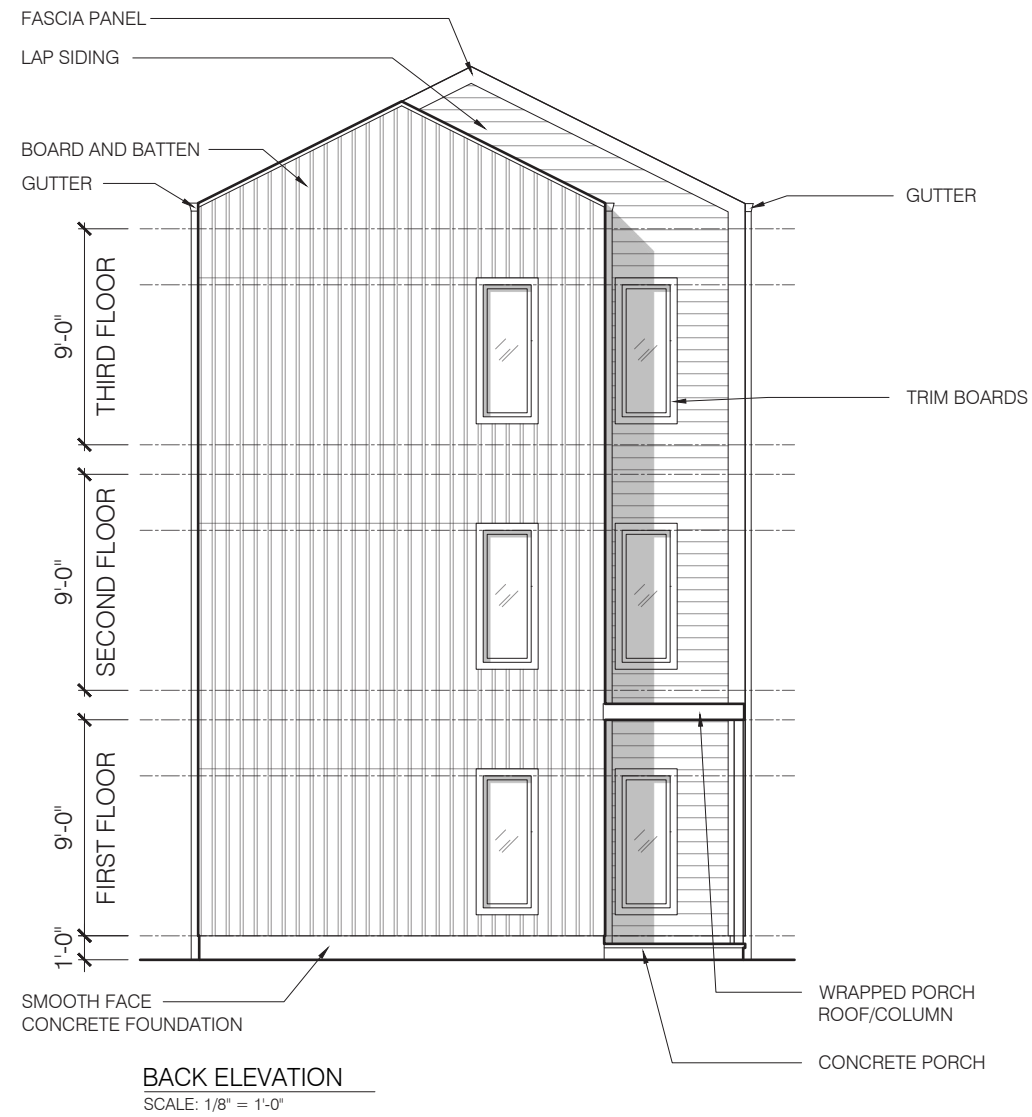
Unity Six  
East 89th St. and Capitol Ave. Cleveland, Oh 44104



## Elevations - 1/1

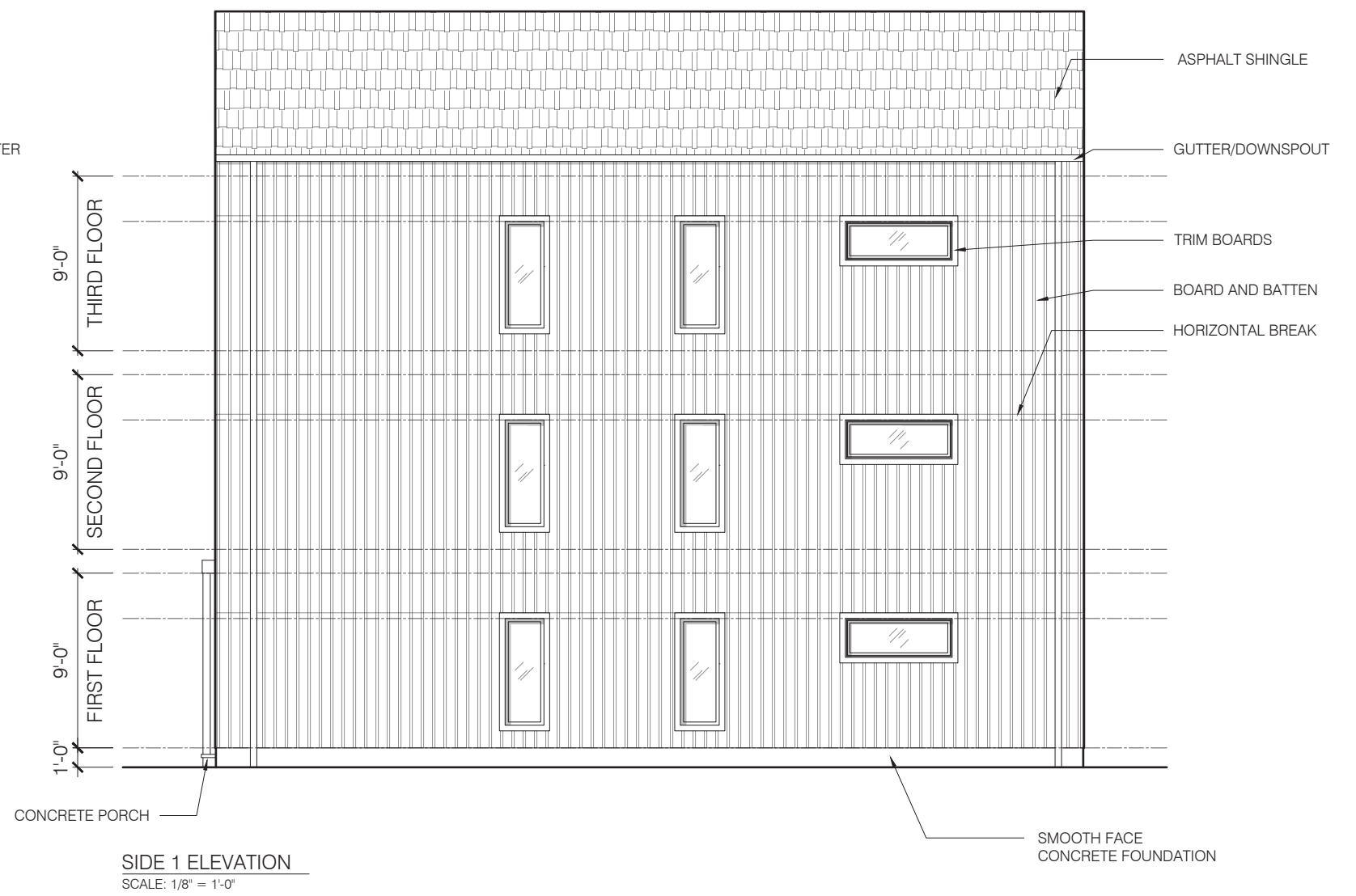
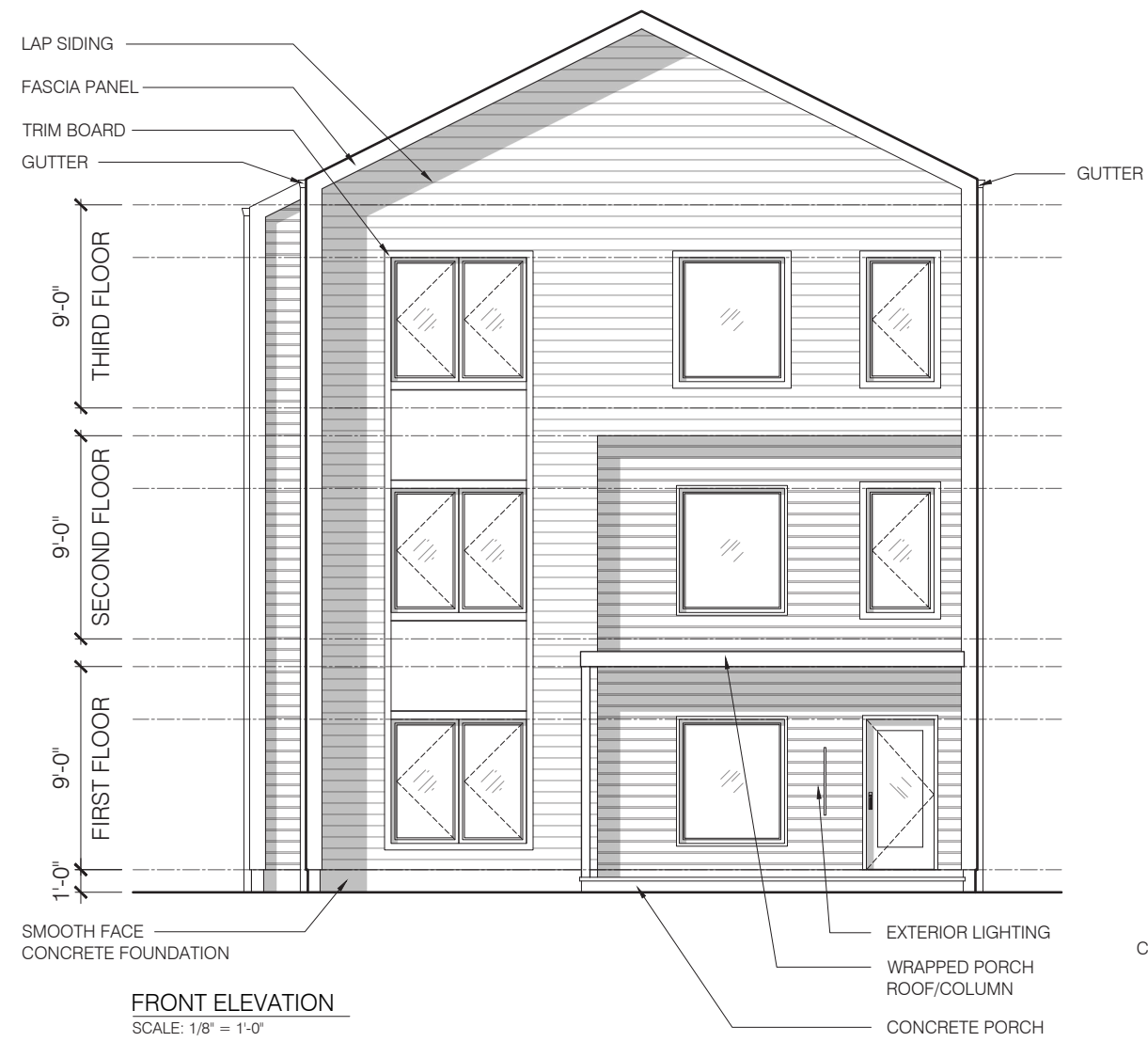
### Unity Six

East 89th St. and Capitol Ave. Cleveland, Oh 44104



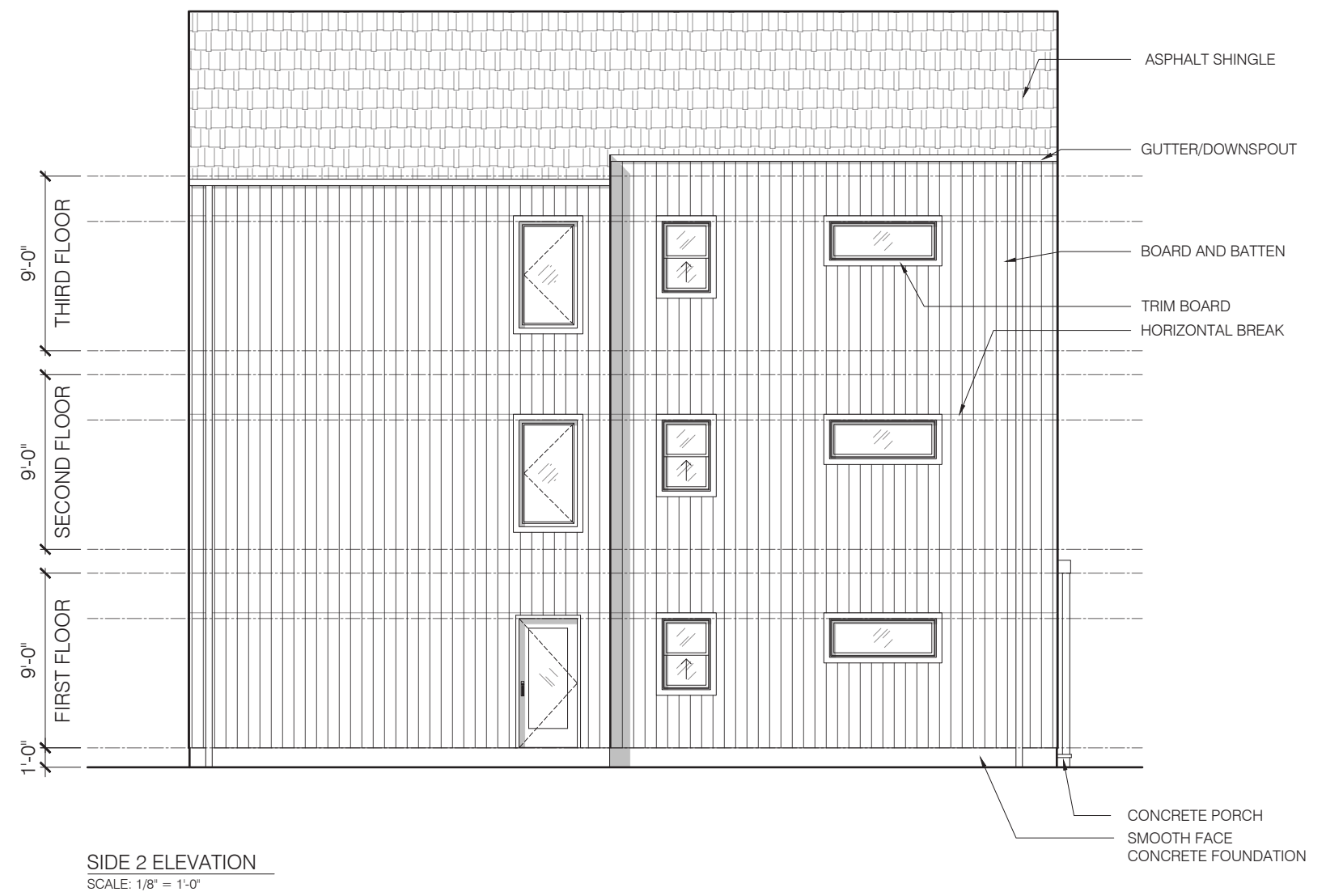
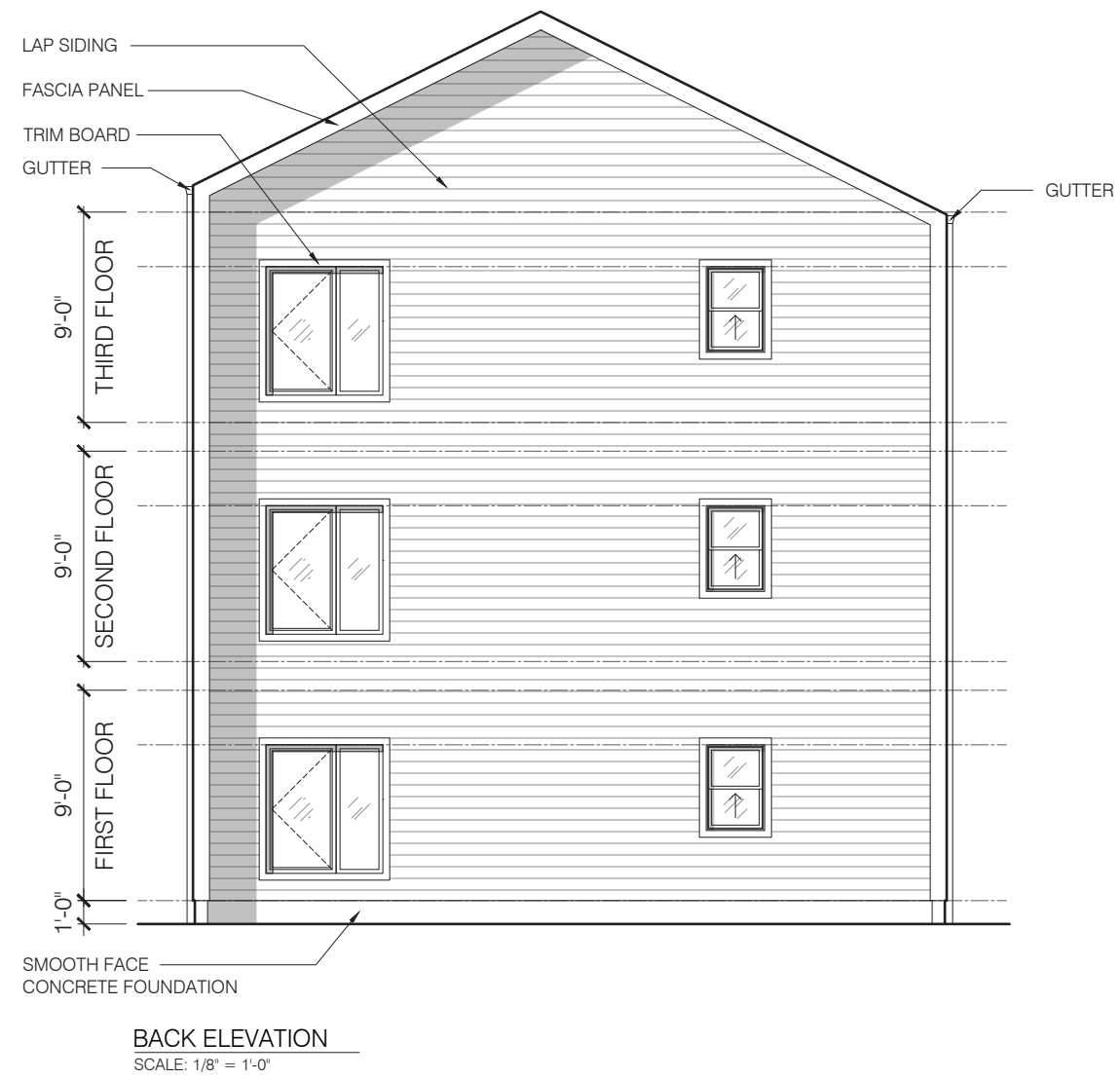
**Elevations - 1/1**

**Unity Six**  
East 89th St. and Capitol Ave. Cleveland, Oh 44104



**Elevations - 2/2**

**Unity Six**  
 East 89th St. and Capitol Ave. Cleveland, Oh 44104



**Elevations - 2/2**

**Unity Six**  
East 89th St. and Capitol Ave. Cleveland, Oh 44104



**Project Render - View from Capitol**

**Unity Six**

East 89th St. and Capitol Ave. Cleveland, Oh 44104



**Project Render - View from 89th**

**Unity Six**

East 89th St. and Capitol Ave. Cleveland, Oh 44104



**Project Render - Rear Lot**  
**Unity Six**  
East 89th St. and Capitol Ave. Cleveland, Oh 44104



**Project Render - Courtyard View**

**Unity Six**

East 89th St. and Capitol Ave. Cleveland, Oh 44104

## EC2025-040 – Unity Six

December 19, 2025

### Design Review Advisory Committee:

ECDRAC enthusiastically recommended conceptual approval on 12/18/25 with the conditions to study the following:

- fencing placement
- material finishes on building rear
- window patterning and window sizes on rear elevations

### City Planning Staff:

Staff supports this project. It will infuse this neighborhood with new and modern rental product for the area. We would also support a parking variance, if needed. This project has the potential to expand to adjacent vacant parcels.

# Cleveland City Planning Commission

## Downtown/Flats Design Review

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

December 19, 2025

## **DF2025-044** – 750 Prospect Billboard

December 19, 2025

Project Address: 750 Prospect Ave

Type: Signage – Nonconforming Billboard

Project Representative: Yumna Siddiqi, Orange Barrel Media

Approval: Final



ORANGE BARREL | MEDIA™

**750 Prospect - Cleveland, Oh**

**Planning Commission**

*December 19, 2025*

# DIGITAL CONVERSION - OVERVIEW

## EXISTING STATIC



### Specifications:

- 75.5' W X 56.0' H (4240 SF) Vinyl Banner

## PROPOSED DIGITAL



### Specifications:

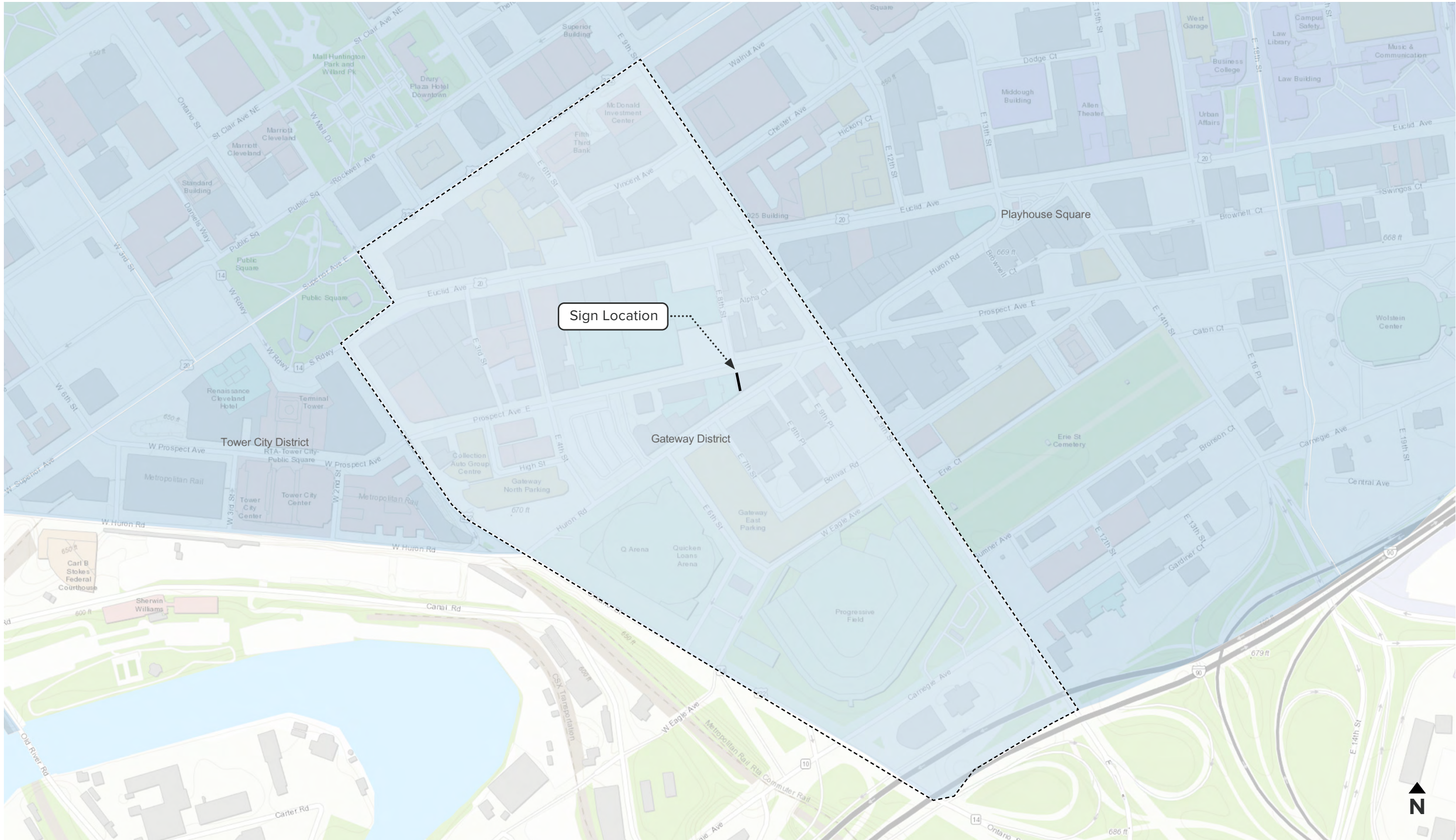
- 75.0' W X 25.0' H (1875 SF) LED
- Color kinetic light wash all sides is programmable and dimmable. Fixtures concealed behind LED.
- New internally illuminated media operator identification placard. 2'H x 14'W. Remove existing placard.
- Patch wall as required and repaint to match adjacent facades.

## DIGITAL CONVERSION - COMMUNITY BENEFITS

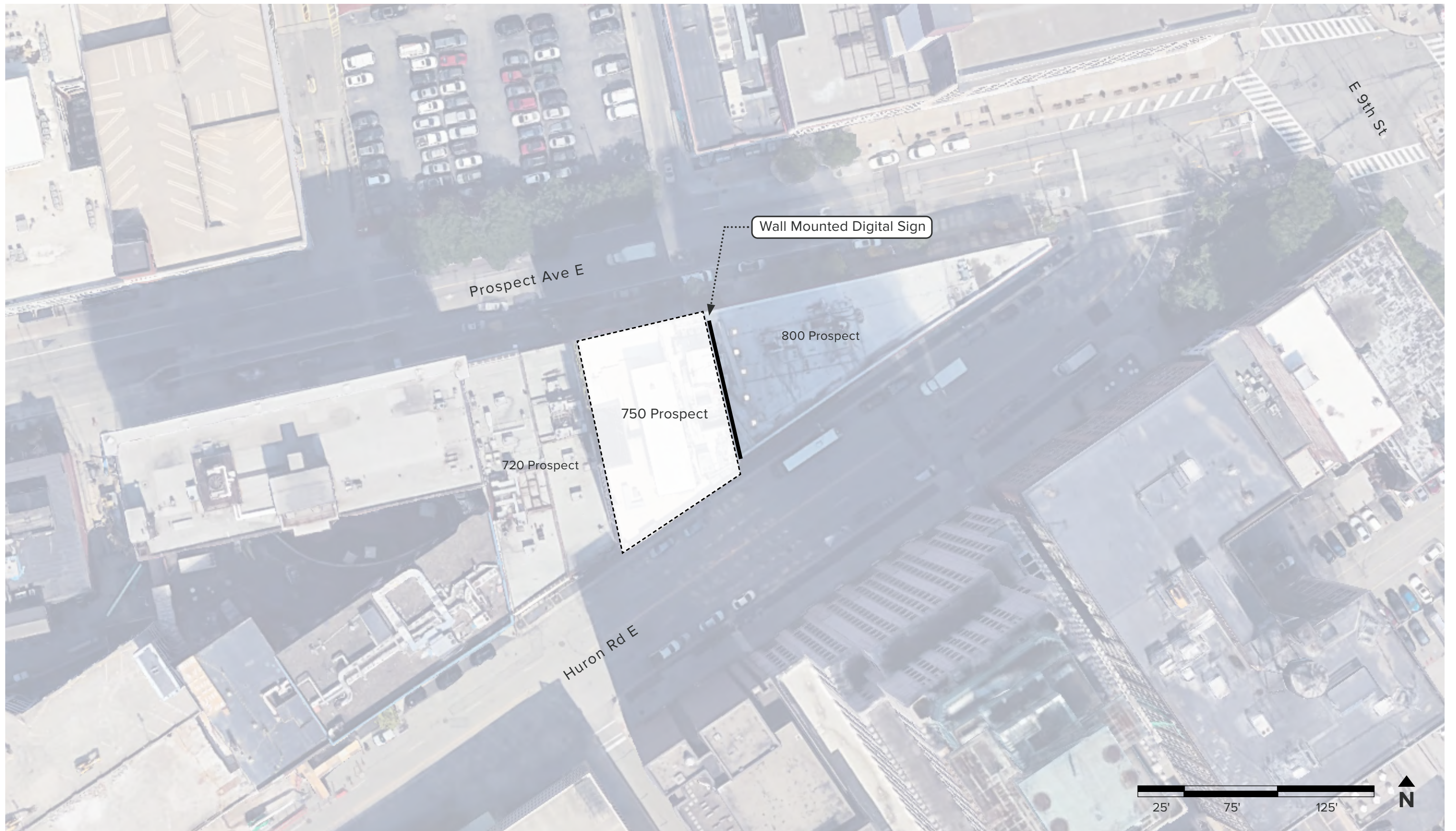
- Proposal replaces an existing 4,250 SF static sign at 750 Prospect Ave with a new digital sign at 1,875 SF digital sign.
- 20% of display time on the digital screen will be dedicated to art and community content curated by OBM's Community Engagement team in partnership with City stakeholders.
- Any unsold time on the digital screen will also be dedicated to art and community content.
- OBM's Community Engagement team is dedicated to developing key partnerships with internationally recognized and local artists, as well as museums, art institutions, and curators, to activate art in highly visible areas.
- Billboard is accented with color kinetic lighting which can be programmed to match screen content, or to celebrate local events and holidays.



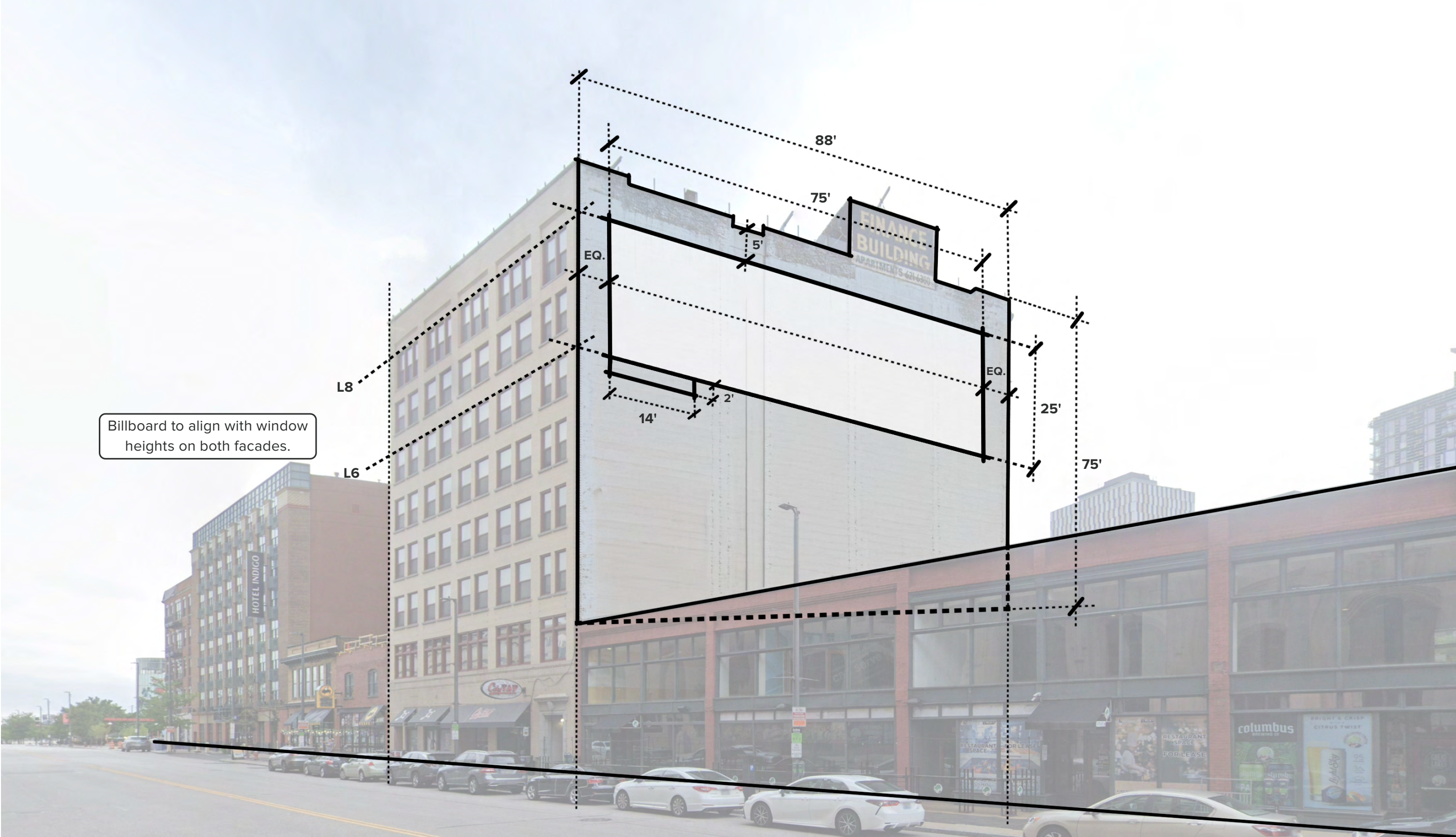
# SITE LOCATION MAP (DISTRICT LEVEL)



# SITE PLAN



# DIMENSIONS AND ALIGNMENT



# EXISTING SIGN

WESTBOUND HURON RD E



# PROPOSED DIGITAL SIGN

WESTBOUND HURON RD E



# EXISTING SIGN

WESTBOUND PROSPECT AVE E



# PROPOSED DIGITAL SIGN

WESTBOUND PROSPECT AVE E



## COMMUNITY ENGAGEMENT

The Community Engagement team at Orange Barrel Media partners with local nonprofits, civic groups, and cultural organizations to amplify community initiatives through our Public Benefit program. By working with city leaders, we ensure our media platforms celebrate local culture, support businesses, and share each city's unique story.

### OBM currently works with the following organizations and artists in Cleveland:

- Center for Arts - Inspired Learning
- Brite Winter
- Artist Run the Streets (Cleveland Arts & Music Festival)
- City of Cleveland / For Art Sake Cle
- Destination Cleveland
- ETHOS
- FRONT International
- MOCA Cleveland

### OBM currently works with the following organizations and artists in Ohio:

- |   |   |
|---|---|
| <ul style="list-style-type: none"> <li>• Cincinnati Art Academy</li> <li>• Dress For Success (Cincinnati &amp; Columbus)</li> <li>• Maroon Arts</li> <li>• A Tribe for Jazz</li> <li>• Furniture Bank of Central Ohio</li> <li>• YWCA Columbus</li> <li>• Pointdexter Village Museum &amp; Culture Center</li> <li>• Homeport</li> <li>• Wild Goose Creative</li> <li>• Neighborhood Design Center</li> <li>• CMHA</li> <li>• Pointdexter Village Museum &amp; Culture Center</li> <li>• Greater Columbus Arts Council</li> <li>• Stonewall Columbus</li> </ul> | <ul style="list-style-type: none"> <li>• Columbus College of Arts &amp; Design (CCAD)</li> <li>• Thiossane Institute</li> <li>• Columbus Music Commission</li> <li>• Flying Horse Farms</li> <li>• Greater Columbus Arts Council (GCAC)</li> <li>• Minority Autism Connection</li> <li>• Maryhaven</li> <li>• A Kid Again</li> <li>• Boys &amp; Girls Club</li> <li>• IMPACT Community Action</li> <li>• Center for Healthy Families</li> <li>• St. Stephens Community House</li> <li>• Star House</li> <li>• Wexner Center for the Arts</li> </ul> |
|---|---|



# COMMUNITY ENGAGEMENT - LETTERS OF SUPPORT

## For Arts Sake

December 15, 2025

City of Cleveland  
City Planning Commission  
601 Lakeside Avenue, Room 501  
Cleveland, Ohio 44114

**Dear City Planning Commission:**

On behalf of **For Arts Sake**, I am pleased to express our strong support for **Orange Barrel Media's** proposal to replace the existing static sign at **750 Prospect Ave** with a dynamic and innovative digital display. As a pillar of this community celebrating the intersection of art, community and purpose, we understand the importance of initiatives that honor Cleveland's rich legacy while embracing forward-thinking advancements that elevate our cultural and artistic landscape.

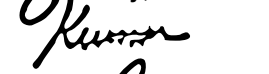
For more than two decades, Orange Barrel Media has redefined public spaces through creative design and cutting-edge technology. As the city's leading out-of-home media provider, their work not only enhances Cleveland's visibility but also fosters local vibrancy and strengthens community engagement. Their commitment to serving the public aligns closely with our mission to empowering diverse voices, fostering a sense of belonging, and addressing the evolving needs of the community through art.

Our collaboration with Orange Barrel Media has directly benefited our organization and the broader community. Their support for programs such as our Artist Run the Street exhibition and I'm From Cleveland Arts & Music Festival demonstrates their genuine dedication to enriching Cleveland's cultural fabric and ensuring that all residents—regardless of background—have access to creative, educational, and inspiring experiences.

The proposed digital sign at 750 Prospect Ave represents an exciting opportunity to further uplift Cleveland's creative identity. More than just a display, it will serve as a dynamic platform for visual storytelling—celebrating local artists, amplifying community voices, and expanding public access to culturally relevant content.

We appreciate your consideration of this proposal and look forward to the positive impact this initiative will bring to our city.

Sincerely,



**Kuma Arora**  
Chief Executive Officer  
Arora Ventures

## Center for Arts-Inspired Learning



December 13, 2025

City of Cleveland  
City Planning Commission  
601 Lakeside Avenue, Room 501  
Cleveland, Ohio 44114

**Chief Executive Officer**  
Emma Parker

### Board of Directors

Greg Shaw, Chair  
Dr. Tamara Fletcher, Vice Chair  
Nick Hylant, Secretary  
Kyle McKinney, Treasurer  
Sherrie Massey, Strategic Impact & Equity Co-Chair  
Lavone Lee, Strategic Impact & Equity Co-Chair  
Meghan McDonnell, Fundraising Chair

Edmund W. Appleton  
Connie Edwards  
Jennifer Goings Smith  
Bakita Hill  
Chris Howse  
Cara Jablonski  
Katherine Poldneff  
Nate Price  
Leah Ridgeway Jackson  
Jeanne Shatten

**Dear City Planning Commission:**

On behalf of Center for Arts-Inspired Learning, I am pleased to express our strong support for Orange Barrel Media's proposal to replace the existing static sign at 750 Prospect Ave with a dynamic and innovative digital display. As a pillar of this community for more than 70 years, we understand the importance of initiatives that honor Cleveland's rich legacy while embracing forward-thinking advancements that elevate our cultural and artistic landscape.

For more than two decades, Orange Barrel Media has redefined public spaces through creative design and cutting-edge technology. As the city's leading out-of-home media provider, their work not only enhances Cleveland's visibility but also fosters local vibrancy and strengthens community engagement. Their commitment to serving the public aligns closely with our mission to champion creative learning, drive educational innovation, and transform lives through collaborative efforts involving teaching artists, students, educators, and communities.

Our collaboration with Orange Barrel Media has directly benefited our organization and the broader community. Their support for programs such as our Play It Forward!® Cleveland instrument drive, ArtWorks Live! Youth Arts Fest, and summer youth programming demonstrates their genuine dedication to enriching Cleveland's cultural fabric and ensuring that all residents—regardless of background—have access to creative, educational, and inspiring experiences.

The proposed digital sign at 750 Prospect Ave represents an exciting opportunity to further uplift Cleveland's creative identity. More than just a display, it will serve as a dynamic platform for visual storytelling—celebrating local artists, amplifying community voices, and expanding public access to culturally relevant content.

We appreciate your consideration of this proposal and look forward to the positive impact this initiative will bring to our city.

Warm regards,



Emma Parker M.A.Ed  
Chief Executive Officer

10917 Magnolia Drive, Cleveland OH 44106  
T: 216-561-5005  
W: [arts-inspiredlearning.org](http://arts-inspiredlearning.org)



Affiliated with the national Young Audiences  
Arts for Learning network

OBM ARTS CURATION - SUNSET SPECTACULAR



Cauleen Smith



Chris Vargas



Pillotti Rist



Nick Cave

OBM ARTS CURATION - ATLANTA



Sarah Neuburger



Neon Cardigan



For Freedoms



Tomashi Jackson



Advertiser: Playstation



Artist: Rashaad Newsome

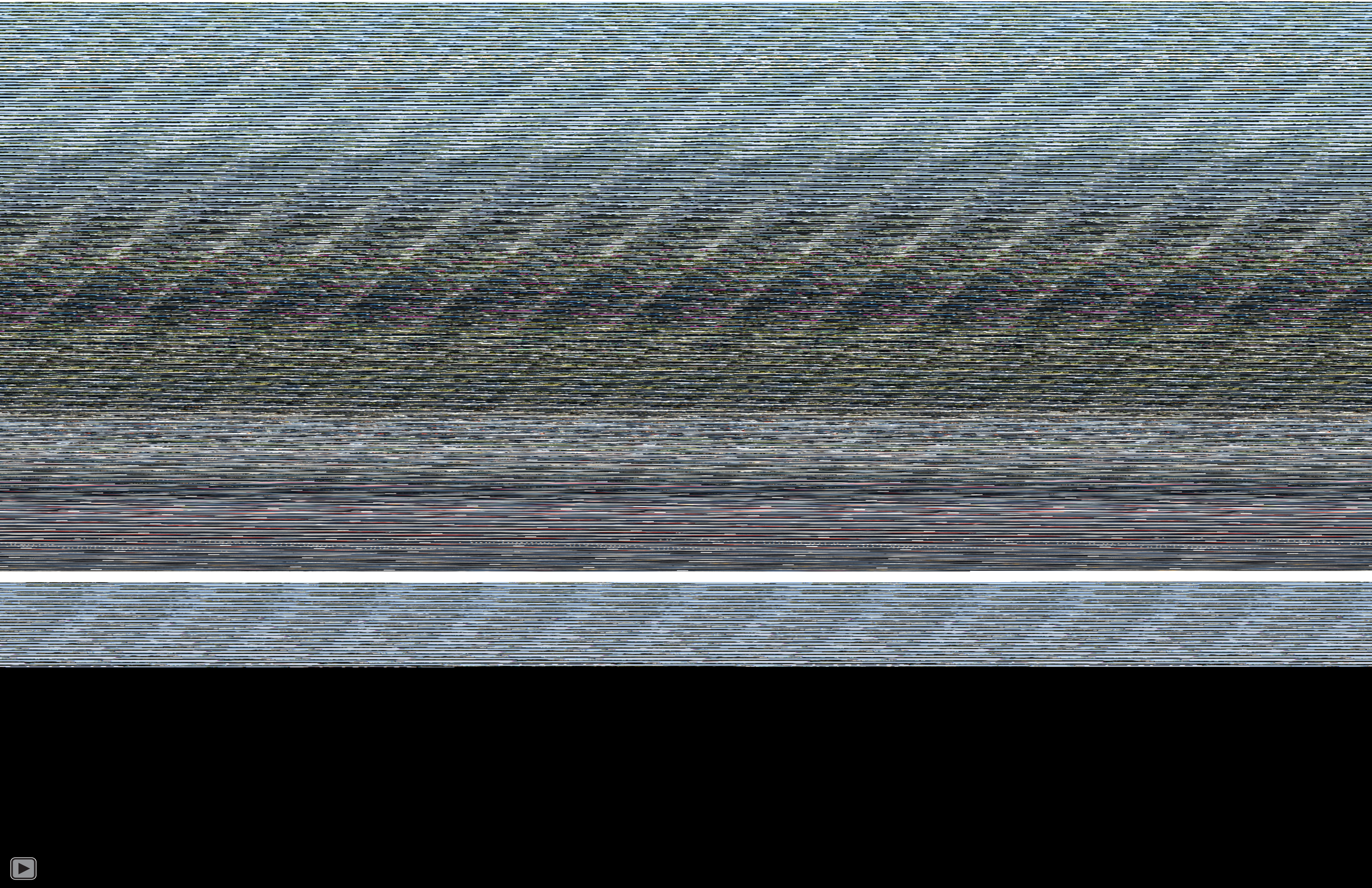


CLICK  
TO  
PLAY



CLICK  
TO  
PLAY





## OPERATIONS AND MAINTENANCE

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OBM shall be responsible for repair and maintenance issues related to the signage. OBM works with experienced in-market vendors to perform ongoing maintenance and repairs.

- **Brightness Control:** Display brightness is controlled through an ambient brightness sensor which reacts to the existing brightness condition and adjusts the LED display accordingly. Sign luminance shall adjust gradually throughout the day: a maximum of 2,400 candelas in the daytime (sunrise until 20 minutes to sunset), a maximum of 300 candelas per meter squared in the evening in the event that the ambient sensor is malfunctioning, OBM can remotely access the direct controls and adjust the brightness to an appropriate level.

The nighttime measure of 300 candelas per meter squared (or 300 nits) is the luminous intensity at the sign face and is roughly equivalent to the output of a desktop monitor.

A photometric light study will be provided to show the lighting impact on the surrounding area. OBM will comply with the standard dictated by many municipal codes, a maximum of 0.3FC at 300 ft from the sign.

- **Technology:** OBM will install a high-resolution screen LED (8mm pixel pitch) capable of carrying a variety of engaging content.

The LED surfaces will consist of independent LED modules attached to a manufacturer provided subframe. The LED design will allow for replacement and/or maintenance of the LED modules to ensure reliable performance.

- **Audio:** Sign does not include audio.
- **Maintenance:** During normal business operation, any non-physical, LED repairs are started remotely within 12 business hours of issue identification. If the issue cannot be resolved remotely within 8 business hours, then a service technician will be dispatched within 24 business hours for physical repairs.
- **Software Updates:** Our LED signage is remotely programmable and upgraded. Our software-agnostic hardware allows for the continued integration of new technologies and ensures our features stay on the cutting edge of LED trends.

## PRECEDENT PROJECTS

OBM operates digital signage in heavily trafficked downtown environments throughout the country. Two examples of sites at busy intersections are provided below.  
For comparison, 750 Prospect has 400,111 weekly Geopath Impressions.



### SUNSET & LA CIENEGA, WEST HOLLYWOOD

This digital sign is located where La Cienega Blvd ends at Sunset Blvd. Location has 2,670,610 Weekly Geopath Impressions.



### PEACHTREE ST & FORSYTH, ATLANTA

This digital sign is located where Forsyth merges into Peachtree St. An intersection similar to 750 Prospect. Location has 256,783 Weekly Geopath Impressions.

## NEXT STEPS

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The following items will be included in the final approval submission.

- **Design Process Documentation:** OBM Studio will share a more detailed narrative with Downtown/Flats Design Review Advisory Committee.
- **Photometric Analysis:** OBM is preparing a neighborhood photometric study.
- **Landscape Improvements:** OBM is working with planning and zoning staff to resolve the code required Landscape Improvement requirement.



# Thank You

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**OB|M STUDIO**



CITY OF CLEVELAND  
Mayor Justin M. Bibb

Cleveland City Planning Commission

# 750 Prospect Billboard Reconstruction

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## Staff Report

*December 11, 2025*



# Staff Report Overview

- Code Context & Requirements
- Site/Landscape Requirements & Streetscape Improvements
- Arts & Technology Innovation



# § 350.10 Billboards

## Code Context - Newly Constructed Billboard Restrictions:

- **(a) Zoning Districts:** Only allowable in General Industry & Unrestricted Industry, or in Semi-Industry if directed toward a freeway. (Located within General Retail Business)
- **(c) Size:** Maximum 820 sqft (1875 sqft proposed)
- **(d) Height:** Maximum 50' above roadway ( ~70' proposed)
- **(e) Spacing:** Minimum 1000' from adjacent billboards (480' to east & 840' to west)
- **(g) Distance from Zoning Districts:** Minimum 200' + 1' / each 1' additional sqft over 380 sqft (Located within General Retail Business)
- **(j) Illumination:** Internally-illuminated, back-lit, and automatic changeable copy prohibited (LED automatic changeable copy proposed)



## § 350.10 Billboards

- **(1) Existing Non-conforming Billboards:** “...may be replaced or may be reconstructed to an extent greater than otherwise permitted if the City Planning Commission determines that such replacement or reconstruction will satisfy the following conditions:
  - (1) *Site and Design Improvements.*
  - (2) *Degree of Nonconformity.*
  - (3) *Location.*
  - (4) *Sign Type.*
  - (5) *Changeable Copy.*



## § 350.10 Billboards

(2) *Degree of Nonconformity.* ...**no greater in size, height, number of panels**, or any panel dimension than is the existing billboard, nor ... be less conforming ... than is the existing billboard...”

(3) *Location.* ...**placed in precisely the same location** as the existing billboard unless the City Planning Commission determines that a different location on the same parcel of land would be more effective in meeting the intent of the sign regulations...”

(4) *Sign Type.* ...shall be the **same type as the existing billboard** unless the City Planning Commission determines that **a different sign type would be more compatible** with the subject property or nearby properties.”

(5) *Changeable Copy.* ...may incorporate automatic changeable copy **only if such copy is limited to a single billboard panel**... In the case of a sign utilizing changeable copy, each message shall remain fixed for at least eight (8) seconds.”



## § 350.10 Billboards – Site/Landscape Improvements

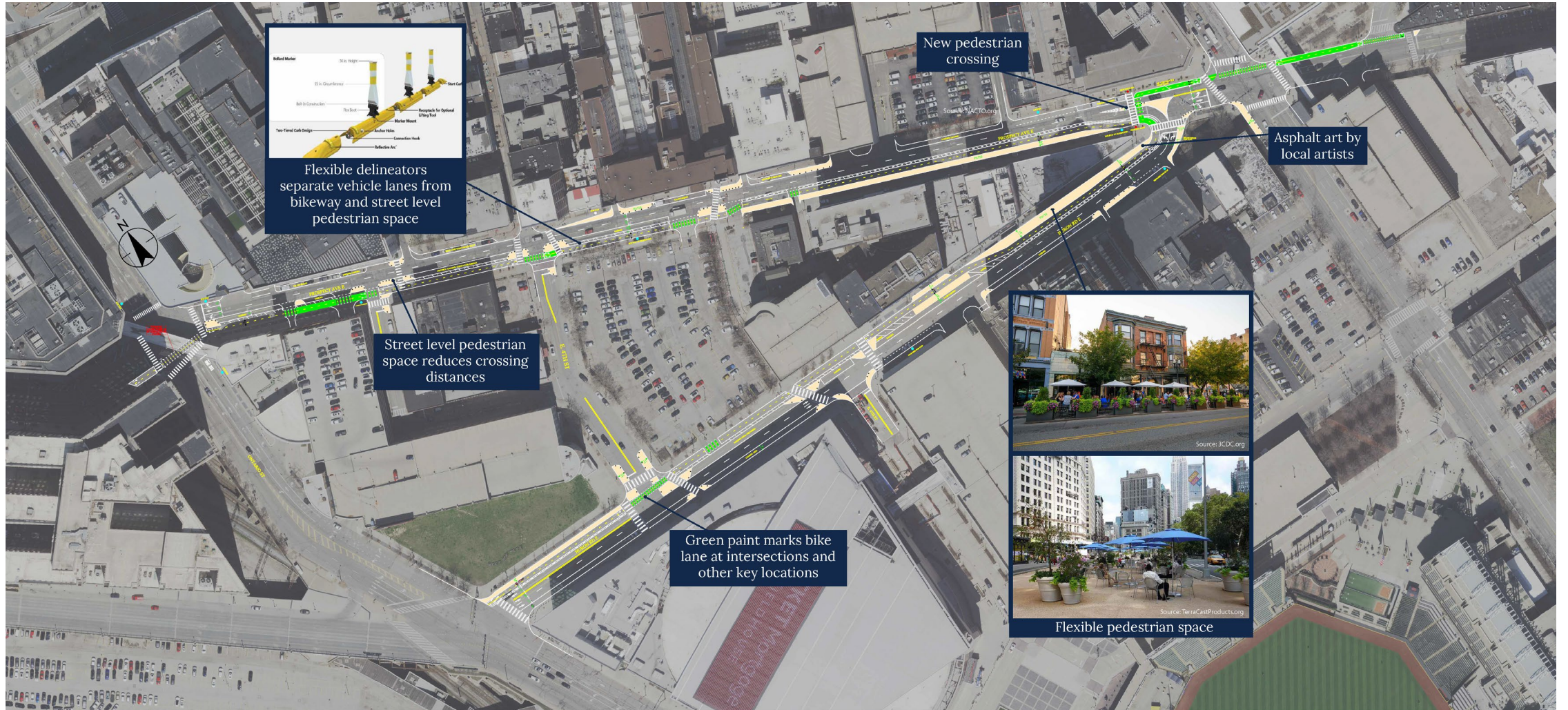
(1) *Site and Design Improvements.* The site ...**shall be landscaped and otherwise improved, through use of an ornamental base or frame, a streamlined support structure, or similar features effective in improving the appearance of the site.**

Minimum landscaping requirements:

- At a minimum, **evergreen shrubs**, at least three (3) feet in height at the time of planting and four (4) feet in height after two (2) growing seasons, **shall be planted at maximum intervals of four (4) feet along any side of the base of the billboard oriented toward a public street.**
- **Such planting shall extend at least the full width of the billboard panel.**
- In addition, all portions of the parcel(s) of land on which the billboard site is located **shall be planted with grass or other suitable vegetative ground cover between the billboard and all public streets abutting the parcel(s).**



# Streets for People: Huron/Prospect One-way Pairs



**Streets for People: Prospect/Huron**  
Published May 2025





**HURON & PROSPECT ONE-WAY PAIRS | CLEVELAND, OHIO**  
**PERSPECTIVE RENDERING**





# Streets for People: Huron/Prospect One-way Pairs – Addl. Patio Space



# Streets for People: Huron/Prospect One-way Pairs – Addl. Patio Space



# Streets for People: Huron/Prospect One-way Pairs – Addl. Patio Space



# Streets for People: Huron/Prospect One-way Pairs – Addl. Patio Space



# Streets for People: Huron/Prospect One-way Pairs – Addl. Patio Space

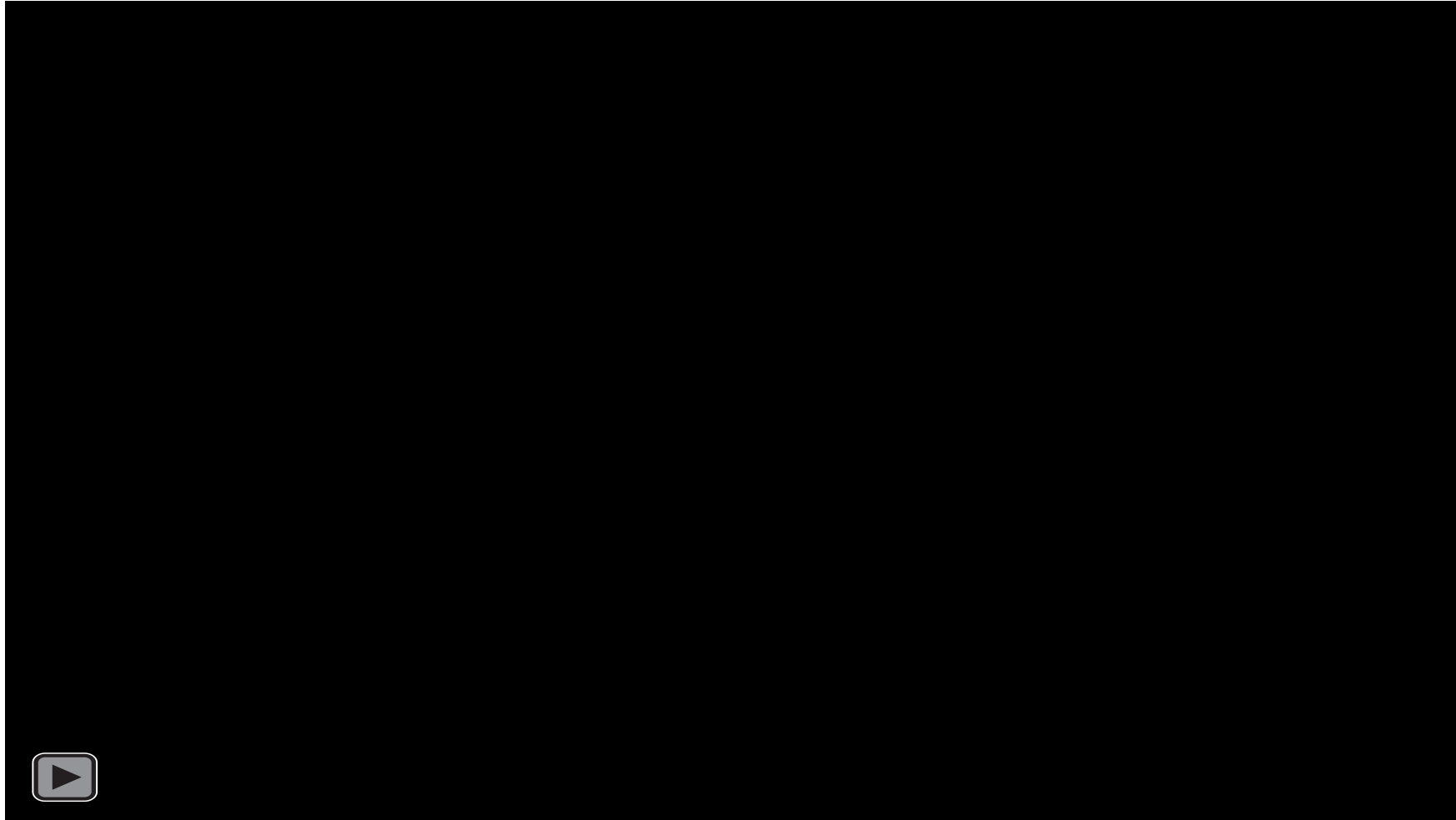


# Streets for People: Huron/Prospect One-way Pairs – Addl. Patio Space



# Orange Barrel Media + The Arts & Technology

## Nari Ward - Denver



## DF2025-044 – 750 Prospect Billboard

December 19, 2025

### Design Review Advisory Committee:

DFDRAC recommended final approval with the following conditions on 12/11/25:

- Provide proportion & design studies for size, shape, and location of billboard
- Study and present light impacts on neighboring apartment buildings
- Provide referenced nighttime rendering(s)
- Provide streetscaping and site/landscape improvement plans

### City Planning Staff:

Planning staff is in support of approving this project with the following conditions:

- Applicant to propose streetscape improvements, in spirit of code requirements, that integrates with the one-way pair street project and enhances existing & proposed patios
- Applicant to provide enhanced technological capabilities & associated Arts programming to fit this premiere site

# Cleveland City Planning Commission

## Director's Report

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

December 19, 2025

**Public Art Update:** CPC approved this mural in 2023;  
installation is scheduled for September 2026

December 19, 2025

Aerial View (217 W. St. Clair)



Final Proposal (217 W. St. Clair)



**Public Art Update:** CPC approved this mural in 2023;  
installation is scheduled for September 2026

December 19, 2025

## Final Artwork (217 W. St. Clair)



**Charles Edward Anderson** was an American singer, guitarist and songwriter who pioneered [rock and roll](#). Nicknamed the "[Father of Rock and Roll](#)", he refined and developed [rhythm and blues](#) into the major elements that made rock and roll distinctive. Berry was among the first musicians to be inducted into the [Rock and Roll Hall of Fame](#) on its opening in **1986**; he was cited for having "laid the groundwork for not only a rock and roll sound but a rock and roll stance."

**Aretha Louise Franklin** An American singer, songwriter and pianist. Referred to as the "[Queen of Soul](#)", [Rolling Stone](#) twice named her as the greatest singer of all time. With global sales of over 75 million records, Franklin is one of the world's [best-selling music artists](#). In **1987**, she became the first female artist to be inducted into the [Rock and Roll Hall of Fame](#).

**Elvis Aaron Presley** An American singer and actor. Known as the "[King of Rock and Roll](#)", he is regarded as [one of the most significant cultural figures of the 20th century](#). Presley's energized interpretations of songs and provocative performance style, combined with a singularly potent mix of influences across color lines during a [transformative era in race relations](#), led him to both great success and [initial controversy](#). Elvis Presley was inducted into the [Rock & Roll Hall of Fame](#) in **1986**.

**Wanda LaVonne Jackson** An American singer and songwriter. Since the 1950s, she has recorded and released music in the genres of [rock](#), [country](#) and [gospel](#). She was among the first women to have a career in rock and roll, recording a series of 1950s singles that helped give her the [nickname](#) "The Queen of Rockabilly". Wanda Jackson was inducted into the [Rock & Roll Hall of Fame](#) as an [Early Influence](#) in **2009**.

## About the Artist: Eduardo Kobra



**Carlos Eduardo Fernandes Léo** born in [São Paulo](#), Brazil, known as Eduardo Kobra, nicknamed Kobra, is a street artist who officially began his career in 1987 at 11 years old, in his hometown of São Paulo. Since then he has painted over 500 works on five different continents.<sup>[2][1]</sup> Born in 1975 on the outskirts of São Paul, he accumulates more than 30 years of career and holds two world records due to impactful works of gigantic dimensions. Kobra now works with a team of artists who paint between two and four murals each month.<sup>[3]</sup> To this day Kobra continues to live and work in his hometown of São Paulo.

He was influenced by both modern and contemporary artists all around the world. He was specifically influenced by muralists such as [Banksy](#), [Keith Haring](#) and [Diego Rivera](#). He rooted his artworks in art history by painting famous artworks in his own style in hopes of not only inserting himself into history but also bringing awareness to São Paulo as a town. His murals are exemplary within the street segment art and often bring blunt messages on topics important for humanity, such as world peace, importance of preserving the environment and the appreciation of historical events and their Characters. Before painting a work that is site specific, he researches the history and culture of the city in order to situate the art in a city conclusively.

## Rules of the City Planning Commission – Proposed Amendments for Adoption

December 19, 2025

### Article I: Members

- Specify alternate commission member positions
- Standardize terms of service
- Introduce new attendance policy

### Article II: Officers

- Update the “swearing in” process

### Article III: Planning Director

- Clarify administrative approval guidelines
- Include MOCAP in Budget/Capital Improvement planning

### Article IV: Committees

- Define purpose of committees
- Specify committee membership requirements
- Introduce Form-based Code Technical Review Committee and Long-range Citywide Plan Committee
- Remove unused committees

### Article V: Meetings

- Update to include virtual meetings and e-mail communications
- Introduce “Executive Sessions”
- Clarify public comment process and motioning/voting processes

**\*CPC will vote to adopt the revised Rules of CPC at the January 16, 2026 Meeting\***

# Cleveland City Planning Commission

## Adjournment

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**CITY OF CLEVELAND**  
Mayor Justin M. Bibb

Next Meeting: January 16, 2026