



# Cleveland City Planning Commission

Friday, June 18, 2021

**\*\* PLEASE MUTE YOUR MICROPHONE \*\***

David Bowen, Commission Chair

Freddy L. Collier Jr., Director

Michael Bosak, Administrator

# Cleveland City Planning Commission

## Preamble

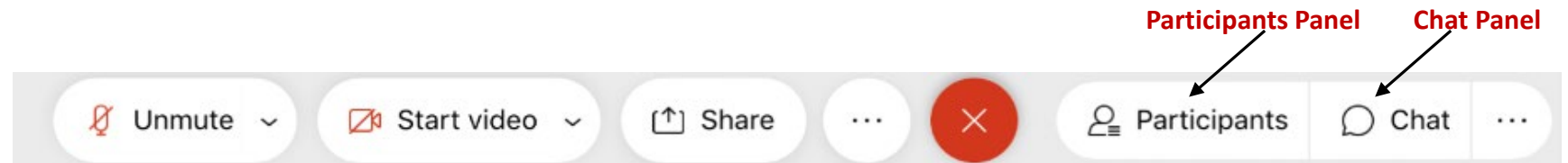
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW, UNDER COVID-19 EMERGENCY DECLARATION, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAVE THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING \*6



June 18, 2021



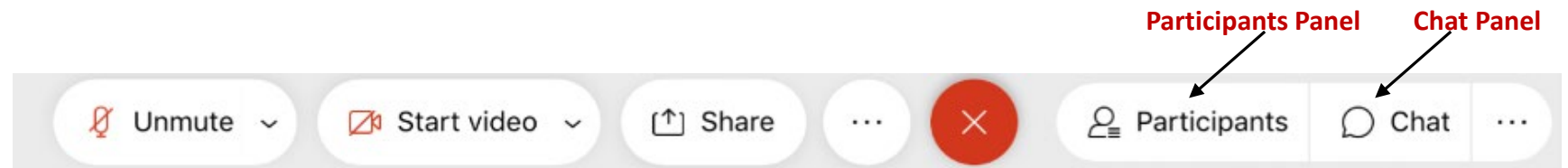
# Cleveland City Planning Commission

## Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.  
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.**



June 18, 2021

# Cleveland City Planning Commission

## Call to Order and Roll Call

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June 18, 2021

# Cleveland City Planning Commission

## Special Presentations – Public Art

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June 18, 2021



# Special Presentation

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June 18, 2021

Platform Building Murals: Seeking Final Approval

**Address: 3332 West 32<sup>nd</sup> Street**

Presenter: Susan Underwood, Metro West



# Mural by Nathalie Bermudez

on Platform Brewery Building at "Sancocho Garden" on West 33rd Street





## THE ARTIST:

- Nathalie Bermudez is an artist from Columbia who now lives on the west side of Cleveland.
- She is interested in celebrating indigenous cultures through her art.





# The Building

Formerly a small boxing gym (East Facing)



Google



Now owned by Platform Brewery  
(East Facing)

Backdrop to NEW community garden!  
(West Facing)





## CONTEXT PHOTOS



Sackett, Facing East

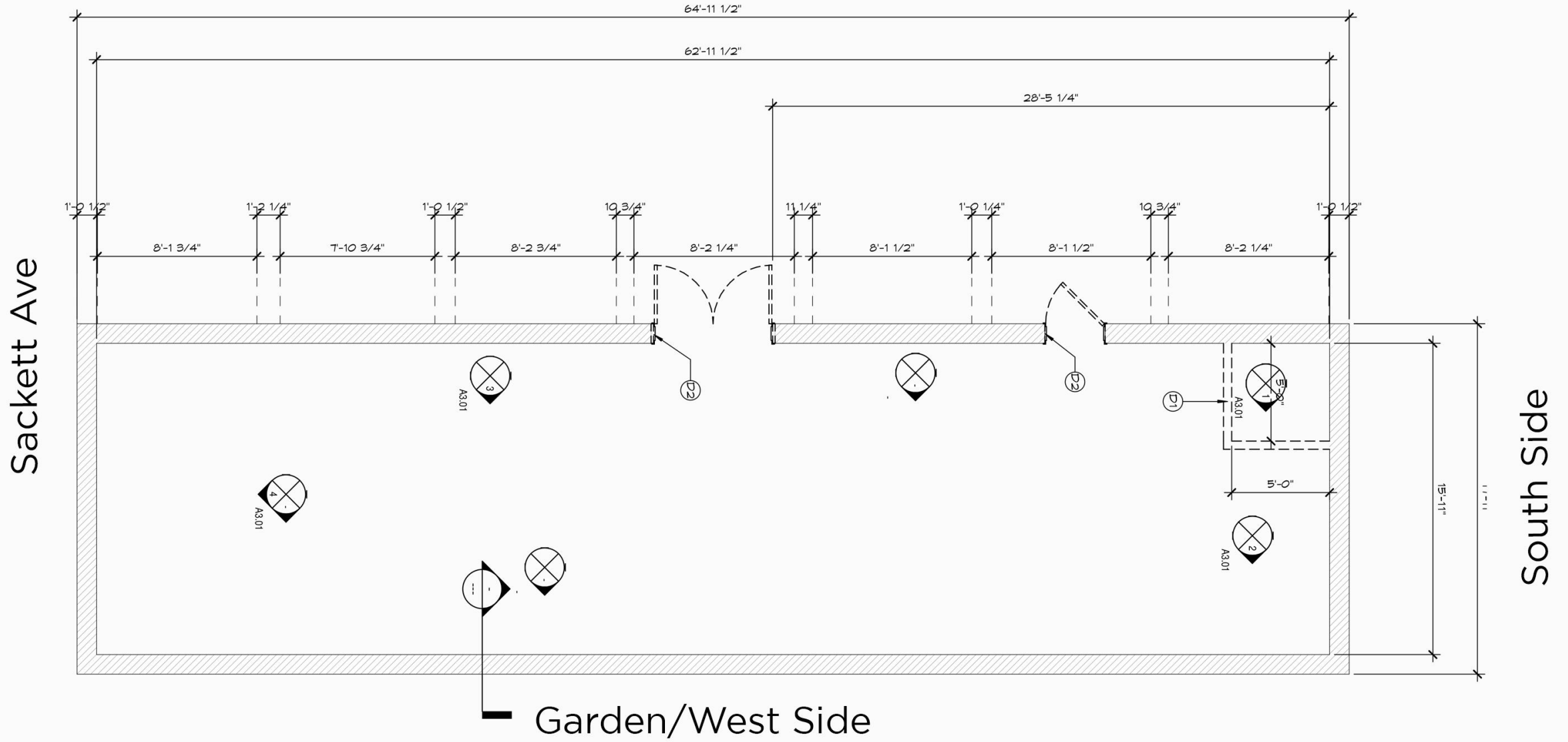


Facing West from Phunkenship, shows area to South of building, which can be seen from volleyball court.



In garden, South West end, facing North East.

# Platform/East Side





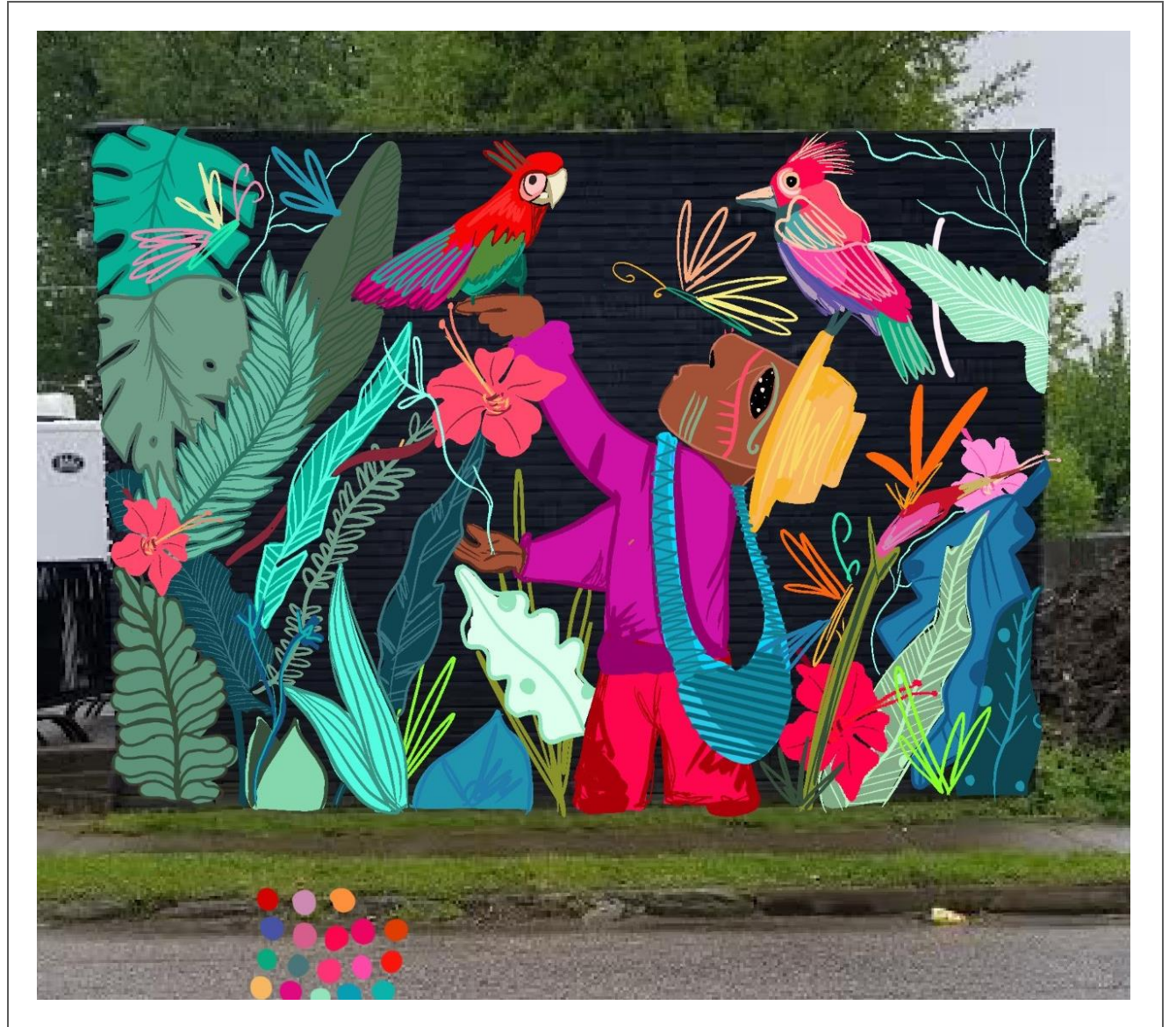
# Sancocho Community Garden

- Sancocho Community Garden is vision of Jean Paul Hernandez
- Jean Paul grew up in the house on the corner of Sackett and West 33rd. His parents still live there today and his mother runs a daycare out of the home.
- 2 of the lots for the garden are owned by the family. The other lot is owned by the Land Bank and managed by Platform.
- The mural is a gift to the garden and community.
- We will unveil the mural at the garden during our annual Painting a Better Picture event.



South Side

- Sackett Ave
- North Side





West Side, Facing Garden







# East Side – Facing Platform Extended patio/parking lot

Cutouts indicate area which are or will be garage doors when Platform turns building into Functional outside bar. At this time, they are just using it for storage. (East side facing Phunkenship.)





## **Mural Materials:**

- A mix of Sherwin Williams Exterior Latex and High Quality Spray Paint.
- Sherwin Williams anti-graffiti coating

## **Maintenance Plan:**

- We will use anti-graffiti coating over the mural
- Platform Brewery will otherwise assume responsibility of maintenance.



# Cleveland City Planning Commission

## Zoning Map Amendments

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June 18, 2021



**NOTHING SCHEDULED TODAY**

# Cleveland City Planning Commission

## Planned Unit Development

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June 18, 2021





**NOTHING SCHEDULED TODAY**

# Cleveland City Planning Commission

## Telecommunication Towers

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June 18, 2021



**NOTHING SCHEDULED TODAY**



# Cleveland City Planning Commission

## New Townhouse Development In a 2-Family District

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June 18, 2021

# Townhouse Development in a 2-Family District

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June 18, 2021

For PPN# 004-02-002

**Address: 1700 Lorain Avenue**

Presenter: Westleigh Harper, Horton Harper Architects

# 1700 LORAIN TOWNHOMES

Duck Island - Cleveland, OH  
Marketing Package - May 24th, 2021







CUYAHOGA RIVER

SCRANTON PENINSULA

1700 Lorain Townhomes

Grove Court Condos

Stoneleigh Apartments

COLUMBUS ROAD

LORAIN AVENUE

W19TH STREET

W18TH STREET

W17TH STREET





Site Context  
View overlooking site towards Downtown Cleveland





Site Context  
View of Existing Homes/ Site from Carter Rd.





Site Context  
1684 Lorain Ave



GROVE COURT CONDOMINIUMS  
1900 W. 19TH ST.

edge of bank

125.45'

110.00'

**TOWNHOME B**  
above grade:  
2883 sqft  
below grade:  
648 sqft

terrace

patio

edge of bank

130.28'

**TOWNHOME A**  
above grade:  
2895 sqft  
below grade:  
570 sqft

walkway

driveway

1710 LORAIN AVE.

1706 LORAIN AVE.

1704 LORAIN AVE.

1684 LORAIN AVE.

1644 LORAIN AVE.

7.5'

7.5'

LORAIN AVE.

Site Plan  
scale: 1/16" = 1'-0"





View 1  
Exterior View





View 2  
Exterior View





View 3

Exterior View





View 4  
Exterior View





View 5  
Exterior View





View 6  
Exterior View



PRE-FINISHED WHITE METAL SIDING



SMOOTH FINISH CONCRETE



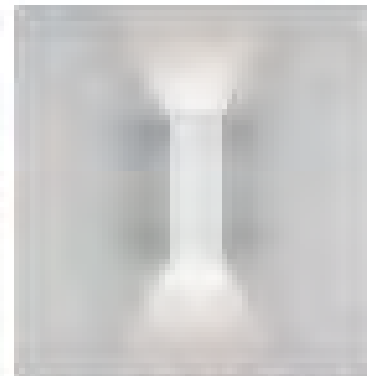
PRE-FINISHED ALUMINUM



PRE-FINISHED BLACK METAL SIDING



GLASS WINDOW WITH DARK FRAME AND MULTIPLE PANELED DESIGN



PRE-FINISHED METAL DOOR HANDLE

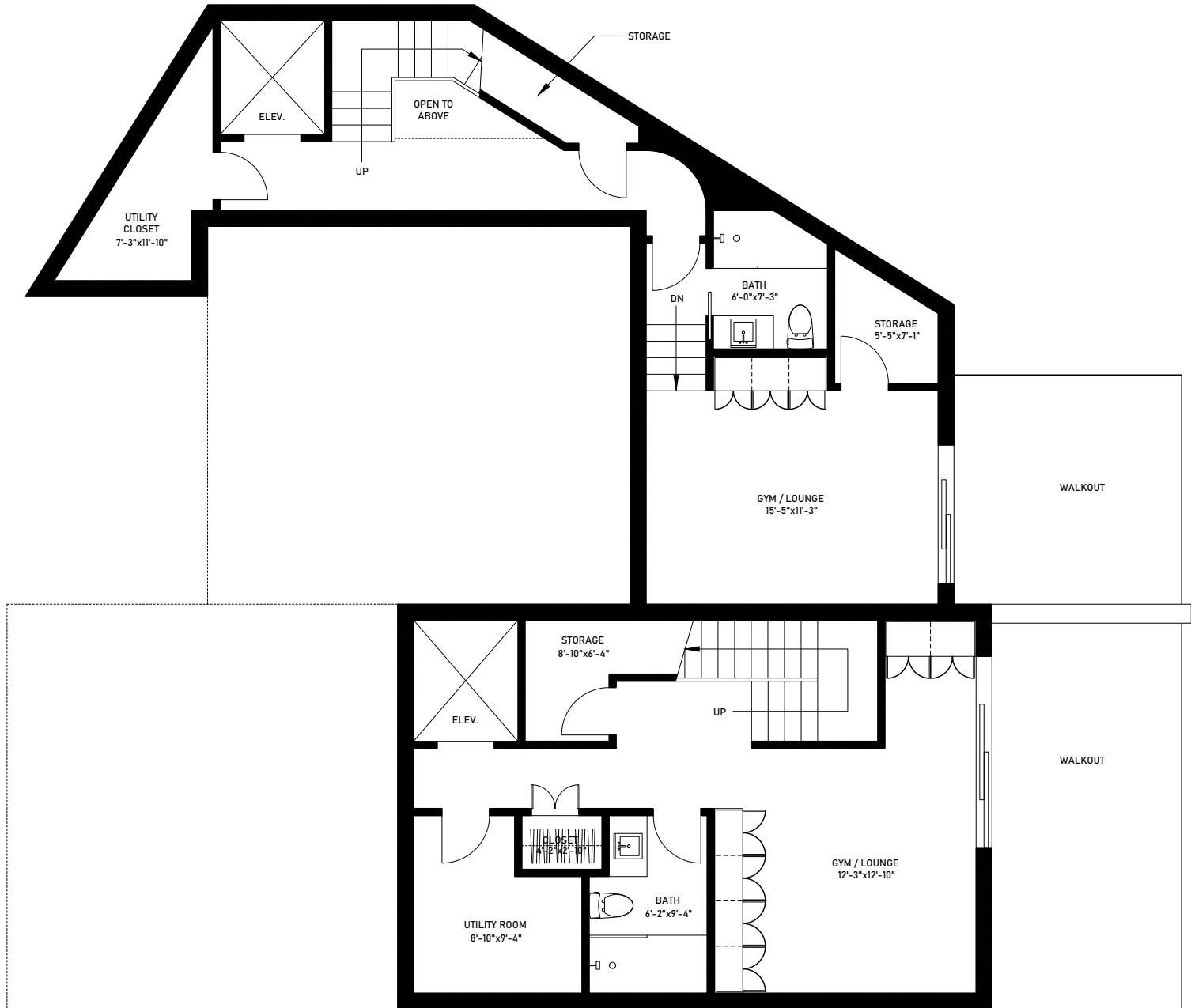


DARK METAL RAILING



BLACK WINDOW FRAME

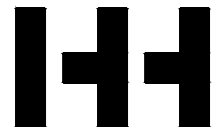


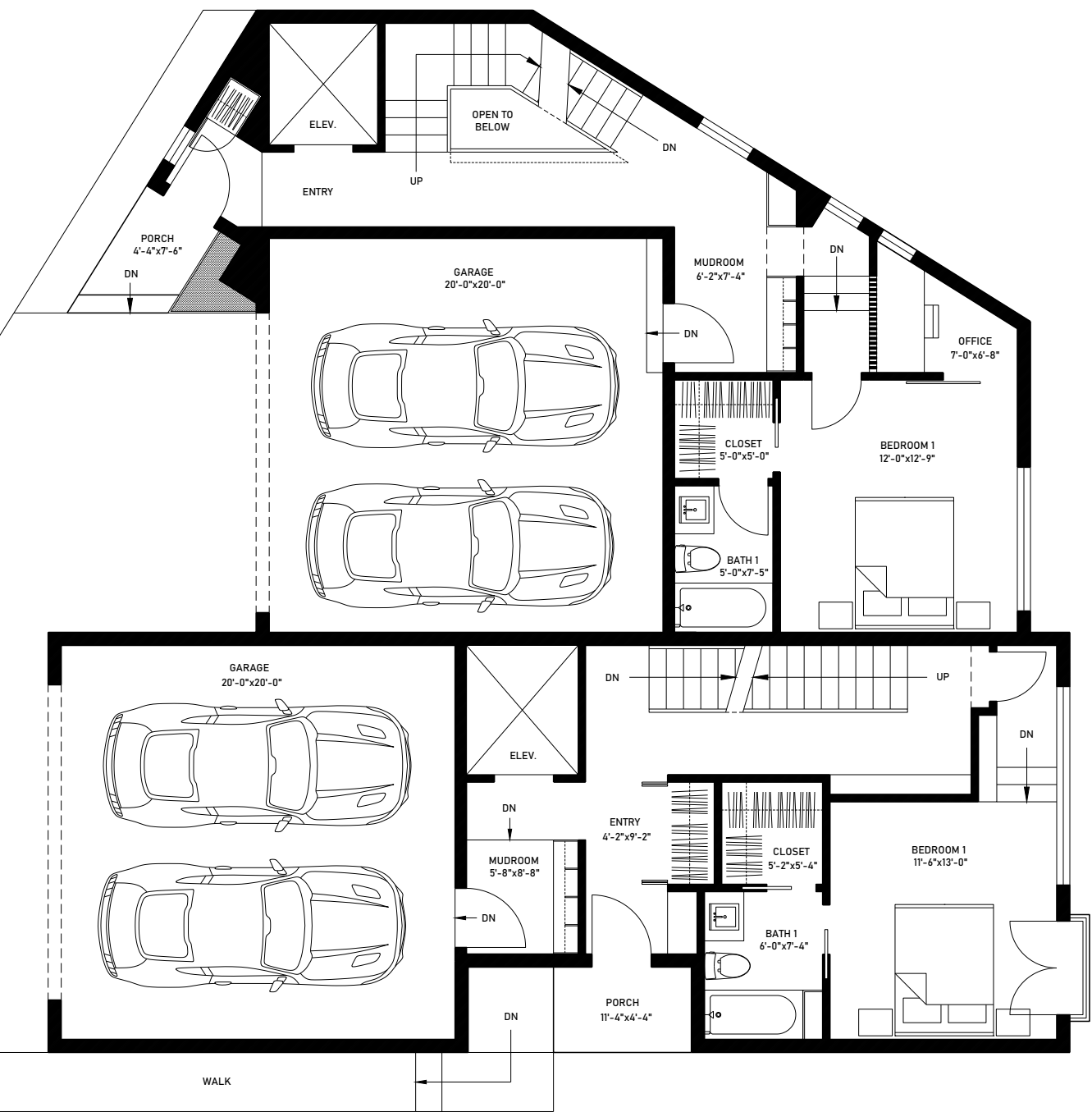


# 1700 LORAIN AVE.

## Basement Floor Plans

Scale: 1/8" = 1'-0" North >





# 1700 LORAIN AVE.

## 1st Floor Plans

Scale: 1/8" = 1'-0" North>

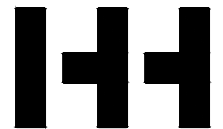


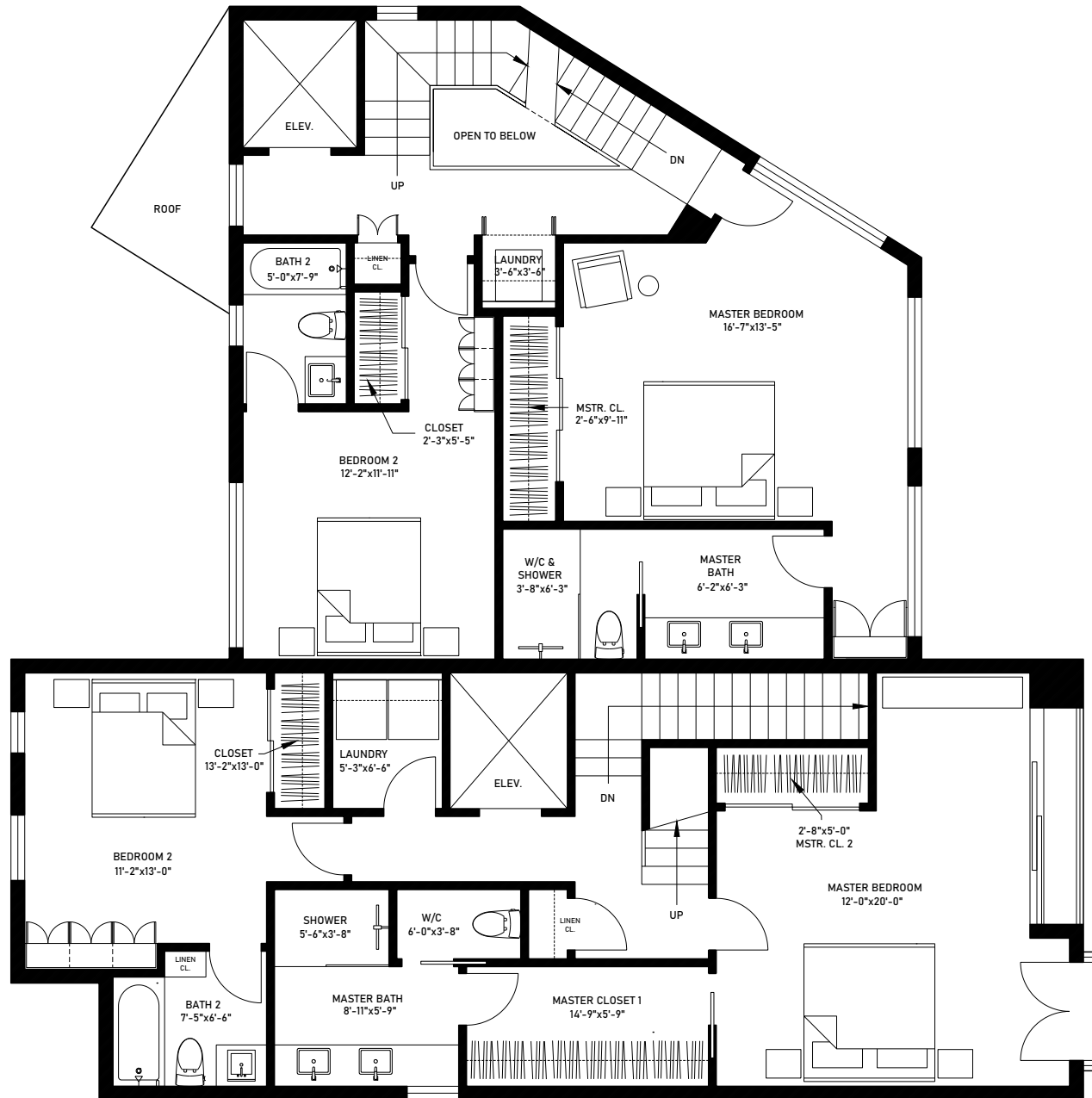


# 1700 LORAIN AVE.

## 2nd Floor Plans

Scale: 1/8" = 1'-0" North>





# 1700 LORAIN AVE.

3rd Floor Plans Version 1

Scale: 1/8" = 1'-0" North>



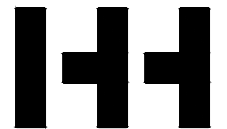


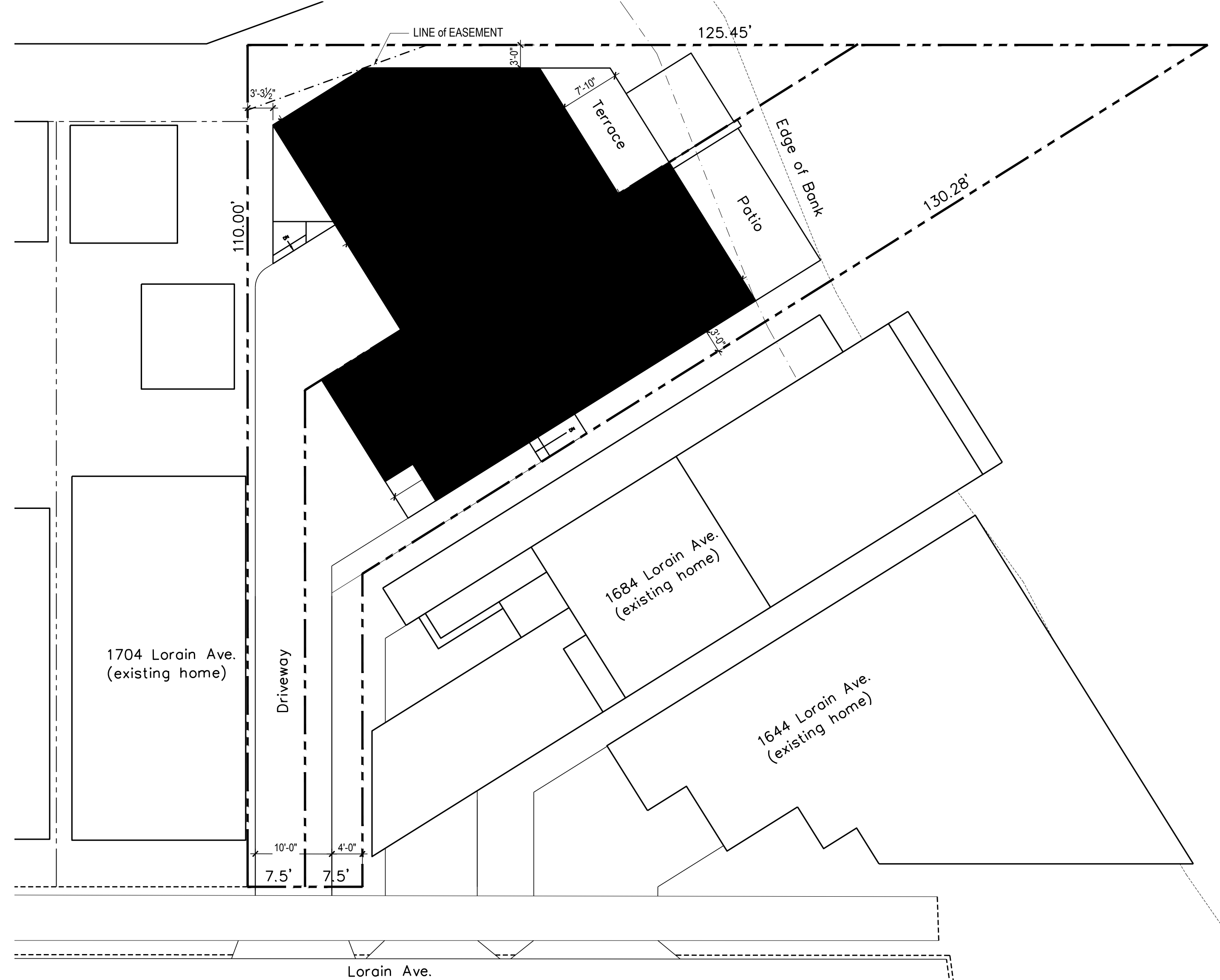


# 1700 LORAIN AVE.

## 4th Floor Plans

Scale: 1/8" = 1'-0" North >





**1 - Proposed Site Plan**

Scale: 3/32" = 1'-0" Parcel #: 004-02-002 (5,466 sqft)



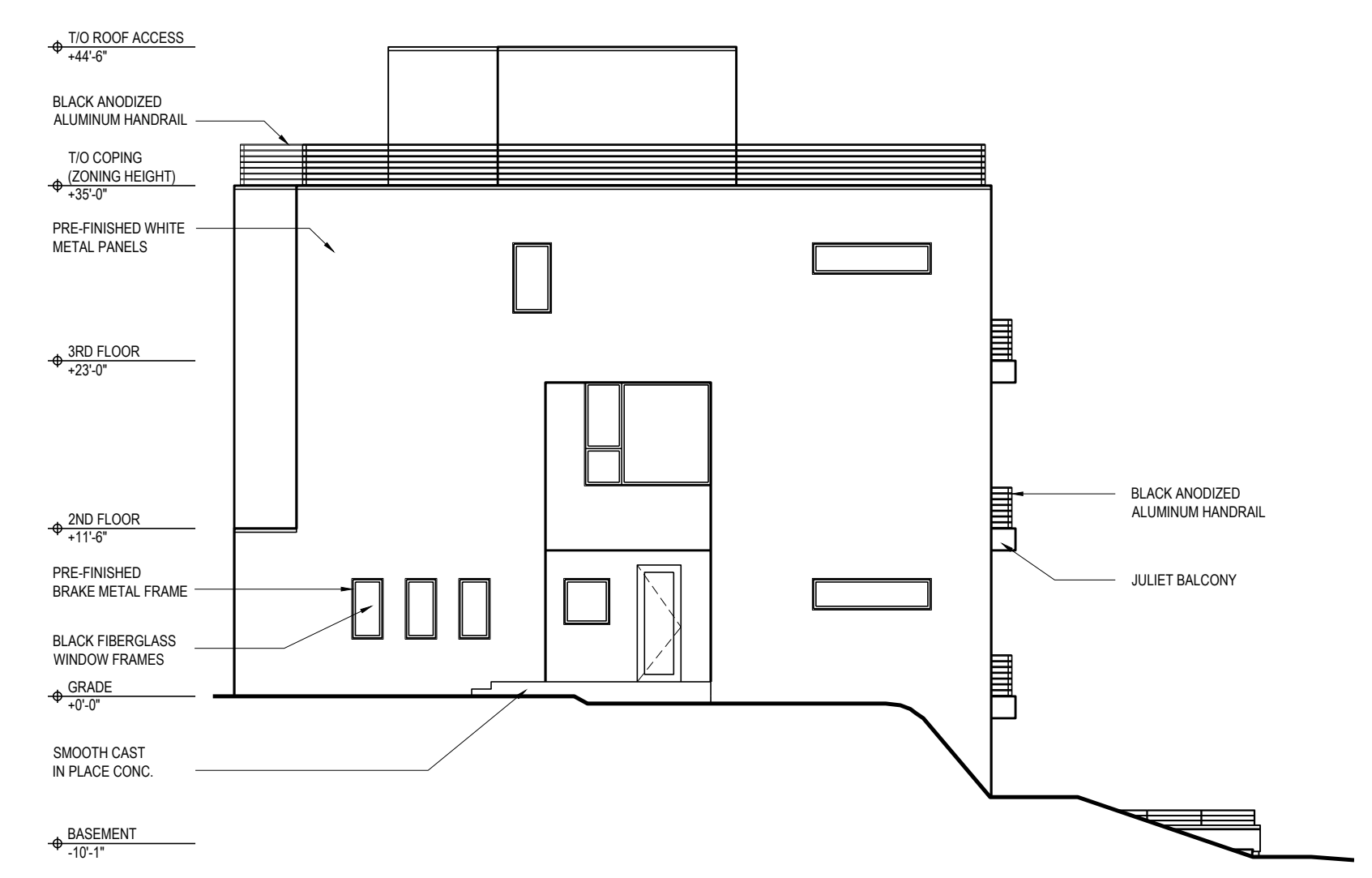
**7 - Northeast Elevation**

Scale: 3/32" = 1'-0"



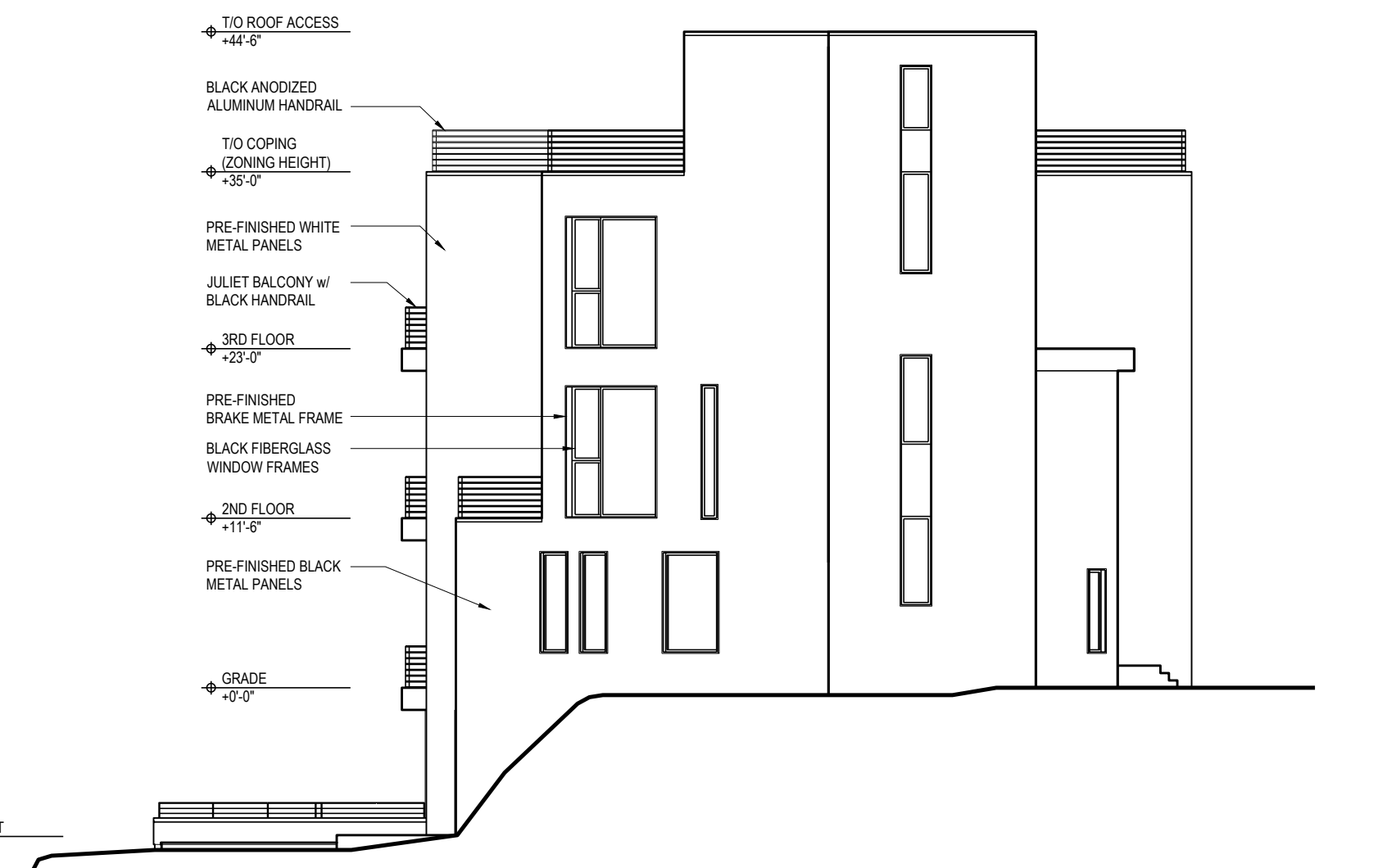
**8 - Southwest Elevation**

Scale: 3/32" = 1'-0"



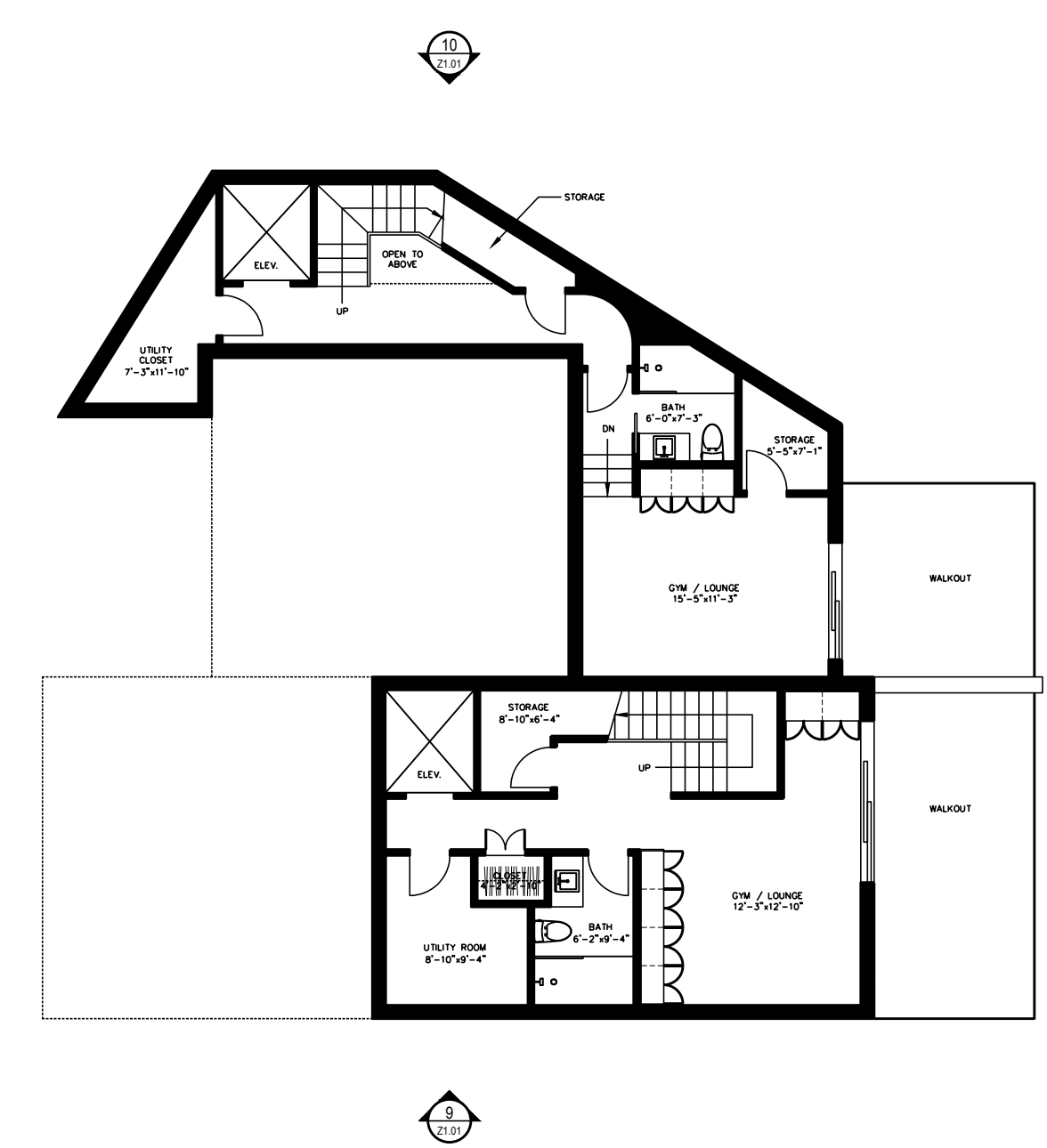
**9 - Southeast Elevation**

Scale: 3/32" = 1'-0"



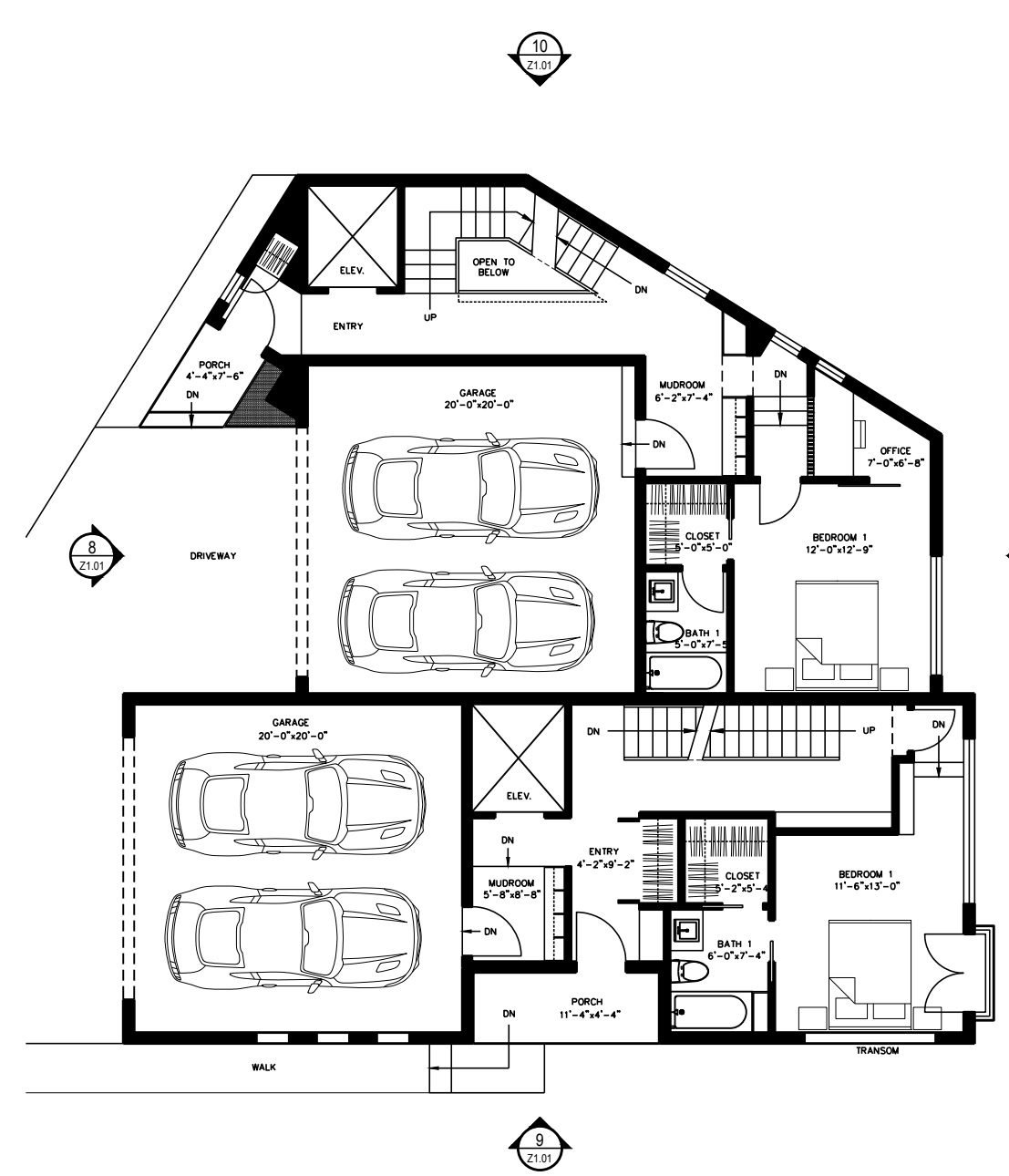
**10 - Northwest Elevation**

Scale: 3/32" = 1'-0"



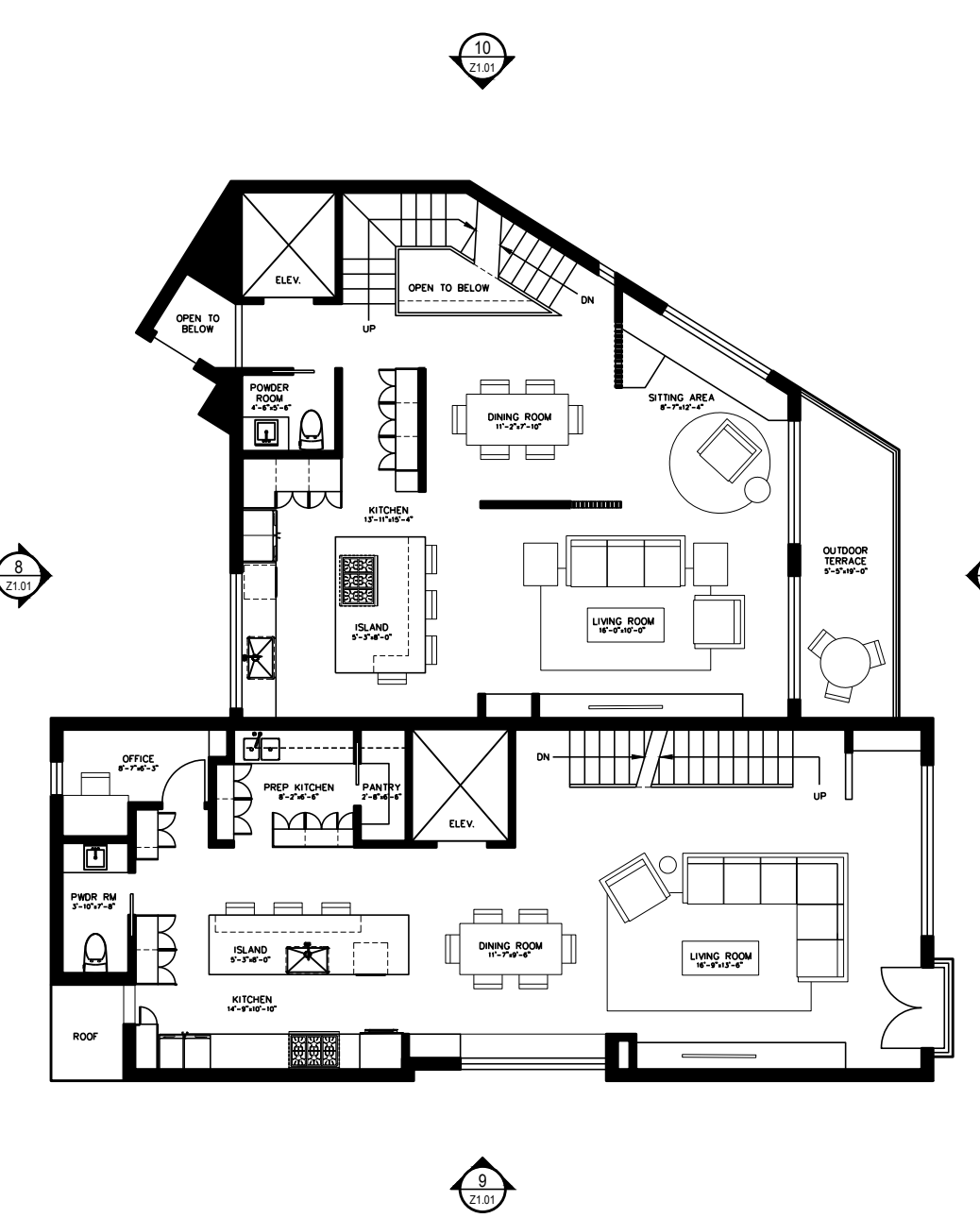
**2 - Basement Plan**

Scale: 3/32" = 1'-0" N>



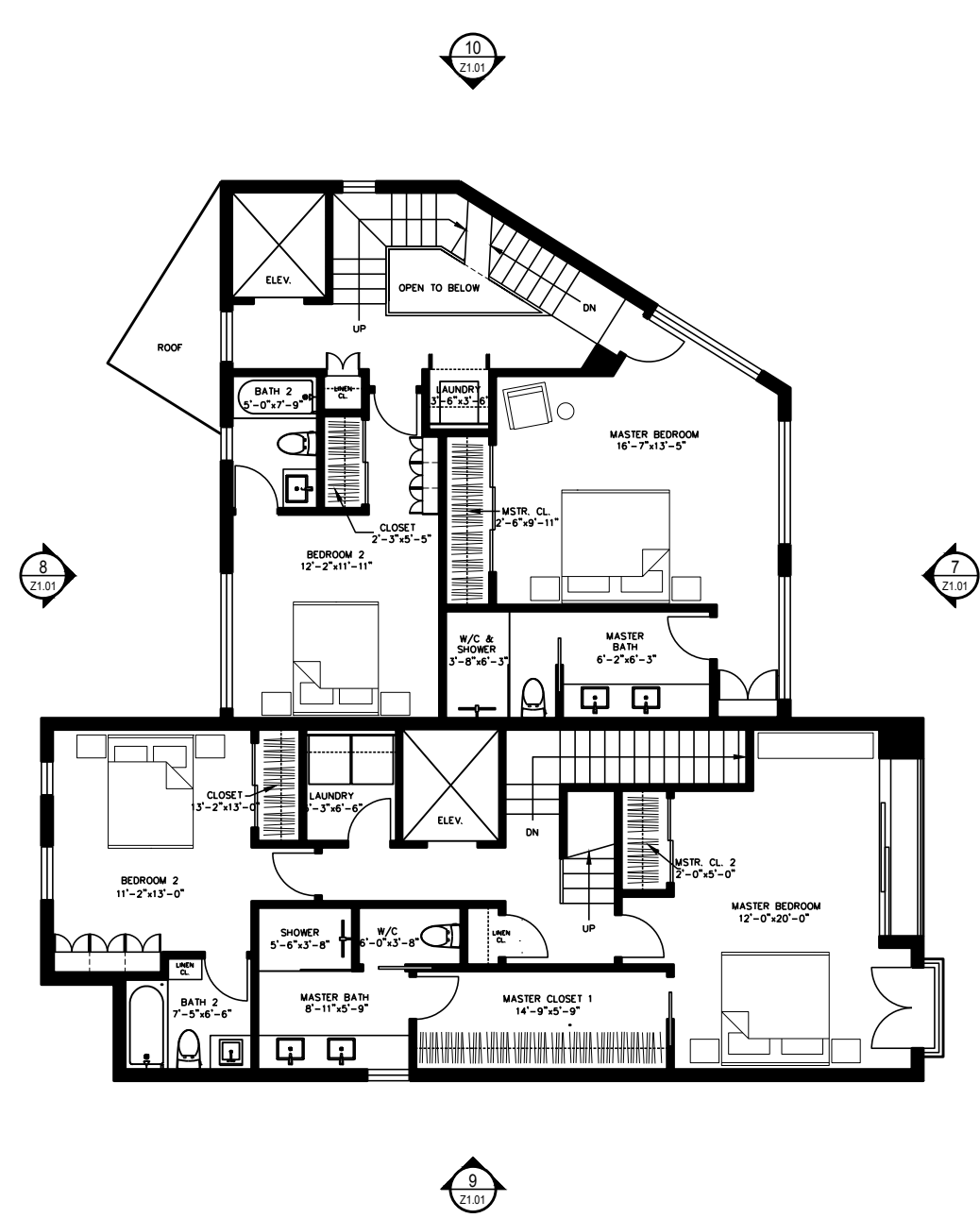
**3 - 1st Floor Plan**

Scale: 3/32" = 1'-0" N>



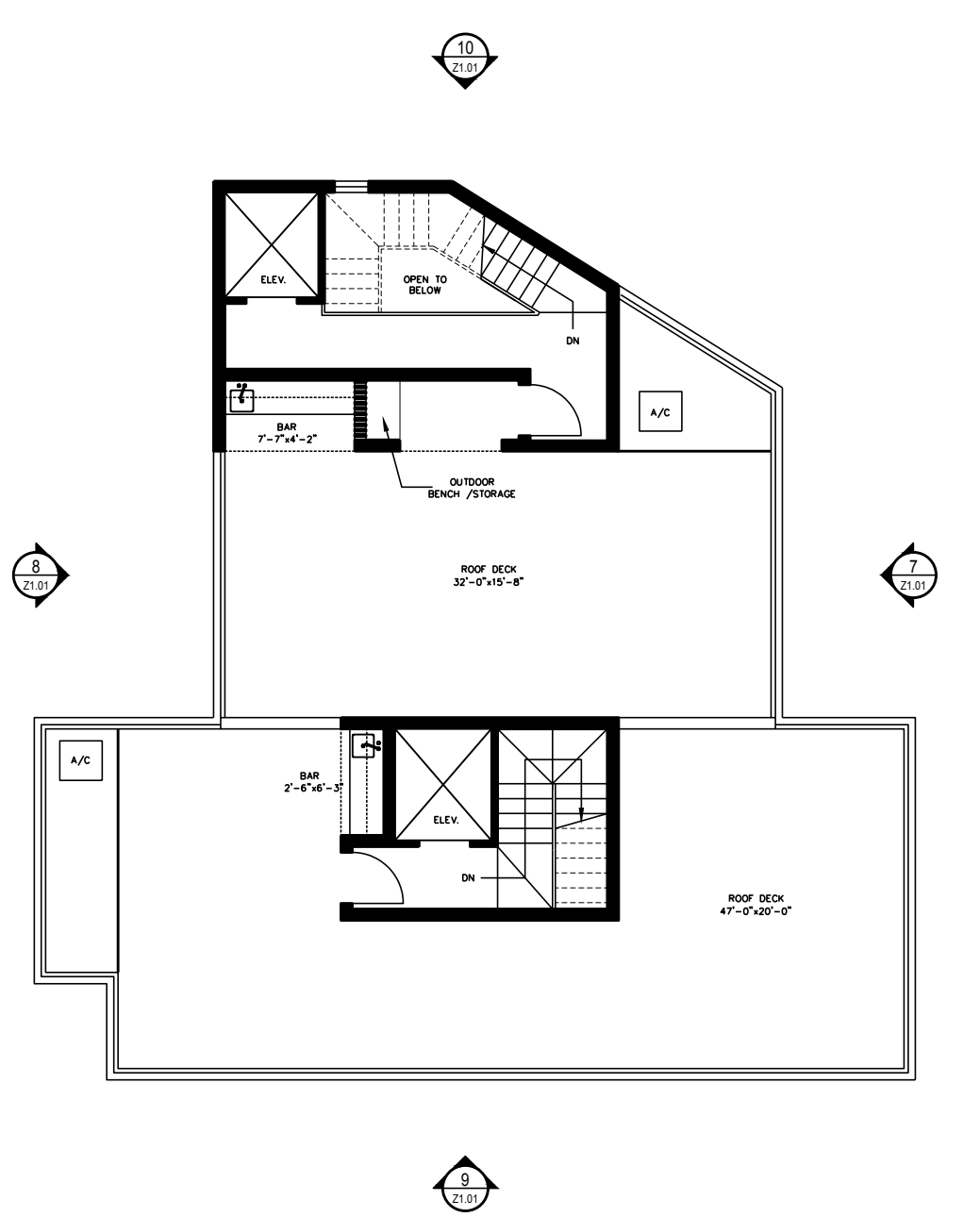
**4 - 2nd Floor Plan**

Scale: 3/32" = 1'-0" N>



**5 - 3rd Floor Plan**

Scale: 3/32" = 1'-0" N>



**6 - 4th Floor Plan**

Scale: 3/32" = 1'-0" N>

Stamp

Project

**1700 LORAIN TOWNHOMES**

1700 LORAIN AVE. CLEVELAND, OH 44113

Existing Parcel #: 004-02-002

Revisions

Original Date 04/29/21

Submission

- Progress
- Design Review
- Lot Split
- Planning
- Zoning
- 50% Client Review
- 85% Client Review
- 100% Client Review
- Building Permit
- Construction

Current Date 5/11/2021

Drawn By RL

Checked By WMH

Job Number 20057

Sheet

ZONING DRAWINGS

Discipline & Number

**Z1.00**

# Cleveland City Planning Commission

## Lot Consolidation / Splits

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June 18, 2021

# Lot Consolidation / Split

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June 18, 2021

For PPNs# 006-04-078 & -079

**Project Addresses: 7611 & 7615 Lawn Avenue**

Project Representative: Katie Veasey Gillette, City Architecture



Proposed Consolidation / Split for:  
7611 & 7615 Lawn Avenue  
P.P.N. 006-04-079 & 006-04-078

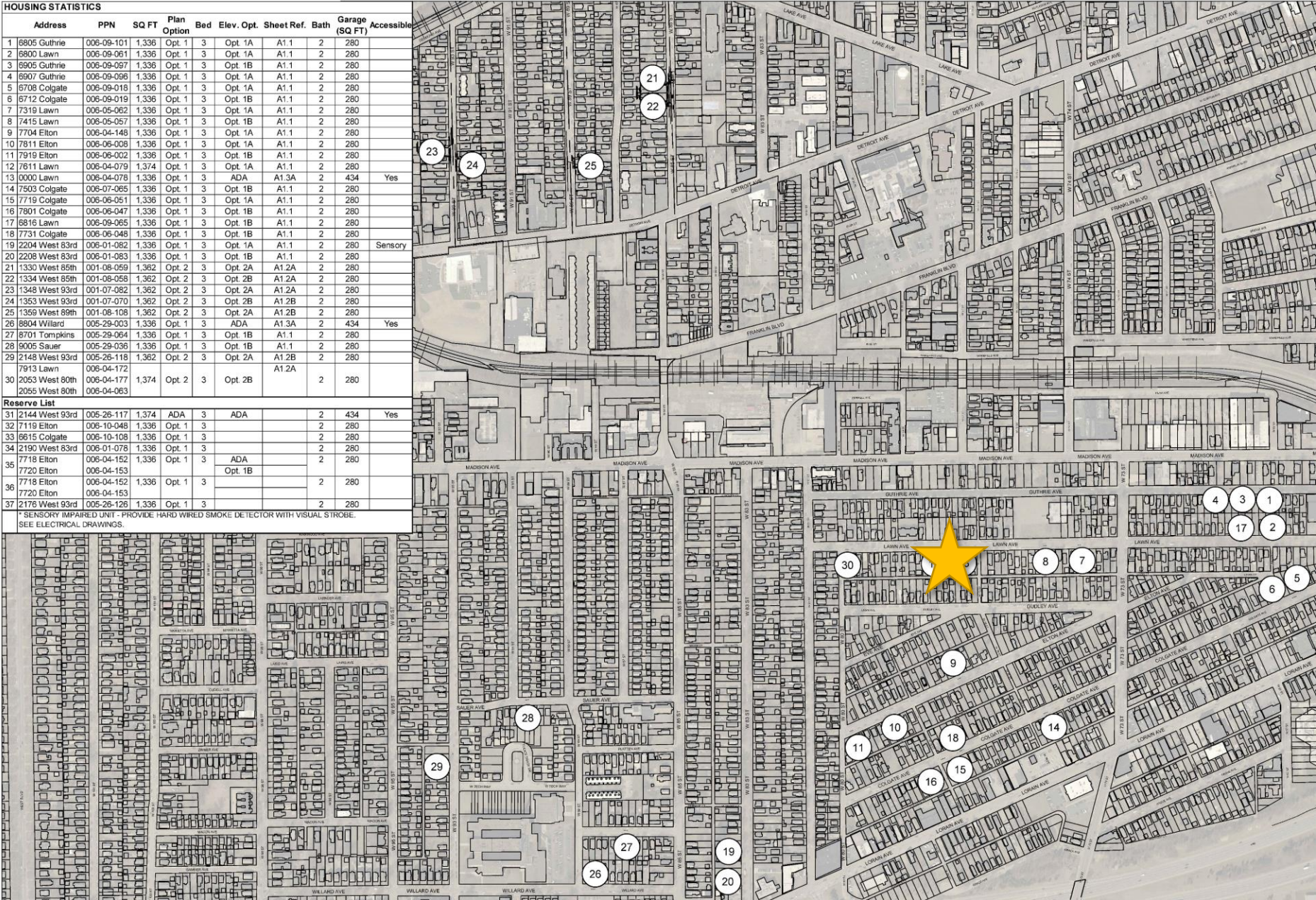
City Planning Commission  
June 18, 2021



# Detroit Shoreway Homes – Scattered Site Housing Location Map

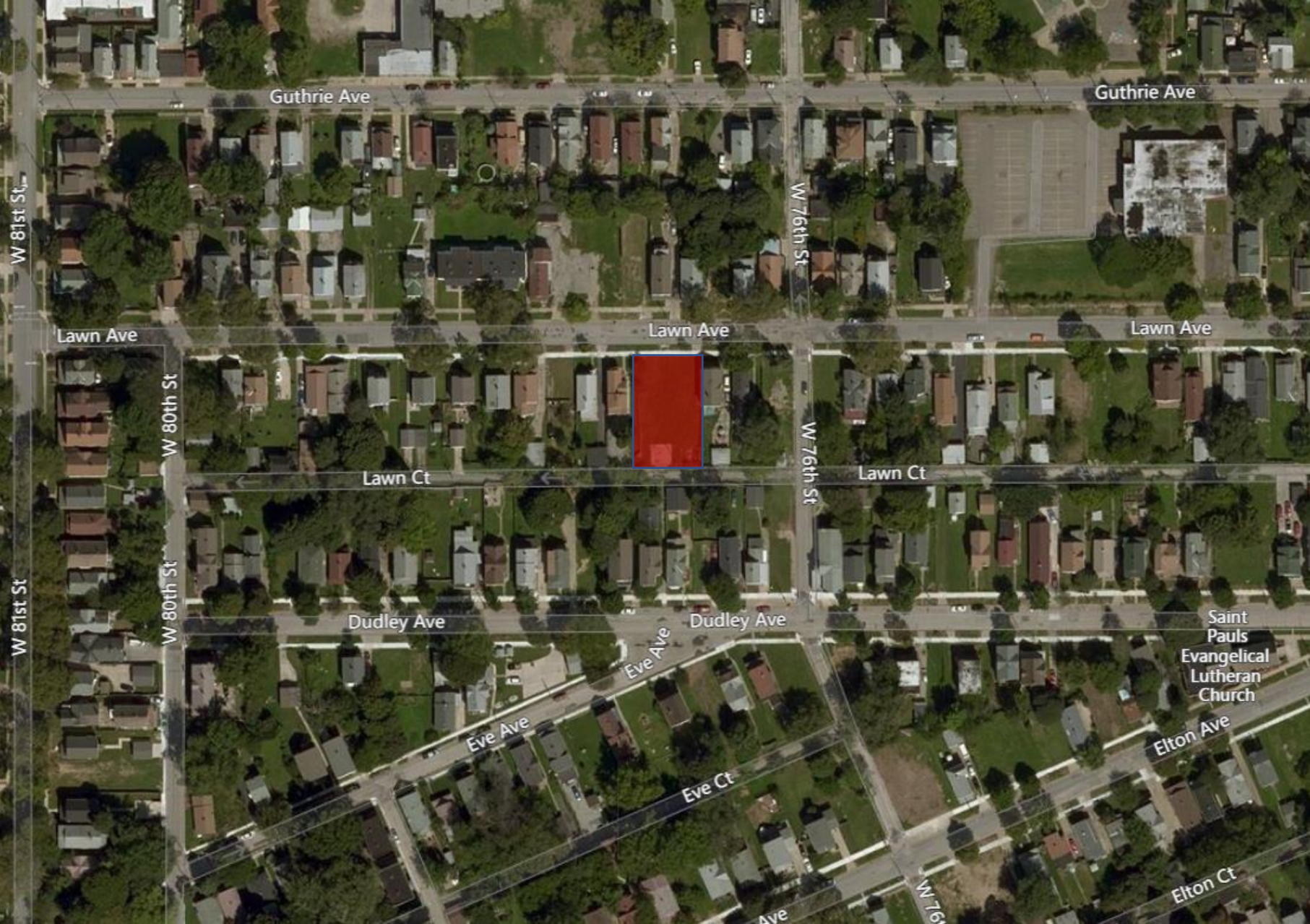
HOUSING STATISTICS									
Address	PPN	SQ FT	Plan Option	Bed	Elev. Opt.	Sheet Ref.	Bath	Garage (SQ FT)	Accessible
1 8805 Guthrie	006-09-101	1,336	Opt. 1	3	Opt. 1A	A1.1	2	280	
2 8800 Lawn	006-09-061	1,336	Opt. 1	3	Opt. 1A	A1.1	2	280	
3 8805 Guthrie	006-09-097	1,336	Opt. 1	3	Opt. 1B	A1.1	2	280	
4 8807 Guthrie	006-09-096	1,336	Opt. 1	3	Opt. 1A	A1.1	2	280	
5 8708 Colgate	006-09-018	1,336	Opt. 1	3	Opt. 1A	A1.1	2	280	
6 8712 Colgate	006-09-019	1,336	Opt. 1	3	Opt. 1B	A1.1	2	280	
7 7319 Lawn	006-05-062	1,336	Opt. 1	3	Opt. 1A	A1.1	2	280	
8 7415 Lawn	006-05-057	1,336	Opt. 1	3	Opt. 1B	A1.1	2	280	
9 7704 Elton	006-04-148	1,336	Opt. 1	3	Opt. 1A	A1.1	2	280	
10 7811 Elton	006-06-008	1,336	Opt. 1	3	Opt. 1A	A1.1	2	280	
11 7919 Elton	006-06-002	1,336	Opt. 1	3	Opt. 1B	A1.1	2	280	
12 7611 Lawn	006-04-079	1,374	Opt. 1	3	Opt. 1A	A1.1	2	280	
13 0000 Lawn	006-04-078	1,336	Opt. 1	3	ADA	A1.3A	2	434	Yes
14 7503 Colgate	006-07-065	1,336	Opt. 1	3	Opt. 1B	A1.1	2	280	
15 7719 Colgate	006-06-051	1,336	Opt. 1	3	Opt. 1A	A1.1	2	280	
16 7801 Colgate	006-06-047	1,336	Opt. 1	3	Opt. 1B	A1.1	2	280	
17 8616 Lawn	006-09-065	1,336	Opt. 1	3	Opt. 1B	A1.1	2	280	
18 7731 Colgate	006-06-048	1,336	Opt. 1	3	Opt. 1B	A1.1	2	280	
19 2204 West 83rd	006-01-082	1,336	Opt. 1	3	Opt. 1A	A1.1	2	280	Sensory
20 2208 West 83rd	006-01-083	1,336	Opt. 1	3	Opt. 1B	A1.1	2	280	
21 1330 West 85th	001-08-059	1,362	Opt. 2	3	Opt. 2A	A1.2A	2	280	
22 1334 West 85th	001-08-058	1,362	Opt. 2	3	Opt. 2B	A1.2A	2	280	
23 1348 West 93rd	001-07-082	1,362	Opt. 2	3	Opt. 2A	A1.2A	2	280	
24 1353 West 93rd	001-07-070	1,362	Opt. 2	3	Opt. 2B	A1.2B	2	280	
25 1359 West 89th	001-08-108	1,362	Opt. 2	3	Opt. 2A	A1.2B	2	280	
26 8804 Willard	005-29-003	1,336	Opt. 1	3	ADA	A1.3A	2	434	Yes
27 8701 Tompkins	005-29-064	1,336	Opt. 1	3	Opt. 1B	A1.1	2	280	
28 8006 Sauer	005-29-036	1,336	Opt. 1	3	Opt. 1B	A1.1	2	280	
29 2148 West 93rd	005-26-118	1,362	Opt. 2	3	Opt. 2A	A1.2B	2	280	
30 7913 Lawn	006-04-172					A1.2A			
30 2053 West 80th	006-04-177	1,374	Opt. 2	3	Opt. 2B		2	280	
30 2055 West 80th	006-04-063								
<b>Reserve List</b>									
31 2144 West 93rd	005-26-117	1,374	ADA	3	ADA		2	434	Yes
32 7719 Elton	006-10-048	1,336	Opt. 1	3			2	280	
33 8615 Colgate	006-10-108	1,336	Opt. 1	3			2	280	
34 2190 West 83rd	006-01-078	1,336	Opt. 1	3			2	280	
35 7718 Elton	006-04-152	1,336	Opt. 1	3	ADA		2	280	
36 7720 Elton	006-04-153				Opt. 1B				
37 7718 Elton	006-04-152	1,336	Opt. 1	3			2	280	
38 7720 Elton	006-04-153								
39 2176 West 93rd	005-26-126	1,336	Opt. 1	3			2	280	

\* SENSORY IMPAIRED UNIT - PROVIDE HARD WIRED SMOKE DETECTOR WITH VISUAL STROBE.  
SEE ELECTRICAL DRAWINGS.





Site Location – 7611 & 7615 Lawn Avenue





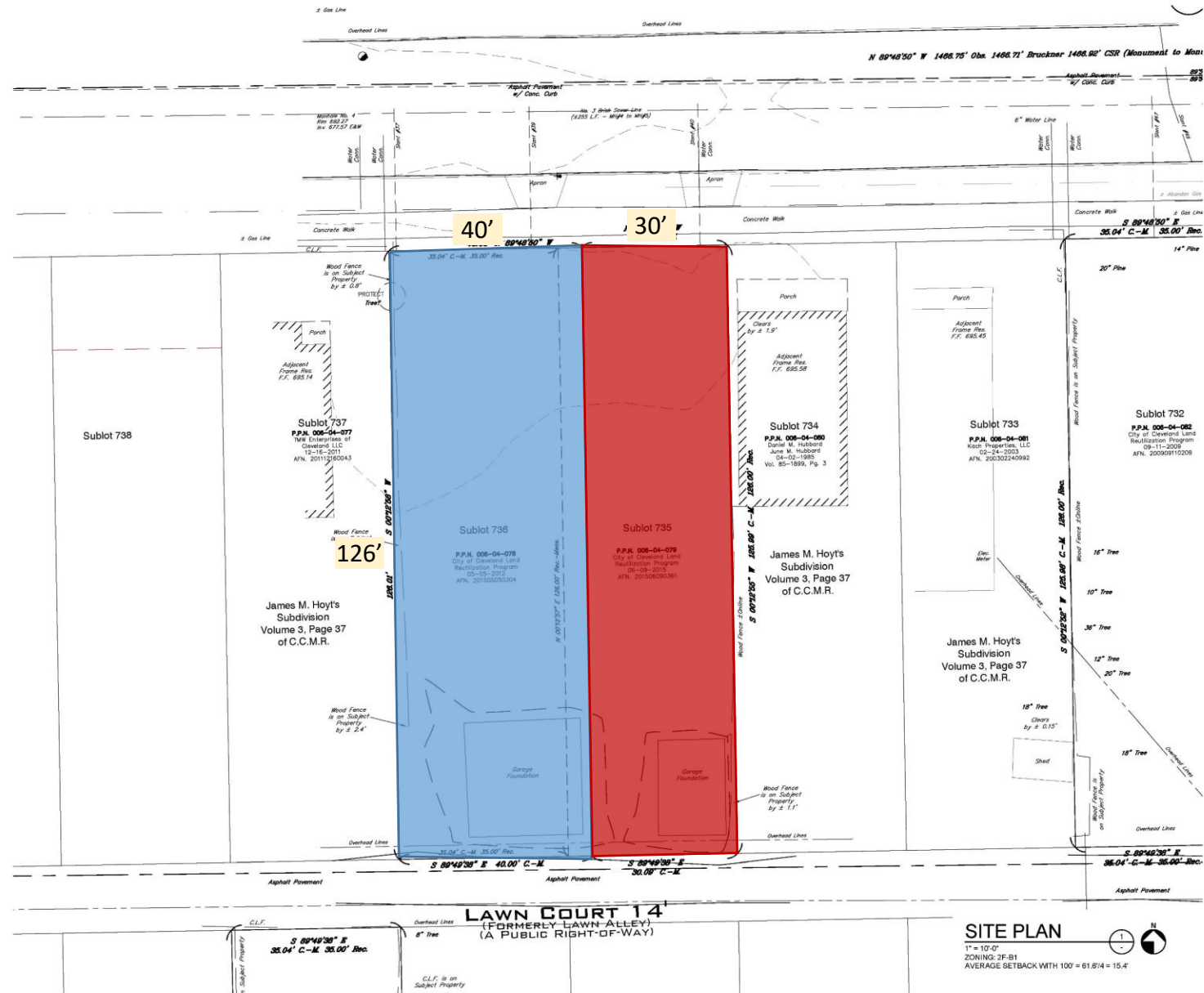
Site Location – 7611 & 7615 Lawn Avenue





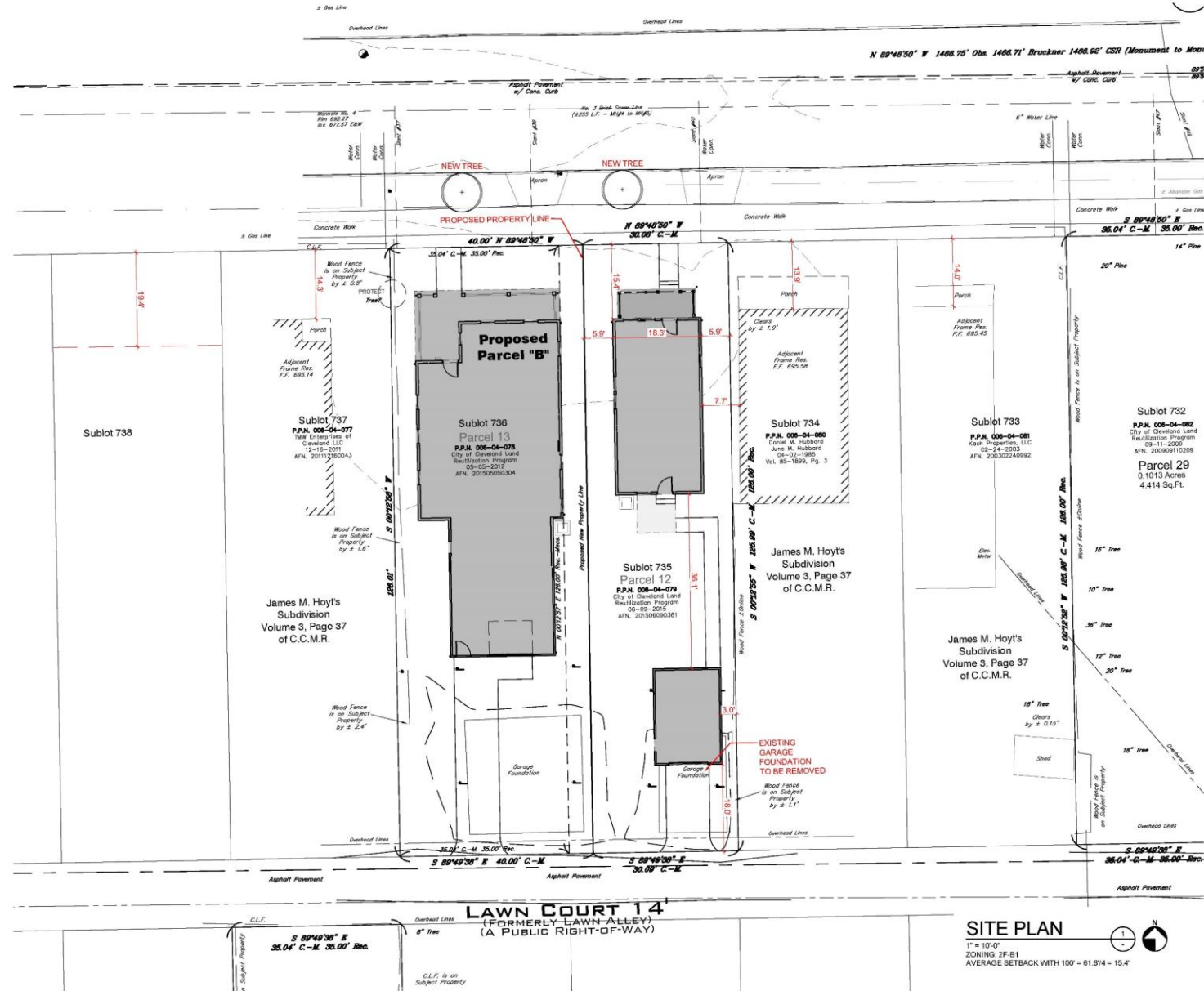


# Proposed Lot Configuration





# Proposed Site Plan – 7611 & 7615 Lawn Avenue (Site 12 & 13)



**SITE PLAN**  
 1" = 10'-0"  
 ZONING: 2F-B1  
 AVERAGE SETBACK WITH 100' = 61.6/4 = 15.4'



# Examples of Proposed New Homes





# Lot Consolidation / Split

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June 18, 2021

For PPN# 004-17-104

**Project Address: 2499 Professor Street**

Project Representative: Brian Krantz

Proposed Lot Split for PPN#  
004-17-104

City Planning Commission

June 15, 2021



Narrative re: Division of Parcel 004-17-104 (2499 Professor Ave)

Ms. Lisa Farmer is the current owner of 2499 Professor Ave, proposes a division to Parcel 004-17-104. Currently 2499 Professor Ave consists of a multi-family home, built in the late 1800's (exact date unknown). Approval of Ms. Farmer's proposal would result in a new parcel created.

The impetus for the parcel division lies in Ms. Farmer's desire to split the existing vacant land from the existing housing structure, to sell the parcels separately.

Supplemental document included:

1. A proposed site plan for the parcel split.





9:16



2499 Professor Ave



St. The  
Orthodox

Lucky Park



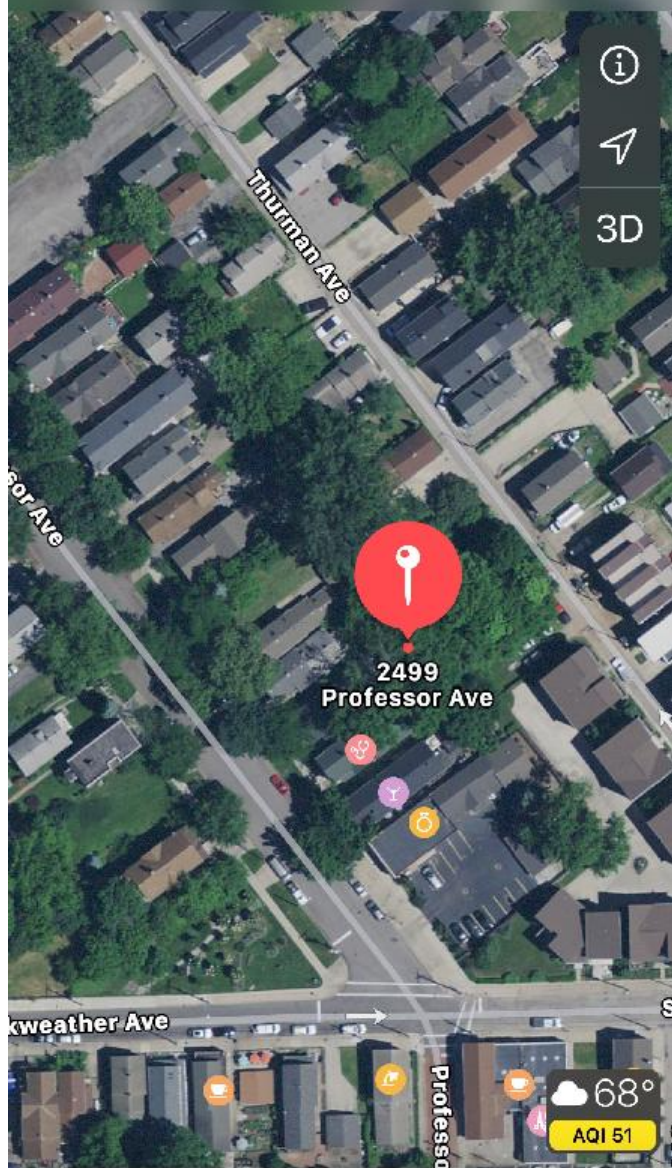
2D



X 2499 Professor Ave Building

10:44

LTE



3D



2499  
Professor Ave

Weather Ave

Professor

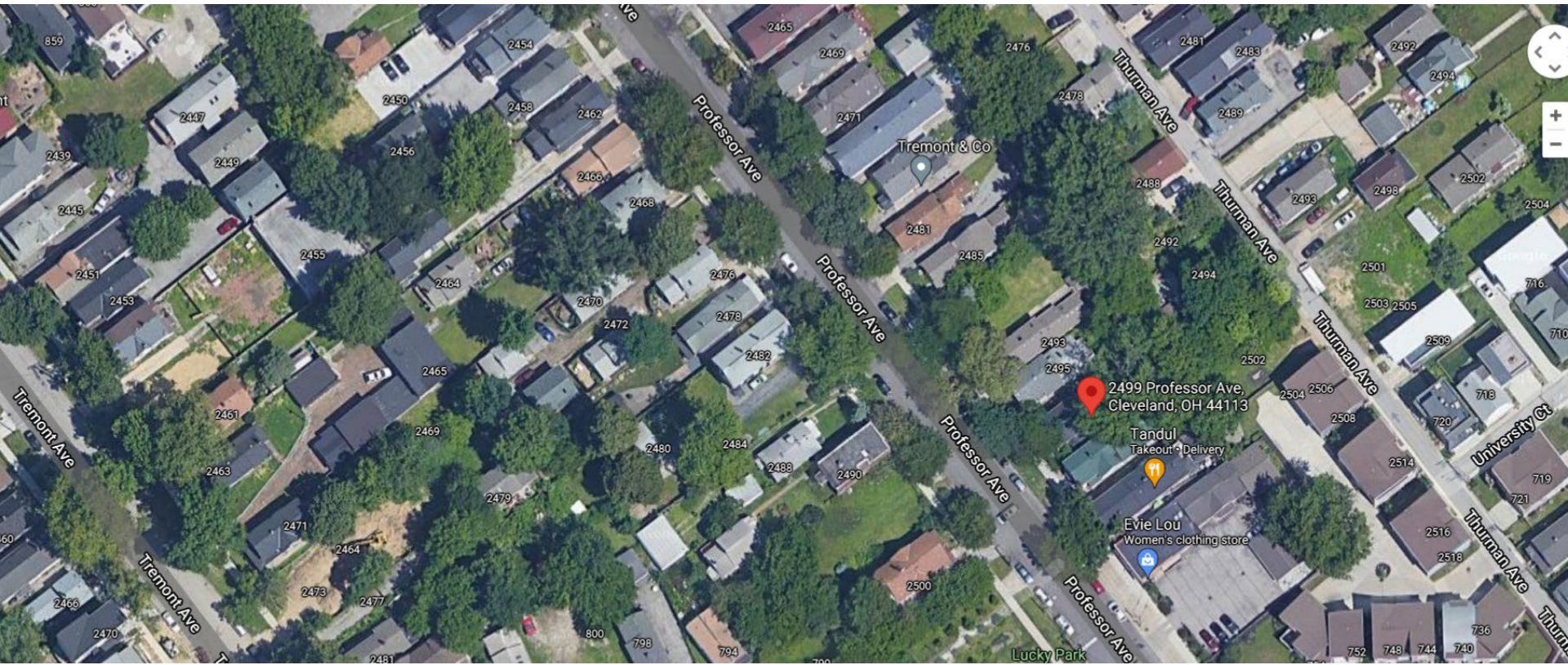
68°  
AQI 51

2499 Professor Ave

28 mi







**LOT SPLIT PLAT**  
 OF  
**2499 PROFESSOR STREET**  
 P.P.N. 004-17-104  
 CREATING  
 PARCELS "A" AND "B"  
 CITY OF CLEVELAND, OHIO  
 FOR  
**CLEVELAND BRICKS**

Shaded in the City of Cleveland, County of Cuyahoga and State of Ohio and known as being part of Sublot No. 147 in the Wilson State, Jr.'s Subdivision of part of the Original Brooklyn Township Lot No. 87, as shown by the plat recorded in Volume 1, Page 23 of Cuyahoga County Map Records.

**OWNERS ACCEPTANCE**

I, (We) the undersigned owner(s) of the land shown hereon, do hereby accept this Plat of Lot Split of the same.

Use Former \_\_\_\_\_

**NOTARY**

State of \_\_\_\_\_  
 County of \_\_\_\_\_

Before me a Notary Public in and for said County and State, personally appeared the above named Owner(s) who acknowledged that he did sign the foregoing instrument and that it was his own free act and deed.

In witness whereof, I have hereunto set my hand and official seal on this \_\_\_\_ day of \_\_\_\_\_, 2021.

Notary Public \_\_\_\_\_

My commission expires \_\_\_\_\_

**APPROVALS**

This Plat of Lot Split is accepted and approved by the Planning Commissioner of the City of Cleveland, Ohio this \_\_\_\_ day of \_\_\_\_\_, 2021.

Planning Commissioner - Richard Seltzer

This Plat of Lot Split is accepted and approved by the Planning Director of the City of Cleveland, Ohio this \_\_\_\_ day of \_\_\_\_\_, 2021.

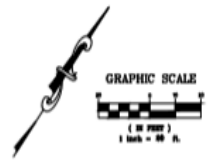
Planning Director - Freddy Keller

**CERTIFICATION**

This plat was prepared from a field survey, analysis of recorded plats, recorded deeds, and city survey records. Bearings shown hereon are to an assumed meridian and are intended to indicate angles only. Distances are given in feet and decimal parts thereof, all of which I certify to be correct to the best of my knowledge. I hereby certify I have surveyed the subject premises and prepared this drawing in accordance with the provisions of Chapter 4753-37 of the Ohio Administrative Code.

**Preliminary for Review**

Peter J. Goulet P.S. No. 5646 Date \_\_\_\_\_



**RIVERSTONE**  
 LAND SURVEYING ENGINEERING DESIGN  
 5900 LAKERSIDE AVENUE SUITE 100  
 CLEVELAND OHIO 44115  
 PHONE: (216) 450-2000 FAX: (216) 461-9440  
 WWW.RIVERSTONE-SURVEY.COM

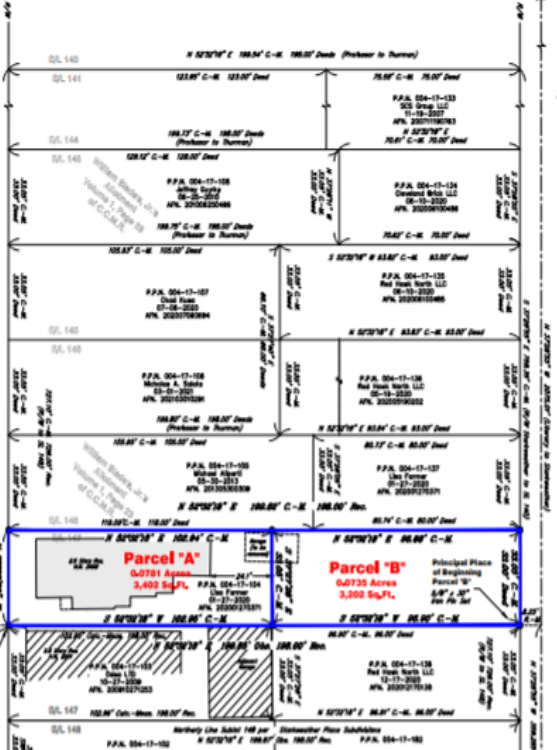
**LITERARY AVENUE S.W. 60'**  
 (FORMERLY LITERARY STREET)  
 (A PUBLIC RIGHT-OF-WAY)

**JEFFERSON AVENUE S.W. 66'**  
 (FORMERLY FRANKLIN STREET)  
 (A PUBLIC RIGHT-OF-WAY)

**THURMAN AVENUE 16.5'**  
 (A PUBLIC RIGHT-OF-WAY)

**PROFESSOR STREET 80'**  
 (FORMERLY WEST 7TH STREET)  
 (A PUBLIC RIGHT-OF-WAY)

**STARKWEATHER AVENUE 40'**  
 (A PUBLIC RIGHT-OF-WAY)



**REFERENCE SURVEYS**

- Wilson State Jr.'s University Heights Abatement, Volume 1, Page 33 of Cuyahoga County Map Records. (96C.)
- Starweather Place Subdivision No. 2, Volume 365, Page 6-7 of Cuyahoga County Deed Records. (D9P)
- Map of Lot Split & Consolidation, Volume 371, Page 98 of Cuyahoga County Deed Records.
- Consolidation Plat, Volume 306, Page 94 of Cuyahoga County Deed Records. (C94)
- Consolidation Plat, Volume 308, Page 72 and Volume 347, Page 31 of Cuyahoga County Deed Records. (C94)
- City of Cleveland Survey Records. (C92)
- City of Cleveland Survey No. 54, Dated February 1873. (SUNNY #94)
- City of Cleveland West 7th Plat, Dated April 2012.

**BASIS OF BEARINGS**

The meridian of West 7th Street as North 37°29'00" West as shown on the City of Cleveland Survey Record - West 7th Plat, Dated April 2012.

**LEGEND**

<ul style="list-style-type: none"> <li>▣ Boundary Line</li> <li>○ Iron Pin or Stake</li> <li>○ 1/2" Iron Pin</li> <li>○ 1/4" Iron Pin</li> <li>○ 3/8" Iron Pin</li> <li>○ 1/2" Iron Pin</li> <li>○ 3/4" Iron Pin</li> <li>○ 1" Iron Pin</li> <li>○ 1 1/2" Iron Pin</li> <li>○ 2" Iron Pin</li> <li>○ 3" Iron Pin</li> <li>○ 4" Iron Pin</li> <li>○ 6" Iron Pin</li> <li>○ 8" Iron Pin</li> <li>○ 10" Iron Pin</li> <li>○ 12" Iron Pin</li> <li>○ 14" Iron Pin</li> <li>○ 16" Iron Pin</li> <li>○ 18" Iron Pin</li> <li>○ 20" Iron Pin</li> <li>○ 24" Iron Pin</li> <li>○ 30" Iron Pin</li> <li>○ 36" Iron Pin</li> <li>○ 42" Iron Pin</li> <li>○ 48" Iron Pin</li> <li>○ 54" Iron Pin</li> <li>○ 60" Iron Pin</li> <li>○ 72" Iron Pin</li> <li>○ 84" Iron Pin</li> <li>○ 96" Iron Pin</li> <li>○ 108" Iron Pin</li> <li>○ 120" Iron Pin</li> <li>○ 144" Iron Pin</li> <li>○ 168" Iron Pin</li> <li>○ 192" Iron Pin</li> <li>○ 216" Iron Pin</li> <li>○ 240" Iron Pin</li> <li>○ 288" Iron Pin</li> <li>○ 336" Iron Pin</li> <li>○ 384" 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# Cleveland City Planning Commission

## Conditional Use Permit

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June 18, 2021

June 18, 2021



**NOTHING SCHEDULED TODAY**



# Cleveland City Planning Commission

## Mandatory Referrals

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June 18, 2021

# Mandatory Referrals

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June 18, 2021



Ordinance No. 478-2021(Ward 6/Councilmember Griffin): Authorizing the Commissioner of Purchases and Supplies to sell City-owned properties no longer needed for public use located along Mt. Carmel Road and Woodland Avenue to the Cuyahoga Metropolitan Housing Authority, or its designee, for purposes of implementing the second phase of the Woodhill Homes Eastern Node Project.



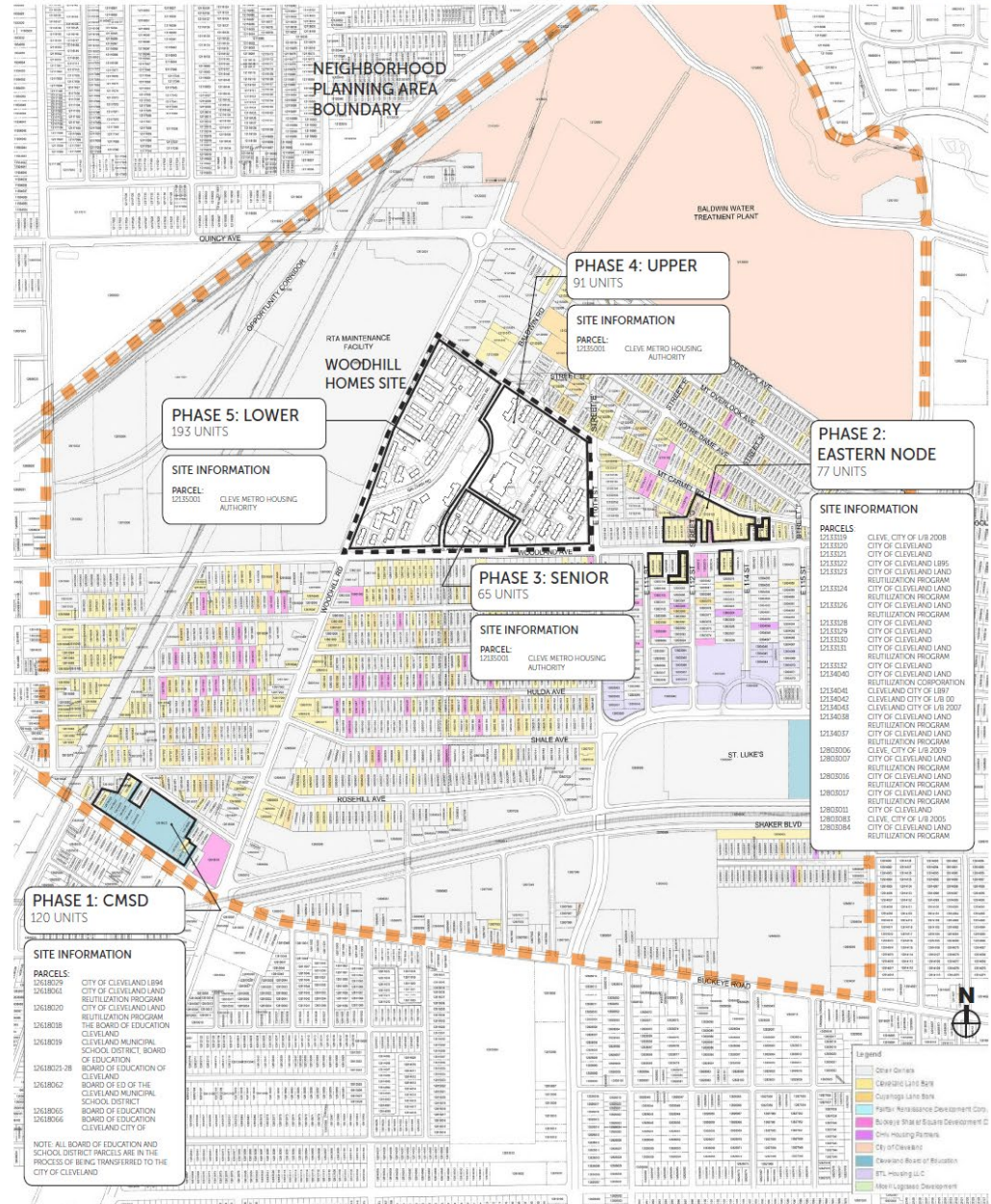
# Woodhill Center East

Phase 2 Parcels

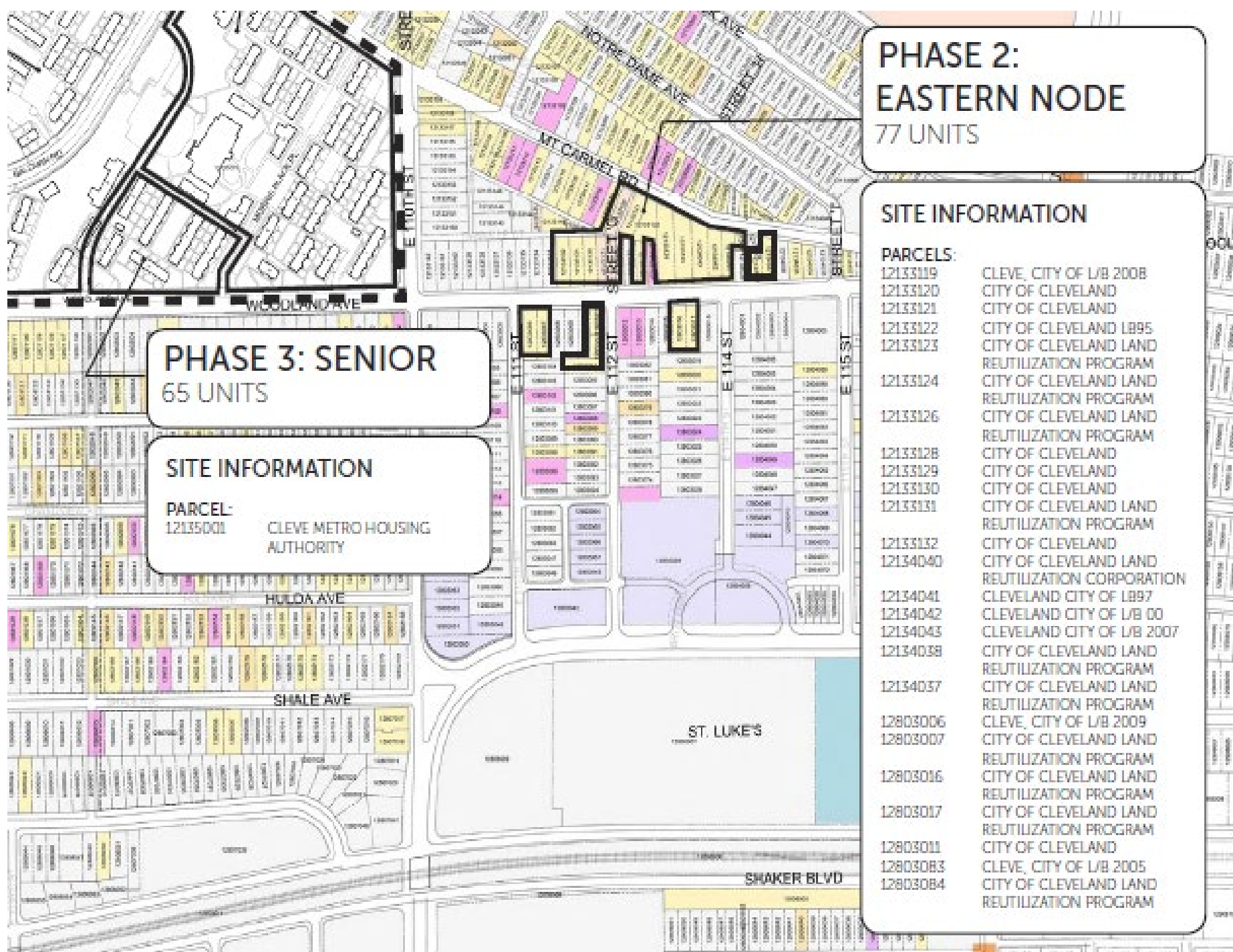
# #WOODHILLUPNEXT

ATTACHMENT 10 (PAGE 1) - LOCATION OF HOUSING MAP AND DOCUMENTATION

WOODHILL CHOICE NEIGHBORHOOD  
 CUYAHOGA METROPOLITAN HOUSING AUTHORITY  
 CITY OF CLEVELAND  
 THE COMMUNITY BUILDERS  
 CITY ARCHITECTURE  
 OCTOBER 31, 2019







**PHASE 2:  
EASTERN NODE**  
77 UNITS

**SITE INFORMATION**

PARCELS:	OWNER
12133119	CLEVE. CITY OF 1/8 2008
12133120	CITY OF CLEVELAND
12133121	CITY OF CLEVELAND
12133122	CITY OF CLEVELAND 1895
12133123	CITY OF CLEVELAND LAND REUTILIZATION PROGRAM
12133124	CITY OF CLEVELAND LAND REUTILIZATION PROGRAM
12133126	CITY OF CLEVELAND LAND REUTILIZATION PROGRAM
12133128	CITY OF CLEVELAND
12133129	CITY OF CLEVELAND
12133130	CITY OF CLEVELAND
12133131	CITY OF CLEVELAND LAND REUTILIZATION PROGRAM
12133132	CITY OF CLEVELAND
12134040	CITY OF CLEVELAND LAND REUTILIZATION CORPORATION
12134041	CLEVELAND CITY OF 1897
12134042	CLEVELAND CITY OF 1/8 00
12134043	CLEVELAND CITY OF 1/8 2007
12134038	CITY OF CLEVELAND LAND REUTILIZATION PROGRAM
12134037	CITY OF CLEVELAND LAND REUTILIZATION PROGRAM
12803006	CLEVE, CITY OF 1/8 2009
12803007	CITY OF CLEVELAND LAND REUTILIZATION PROGRAM
12803016	CITY OF CLEVELAND LAND REUTILIZATION PROGRAM
12803017	CITY OF CLEVELAND LAND REUTILIZATION PROGRAM
12803011	CITY OF CLEVELAND
12803083	CLEVE, CITY OF 1/8 2005
12803084	CITY OF CLEVELAND LAND REUTILIZATION PROGRAM

**PHASE 3: SENIOR**  
65 UNITS

**SITE INFORMATION**

PARCEL:  
12135001      CLEVE METRO HOUSING AUTHORITY



CONCEPTUAL SITE PLAN





CONCEPTUAL VIEW FROM STREET

# Mandatory Referrals

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June 18, 2021



Ordinance No. 471-2021(Ward 10/Councilmember Hairston): Authorizing the Director of Public Works to enter into an amendment to Lease Agreement No. N62467-RP-00061 with the United States Navy and an amendment to Lease Agreement No. CT 0103 NF 2014-009 with the Cleveland-Cuyahoga County Port Authority to transfer a portion of the United States Navy leasehold to the Port Authority leasehold so that it may be improved and maintained as part of the Cleveland Lakefront Nature Preserve.



# Cleveland City Planning Commission

**Real Estate Legislation  
June 18, 2021**



**CITY OF CLEVELAND**  
Mayor Frank G. Jackson



# Ord. No. 471-2021

Modify US Navy and Port Authority Leases at Gordon Park





# Ord. No. 471-2021

Modify US Navy and Port Authority Leases at Gordon Park

- This legislation:
  - Allows DPW to modify leases with the U.S. Navy and the Port Authority to transfer a small, unimproved and unused 0.2808-acre portion of the Navy's leasehold, which lies outside the Navy's security fence, to the adjacent Port Authority's leasehold so that it may be improved and maintained as part of the Cleveland Lakefront Nature Preserve.
  - The Navy and Port Authority have already approved the lease modifications.





# Cleveland City Planning Commission

## Administrative Approvals

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June 18, 2021

# Administrative Approvals

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June 18, 2021

Ordinance No. 436-2021(Ward 5/Councilmember Gray): Changing the Use, Area and Height Districts of **parcels of land south of future Opportunity Corridor Boulevard between East 75<sup>th</sup> Street and East 79<sup>th</sup> Street.**

Note: this item was Approved by the Planning Commission on May 21, 2021 as an un-numbered ordinance.



# Cleveland City Planning Commission

## Design Review Cases

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June 18, 2021

# Southeast Design Review Case

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June 18, 2021

SE2020-031 - Garden of 11 Angels New Memorial Garden: Seeking Final Approval

**Project Location: Imperial Avenue and East 123<sup>rd</sup> Street**

Project Representatives: Isaac Robb, Western Reserve Land Conservancy

David Wilson, LAND Studio

Scott Whitley, Architect





City of Cleveland

Frank G. Jackson, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F: 216/664-3281

www.planning.city.cleveland.oh.us

## Planning Commission/Design Review Application

DATE:

PROJECT NAME:

PROJECT ADDRESS:

PROJECT LOCATION (if no address):

CONTACT PERSON (for design review):

COMPANY:

PHONE:

EMAIL:

**OWNER:** Natural Areas Land Conservancy LLC (NALC) a subsidiary to Western Reserve Land Conservancy LLC

**ARCHITECT/ CONTRACTOR:** Whitley & Whitley Architects

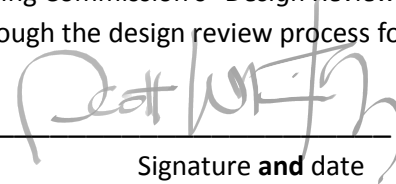
Memorial Plaza and Garden

**PROJECT TYPE:**  New Building  Rehabilitation  Addition  Sign  Fence  Parking  Storefront

**USE TYPE:**  Residential  Commercial  Industrial  Institutional  Mixed-Use

**Review Level:**  Conceptual  Schematic Design  Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review Applicant Guide" and agree to follow its guidance in proceeding through the design review process for the subject project.

  
Signature and date

\*\*\*\*\*

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:

## Garden of Eleven Angels Memorial Garden Project Summary

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The death of eleven women at the hands of a serial killer, whose bodies were found hidden in and around the killer's home at 12205 Imperial Avenue on the border of the neighborhoods of Mt. Pleasant and Buckeye-Shaker, is a painful and traumatic memory for the families of the victims, the survivors, the neighborhood, and our entire community. This is the sad impetus of the Garden of Eleven Angels project. Over the years, many community and faith leaders have worked together towards establishing a memorial to honor the victims of this horrific act of violence.

In March 2021, Western Reserve Land Conservancy (WRLC) completed the acquisition of 12205 Imperial Ave. where the bodies were found and seven adjoining parcels, 12201, 12115, 12111, 12107, 12103, and 12021. All parcels will transfer to Natural Areas Land Conservancy, a subsidiary LLC of WRLC and consolidated for long-term ownership. Burten, Bell, Carr Development Inc. (BBC) will assume long-term maintenance of the property through a Lease and Management Agreement.

The Garden of Eleven Angels will be located at 12201 and 12115 Imperial Ave. The location that changed the lives of many community members forever will not include elements of the memorial but remain untouched except for the planning of trees in honor of the Angels. For the families and the community affected by the traumatic events that transpired on Imperial Ave, the successful completion of the Garden of Eleven Angels will bring closure that they have been seeking for over a decade now. The memorial garden will commemorate the lives of the eleven victims, serving as a space in which to gather, reflect, and honor the lives and memories of these women while also simultaneously serving as a reminder of the violence perpetrated disproportionately against vulnerable populations in our community, often including women of color. The Garden of Eleven Angels will serve as a call for our community to do better, to protect and care for one another, and to oppose the systems of oppression and injustice that often allow these kinds of horrific acts to go unnoticed, and to happen in the first place.

The Garden of Eleven Angels is also intended to uplift the surrounding neighborhoods of Mount Pleasant and Buckeye-Shaker, as it sits on the border between these two predominately Black and low-income neighborhoods. Both neighborhoods, much like many neighborhoods in the city of Cleveland, has experienced significant population loss, disinvestment and blight resulting from the foreclosure crisis and Great Recession of 2008, which disproportionately impacted these communities due to discriminatory practices including redlining and predatory lending. Vacancy, economic depression, and violence are the legacies of this recent history, which are still felt acutely in these neighborhoods today. The transformation of eight vacant residential parcels where blighted and abandoned homes once stood into a vibrant urban green space will not only improve the aesthetic quality of the block but will also provide nearby residents with direct access to a publicly accessible natural area. The Garden of Eleven Angels will be



## Garden of Eleven Angels Memorial Garden Project Summary

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further accessible to a greater portion of the surrounding community due to its proximity to bus stops along RTA lines 8 and 48-48A, on E. 116th and E. 130th.

The Garden of Eleven Angels will include an entry plaza with a seating wall, a pathway, and a memorial monument with an inscription of the names of the victims and an excerpt of the poem "Still I Rise" by Maya Angelou. Lighting and sight lines are incorporated into the site design to ensure safety and accessibility, and the pathway to the memorial will be ADA compliant. An infinity symbol and repetitions of eleven establish symbolism throughout the space. Restoration of the Property with native plantings, including 33 native trees as well as native wildflowers, forbs and grasses will enhance the overall appearance and environmental benefit of the Garden of Eleven Angels, providing a natural, sanctuary-like setting for the memorial.

### Memorial Overview

Location: 12201 and 12115 Imperial Ave., Cleveland, OH 44120

Memorial Size: 70' x 120'

Memorial Elements: Native plants and trees, pavers, seating wall, monument

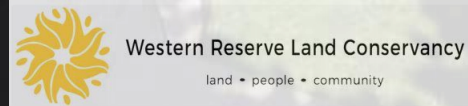
# *Garden of 11 Angels*

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City of Cleveland

Design Review – June 2021

Natural Areas Land Conservancy







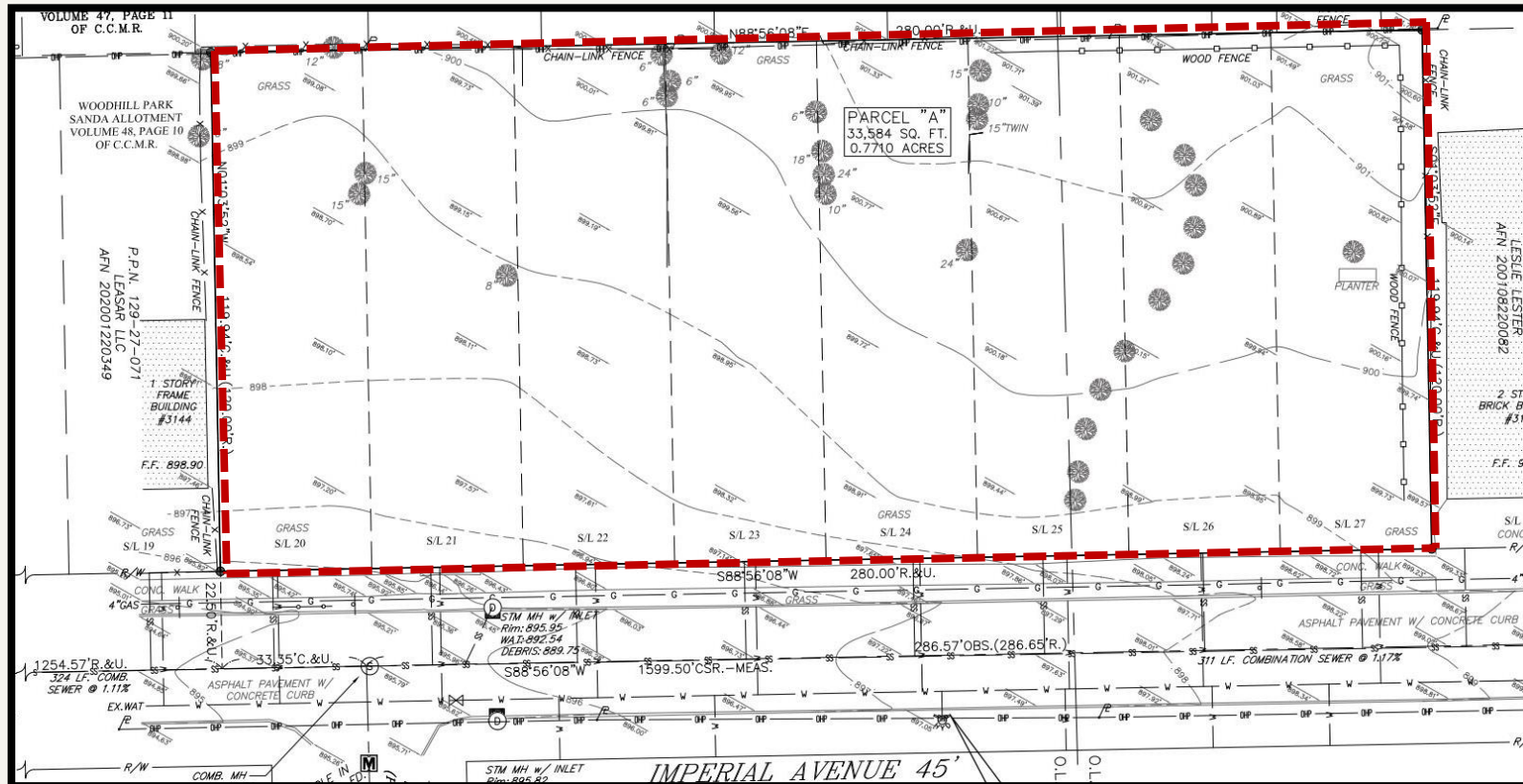
Garden of 11 Angels

# *Existing Conditions*



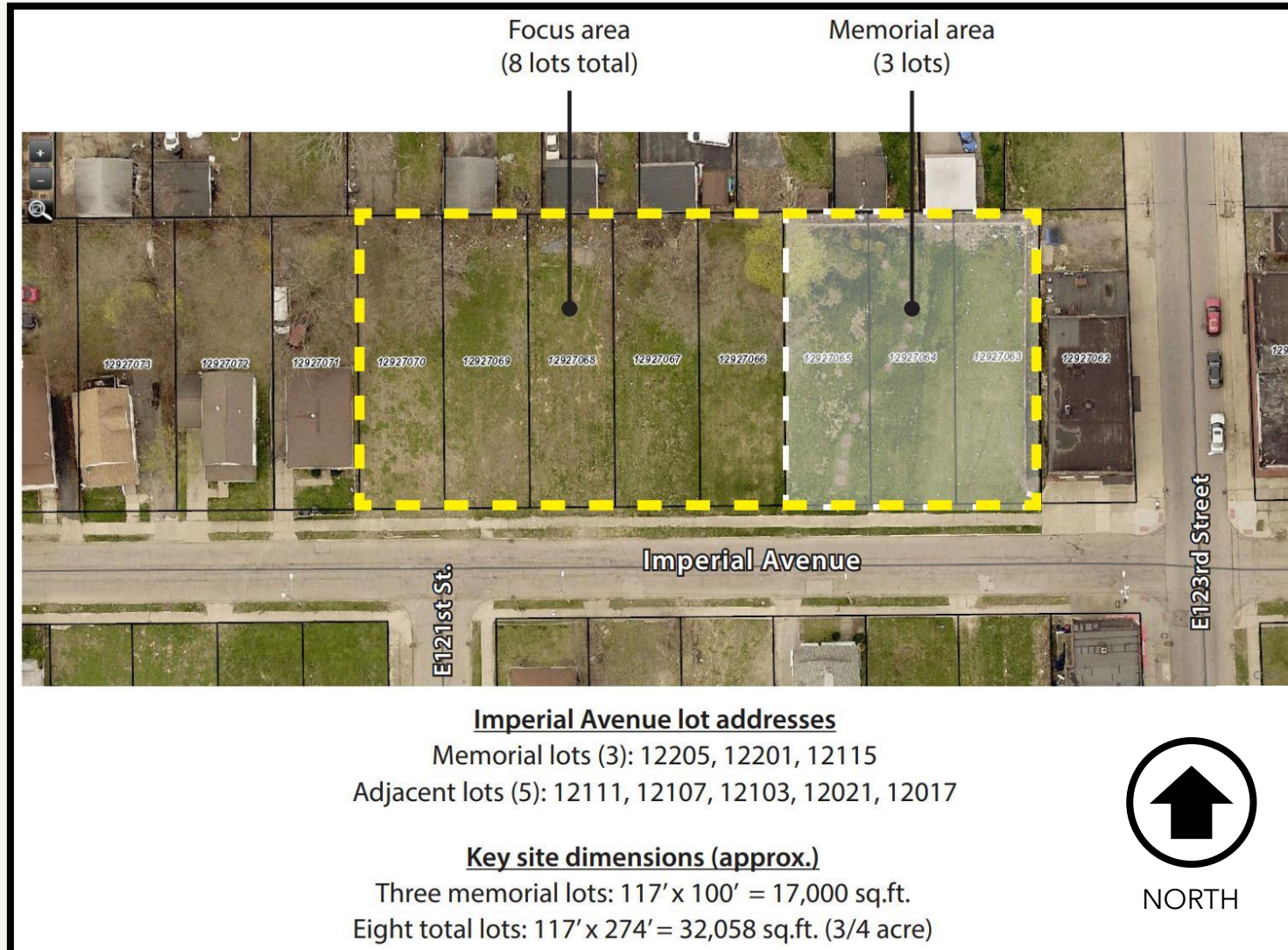


# Garden of 11 Angels Survey



# Garden of 11 Angels

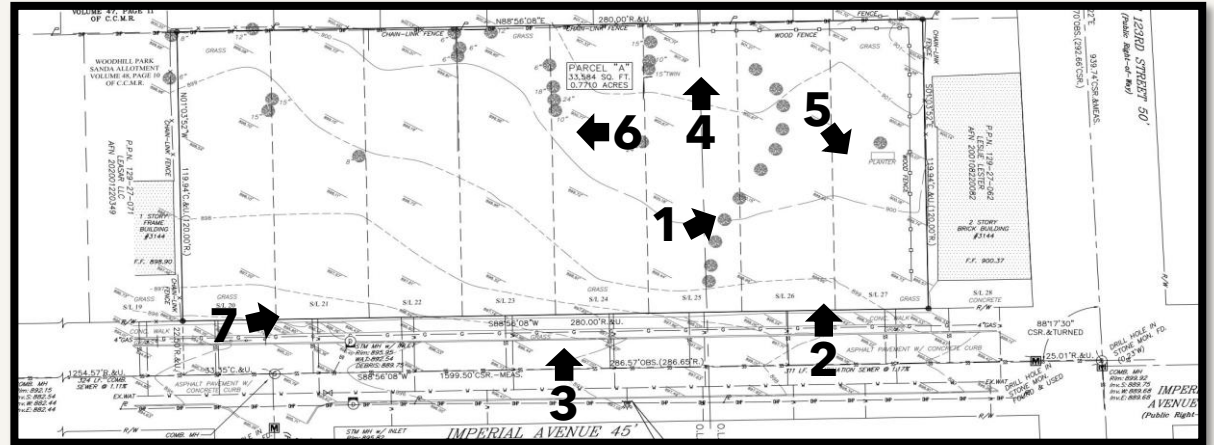
## Existing Conditions





# Garden of 11 Angels

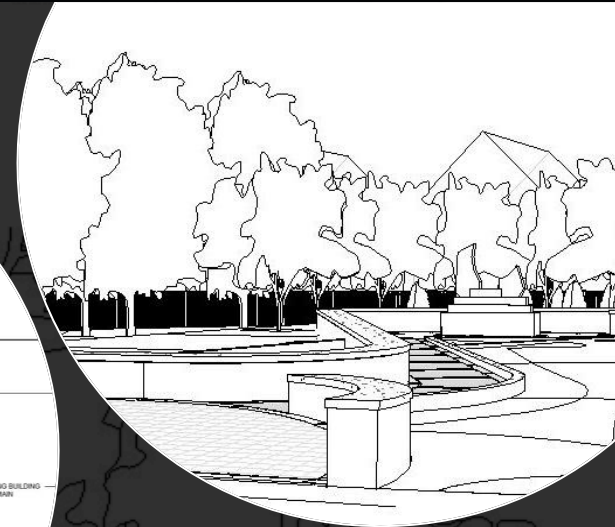
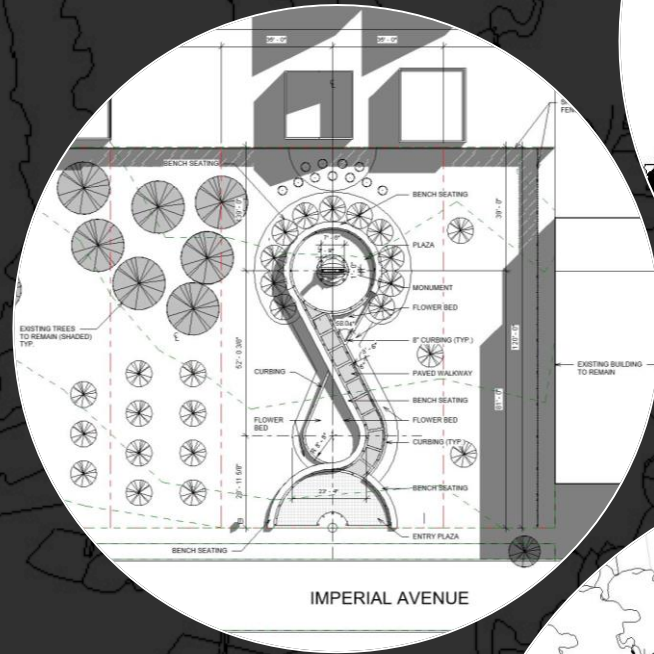
## Existing Views





Garden of 11 Angels

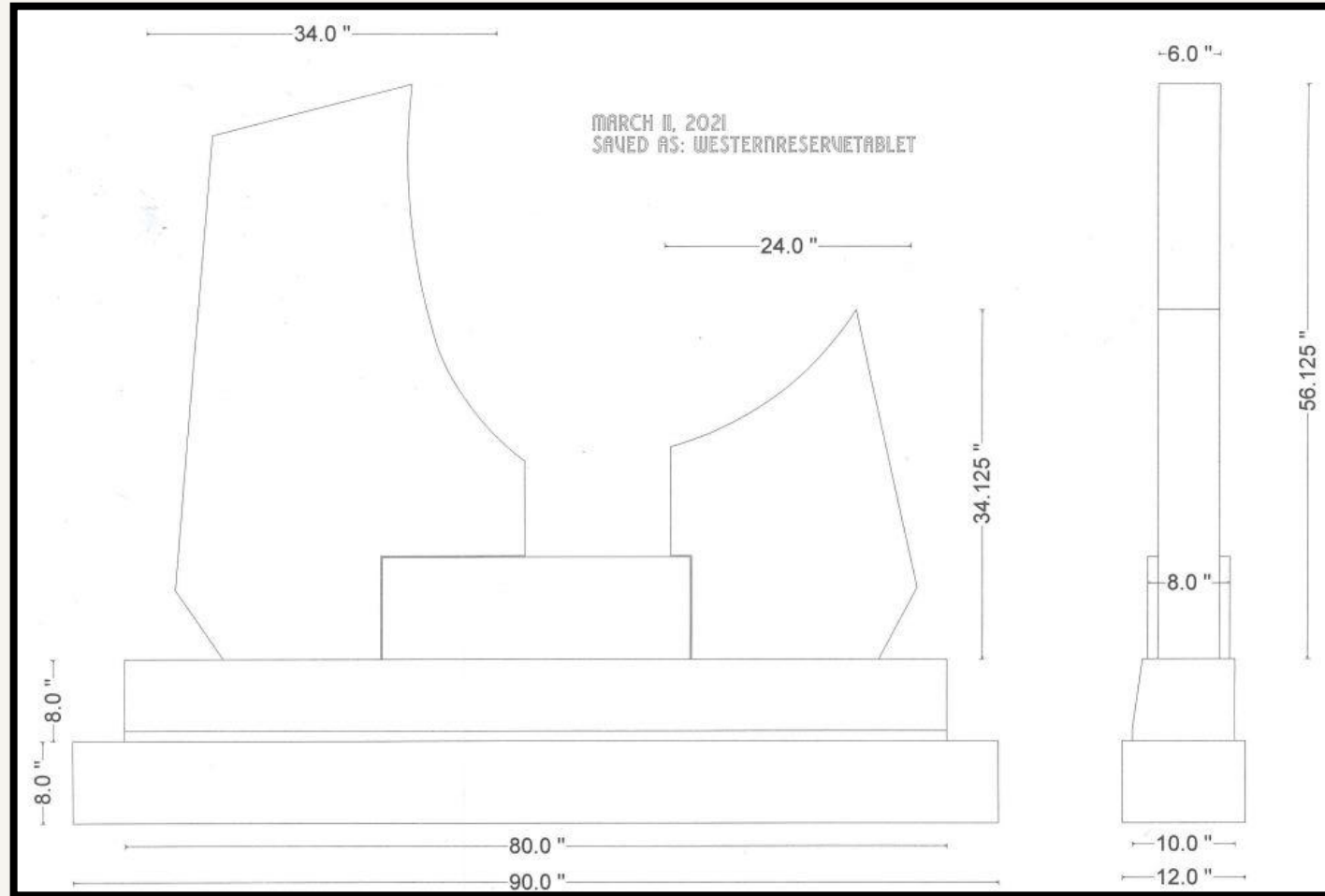
# Proposed Design





# Garden of 11 Angels

## Monument

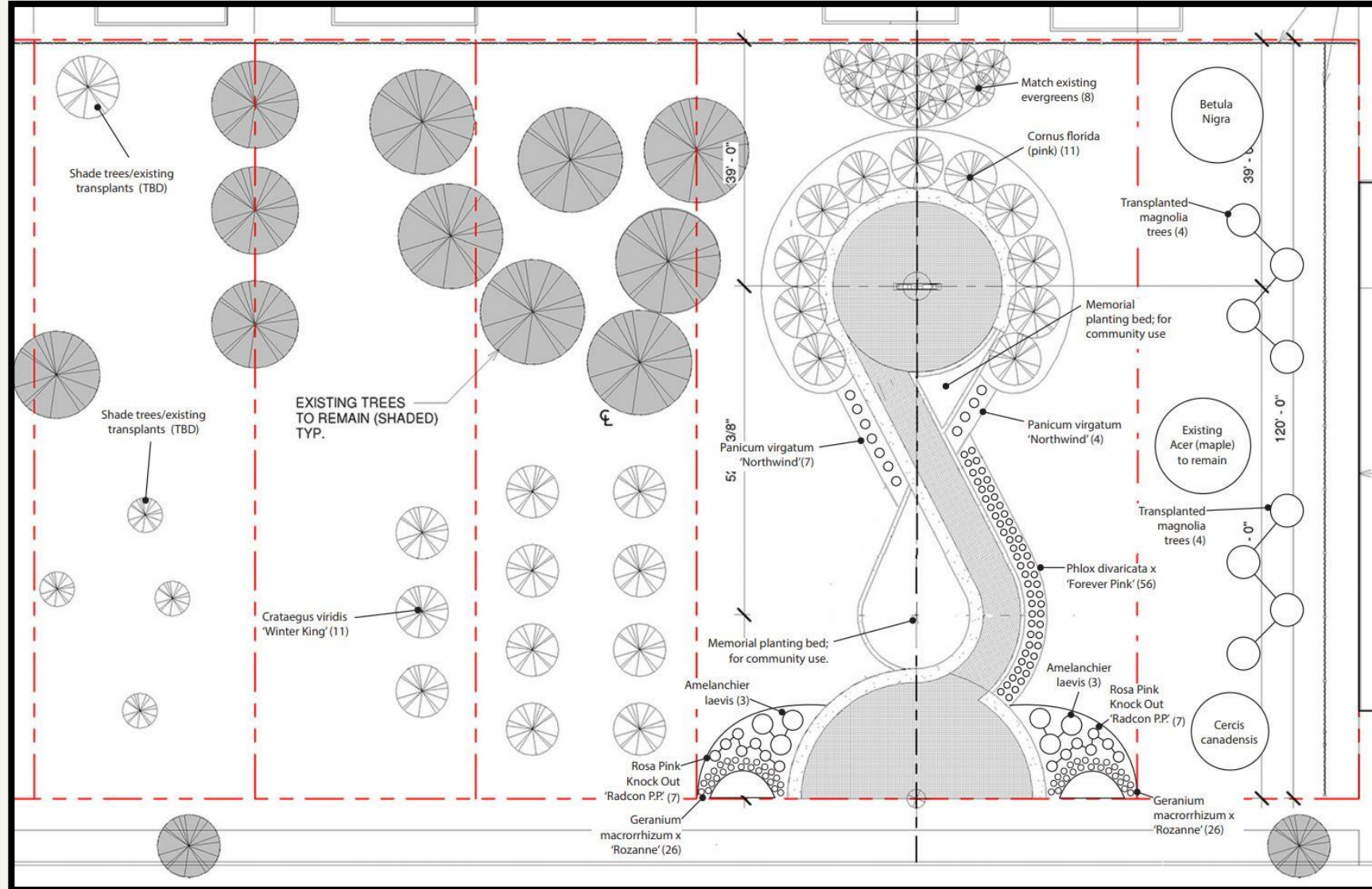






# Garden of 11 Angels

## Landscape Plan



# Garden of 11 Angels

## Plant List

Common Name	Botanical Name	Type	Location	Qty	Size/Ht.	Cond.
Winter King Hawthorn	Crataegus viridis 'Winter King'	Tree	Parcel #3/4	11	2" cal.	B&B
Flowering Dogwood	Cornus florida (pink)	Tree	Memorial garden	11	2" cal.	B&B
Eastern Red Bud	Cercis canadensis	Tree	Parcel #1	1	2" cal.	B&B
River Birch (clump)	Betula nigra 'Cully' Heritage	Tree	Parcel #1	1	12' ht.	B&B
Allegheny Serviceberry (clump)	Amelanchier laevis	Tree	Memorial garden	6	6' ht.	B&B
Northwind Switch Grass	Panicum virgatum 'Northwind'	Grass	Memorial garden	11	#5 cont.	
Forever Pink Phlox	Phlox divaricata x 'Forever Pink'	Peren.	Memorial garden	56	#2 cont.	
Rozanne Geranium	Geranium macrorrhizum x 'Rozanne'	Peren.	Memorial garden	52	#2 cont.	
Pink Knock Out Rose	Rosa Pink Knock Out 'Radcon P.P.'	Peren.	Memorial garden	14	#5 cont.	
<i>Arborvitae</i>	<i>*WRLC to ID existing shrubs*</i>	<i>Shrub</i>	<i>Memorial garden</i>	<i>8</i>	<i>8' ht.</i>	<i>B&amp;B</i>
<i>Seasonal annuals</i>	<i>Memorial garden beds for opening event</i>	<i>Annuals</i>	<i>Memorial garden</i>	<i>TBD</i>	<i>#2 cont.</i>	
Black Tupelo	Nyssa sylvatica	Tree	Parcel #6, 7, 8	1	2" cal.	B&B
Yellowwood	Cladrastis kentukea	Tree	Parcel #6, 7, 8	1	2" cal.	B&B
White Pine	Pinus strobus	Tree	Parcel #6, 7, 8	1	2" cal.	B&B
Tuliptree	Liriodendron tuliperfera	Tree	Parcel #6, 7, 8	1	2" cal.	B&B
American Beech	Fagus grandifolia	Tree	Parcel #6, 7, 8	1	2" cal.	B&B
Kentucky Coffeetree	Gymnocladus dioicus	Tree	Parcel #6, 7, 8	1	2" cal.	B&B
Cucumbertree	Magnolia acuminata	Tree	Parcel #6, 7, 8	1	2" cal.	B&B
Ohio Buckeye	Aesculus glabra	Tree	Parcel #6, 7, 8	1	2" cal.	B&B
Sugar Maple	Acer saccharum	Tree	Parcel #6, 7, 8	1	2" cal.	B&B
Red Oak	Quercus rubra	Tree	Parcel #6, 7, 8	1	2" cal.	B&B



# Garden of 11 Angels

## *Tree Visuals*





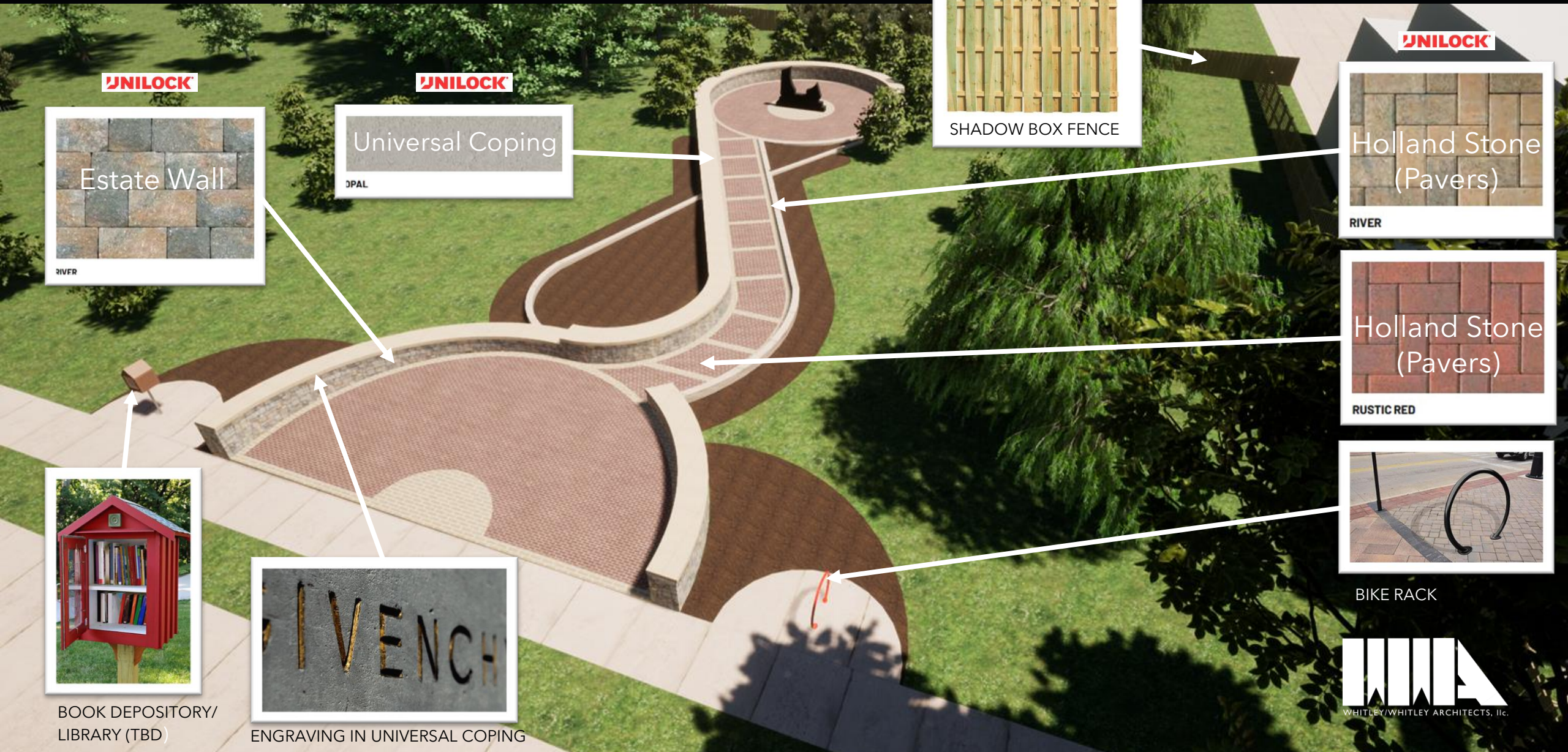
***Plant Visuals***





# Garden of 11 Angels

## Material Selections



**JNIOLOCK**

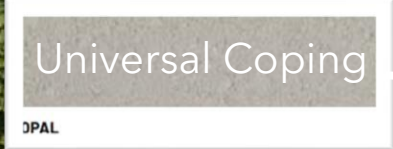
**JNIOLOCK**

**JNIOLOCK**



Estate Wall

RIVER

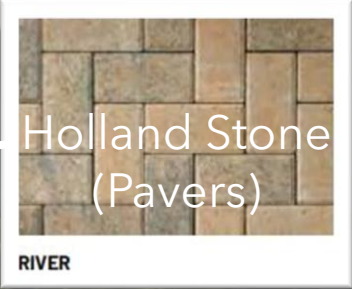


Universal Coping

DPAL



SHADOW BOX FENCE



Holland Stone (Pavers)

RIVER



Holland Stone (Pavers)

RUSTIC RED



BIKE RACK



BOOK DEPOSITORY/  
LIBRARY (TBD)



ENGRAVING IN UNIVERSAL COPING



WHITLEY/WHITLEY ARCHITECTS, ILC.



Garden of 11 Angels

***Rendering (Plaza Entry)***





Garden of 11 Angels

***Rendering (Monument Plaza)***





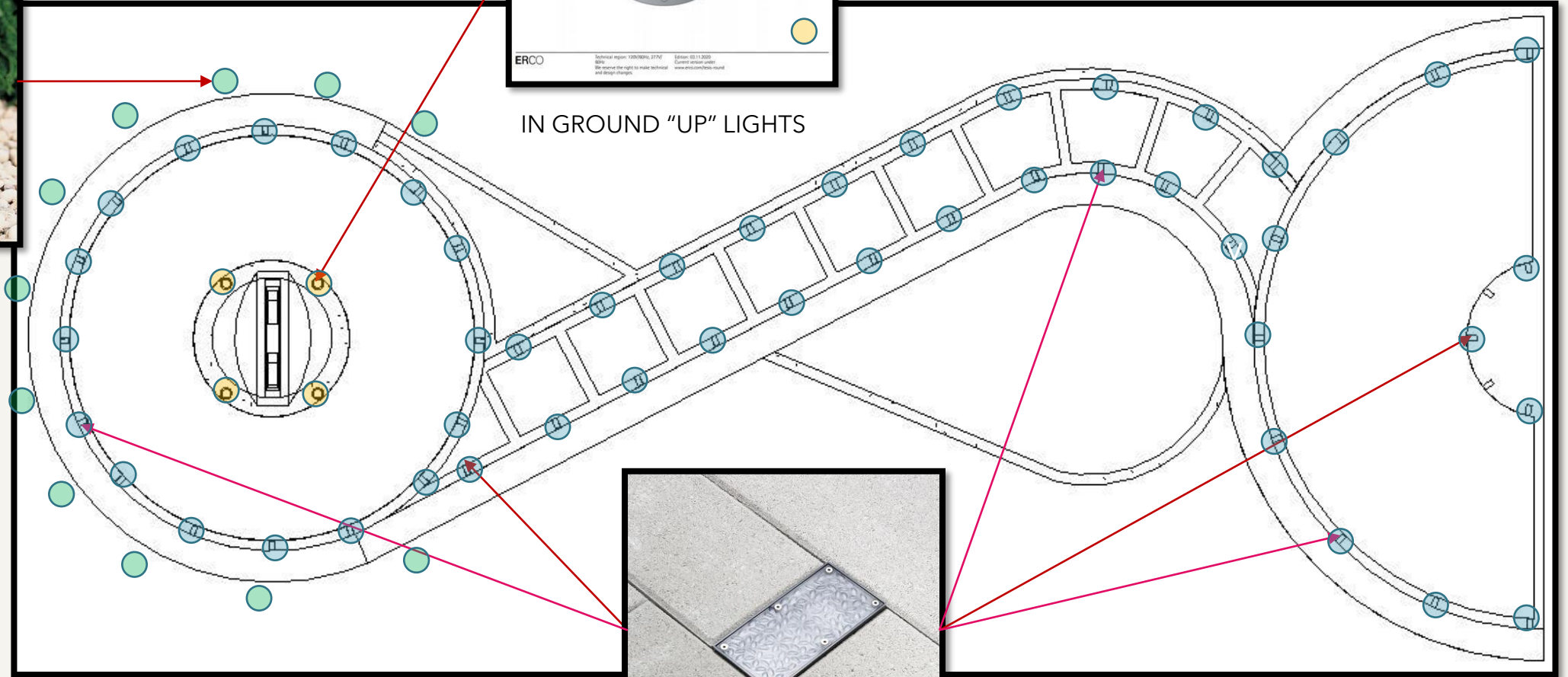
# Garden of 11 Angels *Lighting Layout*



IN GROUND SPOT LIGHTS



IN GROUND "UP" LIGHTS



IN GROUND SOLAR LIGHT "BRICKS"



Garden of 11 Angels  
***Lighting (Plaza Entry)***





Garden of 11 Angels

## ***Lighting (Monument Plaza)***





Garden of 11 Angels

# *Questions*



# *Garden of 11 Angels*

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City of Cleveland

Design Review – June 2021

Natural Areas Land Conservancy





# Northeast Design Review Case

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June 18, 2021



NE2021-016 – A Piece of Cleveland New Construction: Seeking Final Approval

**Project Address: 19001 Nottingham Road**

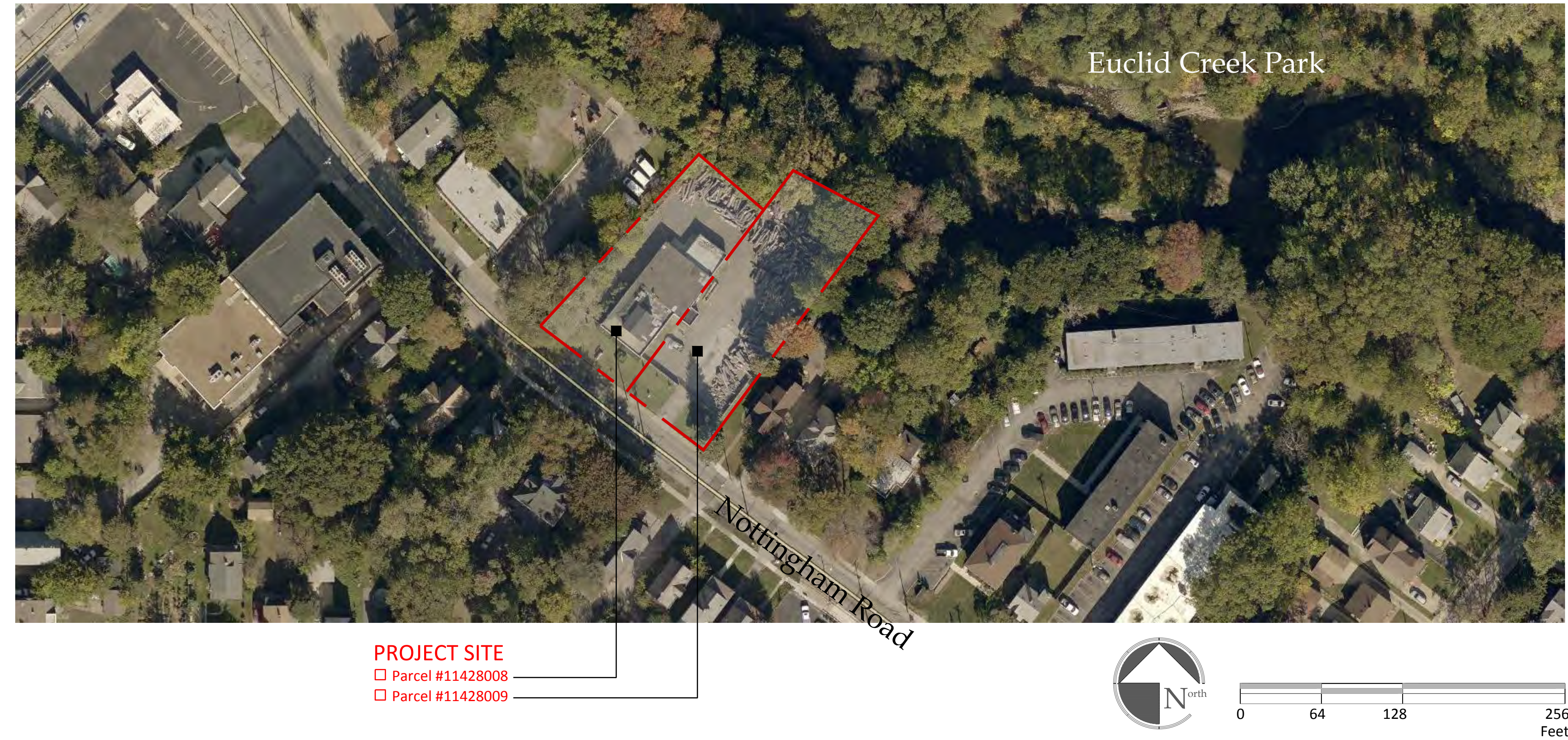
Project Representative: Matt Plecnik, Cleveland Draws



Street View from SouthEast



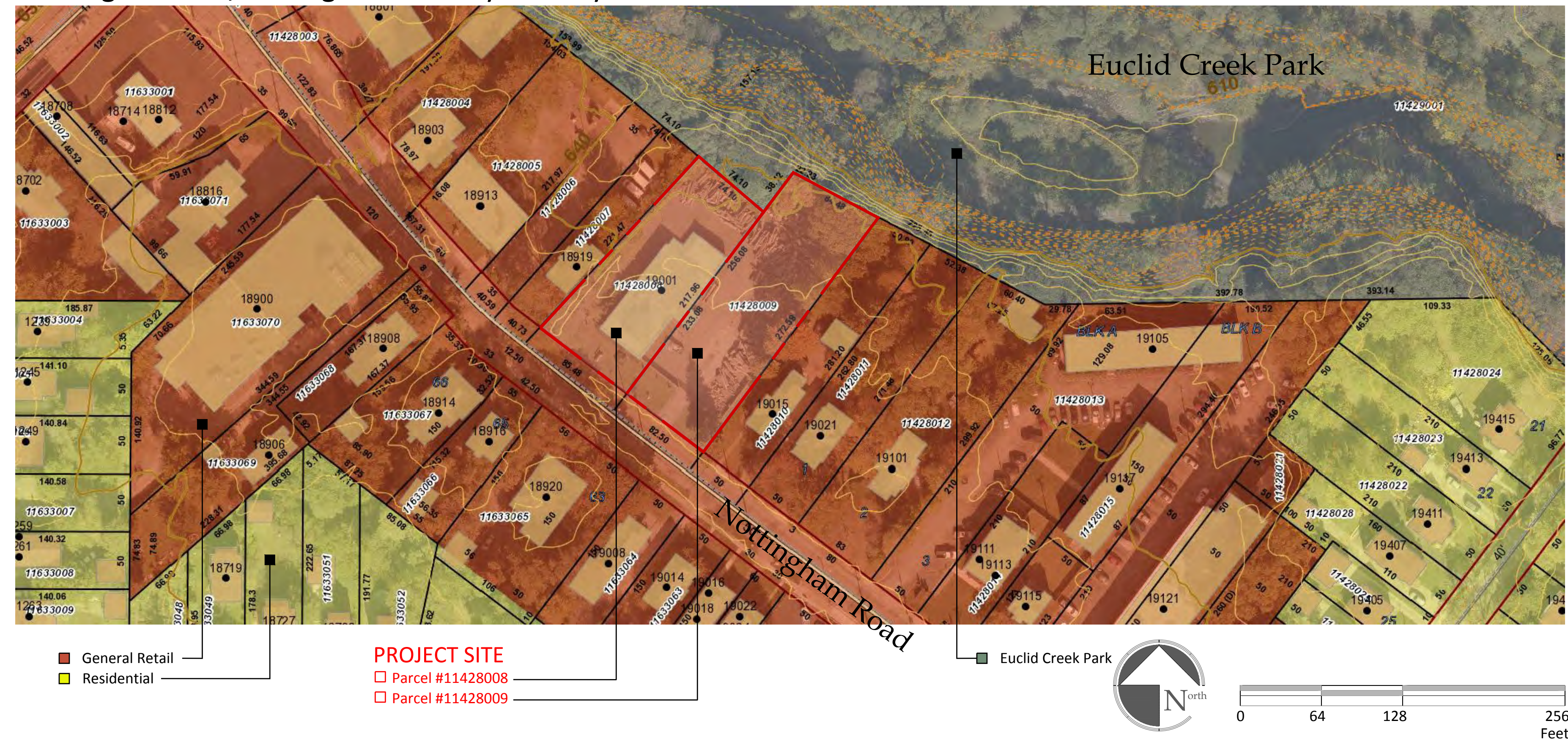
Existing Aerial



Existing Conditions: BirdsEye View from SouthEast



Existing Aerial w/ Zoning & Boundary Overlay







Aerial View from East





Aerial View from West





Street View from West





Street View from South





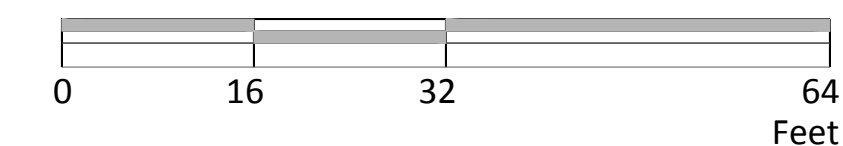
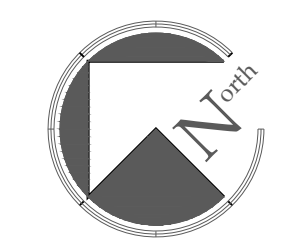
Street View from East





Existing Building to Be Demolished

Existing Paved Parking Area to remain (and repaired as required)





**PRELIMINARY SITE & ZONING DATA:**

**EXISTING PARCEL INFO:**

Address: 19001 Nottingham Road  
Cleveland, Ohio 44110  
Existing Zoning: Commercial Zone, General Retail

Parcel #1:  
Parcel #: 11428008  
Existing Lot Size: 16,400 SF (0.376 Acres)  
Total Legal Front: 85.5'

Parcel #2:  
Parcel #: 11428009  
Existing Lot Size: 20,584 SF (0.473 Acres)  
Total Legal Front: 82.5'

**PROPOSED USE & SCOPE OF WORK:**

Proposed Use: M (Mercantile)  
(Showroom for Custom Wood Furniture Sales, which is a permitted use for General Retail per 343.11)

Existing Building Construction: VB (assumed)  
(Existing Building to be demolished completely.)  
Proposed Building Type: VB, single story (unsprinklered)  
Proposed Building Area: 6,300 gsf

Scope of Work:  
Proposed new Single Story Structure to be erected on-site including a new interior build-out to accommodate a show room for custom wood furniture.

- Work is to include, but not limited to:
- New Building Envelope (Prefabricated / Pre-Engineered Metal Structure)
  - New interior Build-Out including:
    - (2) Unisex Restrooms
    - Office Accessory Use
  - New Mechanical Units, Distribution & Fixtures
  - New Plumbing Fixtures & Distribution
  - New Electrical / Telephone / Data & Distribution
  - New Paved Parking Area
  - New Landscaping, Fencing & Walkway

**SETBACK REQUIREMENTS:**

6'-0" LANDSCAPE BUFFER  
Landscape strip providing 50% year round opacity is required where parking lot abuts street Per 352.08 - 12.

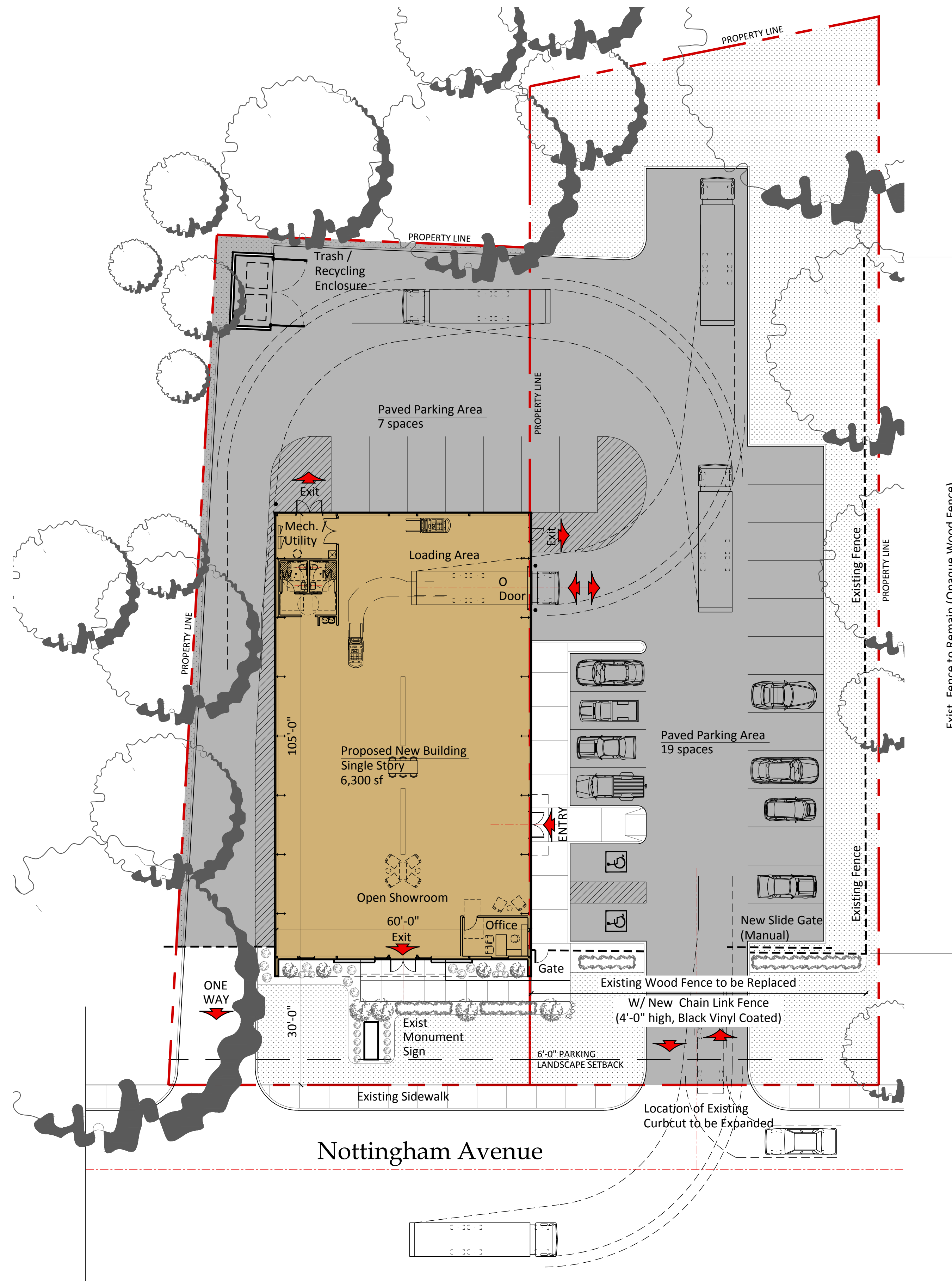
**PARKING:**  
For establishments having less than 2,000 square feet of gross floor area, 1 for each 1,000 square feet of gross floor area. For establishments having 2,000 square feet of gross floor area or more, 1 for each 700 square feet of gross floor area. PER 349.04(F).

Parking Required: 9 spaces  
Parking Provided: 26 spaces

**Signage Requirements:**

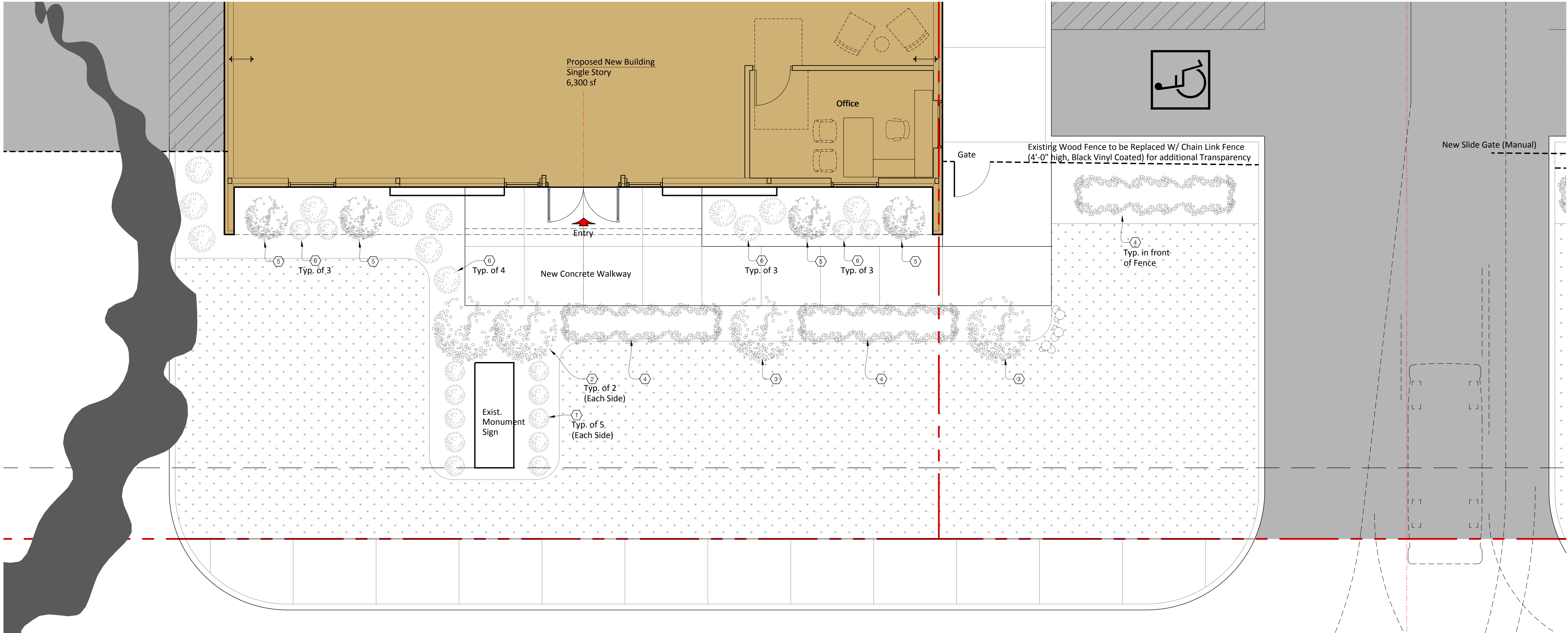
37 SF Allowable Signage Area for building signs (based on 60'-0" frontage)  
Per 350.14(a) Signs for Retail Districts: the max. sign face area of all permanent buildings shall be related to the width of the building (excluding Retail Signs) as determined by the following formula:  
 $(W \times L) + 25 = \text{Square Feet of Signage}$

50 SF Allowable Signage Area for freestanding signs  
Per 350.14(b) Signs for Retail Districts:



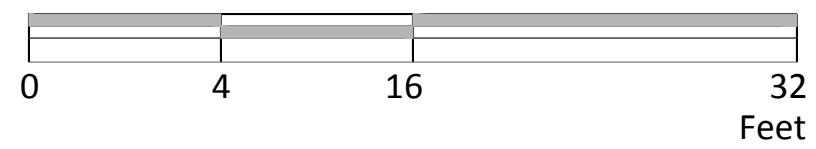
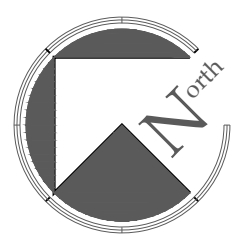
Exist. Fence to Remain (Opaque Wood Fence)  
Repair Any Damaged Or Deteriorated Boards & Repaint



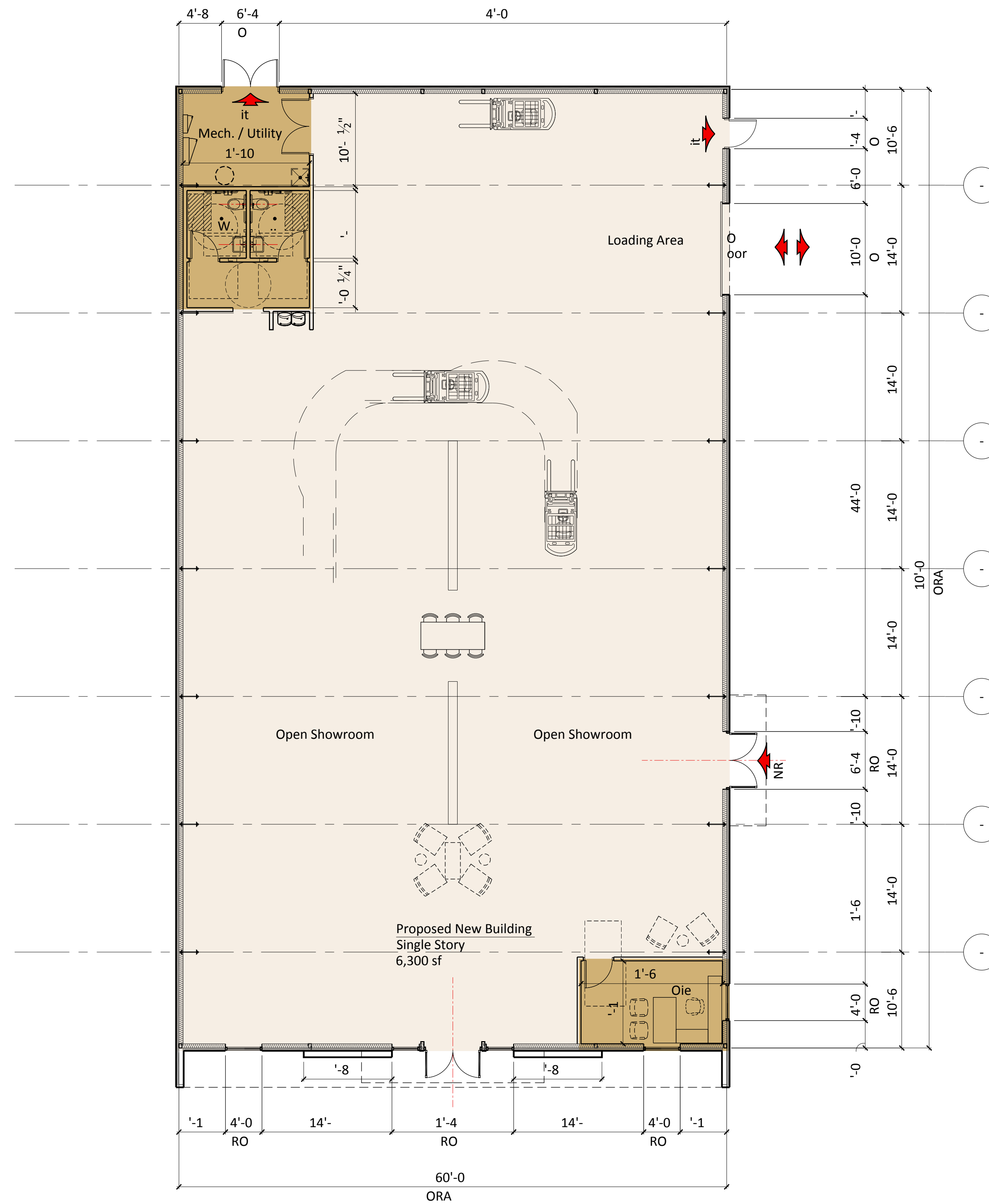


LANDSCAPE & PLANTING SCHEDULE

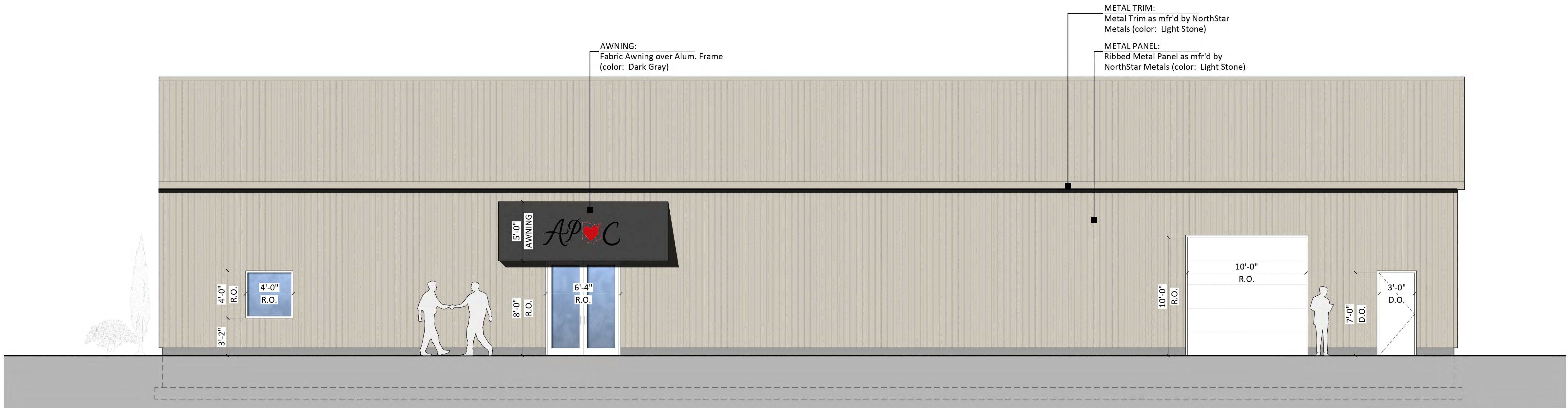
- |   |   |  |
|---|---|--|
| <p>① BLUE FESCUE (DECORATIVE GRASS): - FESTUCA GLAUCA<br/>INSTALLED PLANT SIZE: 12" MIN. HEIGHT &amp; WIDTH<br/>SPACING: 24" O.C.</p> <p>② HYDRANGEA 'QUICK FIRE': - PANICLE HYDRANGEA<br/>INSTALLED PLANT SIZE: 36" MIN. HEIGHT &amp; WIDTH<br/>SPACING: AS SHOWN ABOVE</p> <p>③ HYDRANGEA 'PHANTOM': - HYDRANGEA PANICULATA 'PHANTOM'<br/>INSTALLED PLANT SIZE: 36" MIN. HEIGHT &amp; WIDTH<br/>SPACING: AS SHOWN ABOVE</p> | <p>④ BOXWOOD: - ANTARCTICA BOXWOOD<br/>INSTALLED PLANT SIZE: 24" MIN. HEIGHT &amp; WIDTH<br/>SPACING: 24" O.C.</p> <p>⑤ LILAC BUSH: - SYRINGA X PRESTONIAE 'DONALD WYMAN'<br/>INSTALLED PLANT SIZE: 36" MIN. HEIGHT &amp; WIDTH<br/>SPACING: AS SHOWN ABOVE</p> <p>⑥ MISCANTHUS GRASS (DECORATIVE GRASS): - MISCANTHUS SINENSIS<br/>INSTALLED PLANT SIZE: 12" MIN. HEIGHT &amp; WIDTH<br/>SPACING: 24" O.C.</p> | <p>⑦ COLUMN JUNIPER: - JUNIPERUS CHINENSIS 'HETZII COLUMNARIS'<br/>INSTALLED PLANT SIZE: 48" MIN. HEIGHT<br/>SPACING: 48" O.C.<br/>-NO LONGER USED</p> |
|---|---|--|











East Facade



South Facade

AWNING:  
Fabric Awning over Alum. Frame  
(color: Dark Gray)

METAL TRIM:  
Metal Trim as mfr'd by NorthStar  
Metals (color: Light Stone)

METAL PANEL:  
Ribbed Metal Panel as mfr'd by  
NorthStar Metals (color: Light Stone)

GRAPHIC:  
(Paint & Stencil Graphic)  
Actual Area: 11.5 SF

SIGNAGE:  
(Contrasting White Lettering on Charcoal Gray Canopy)  
Allowable Area: 37 SF per 350.14(a) - based on 60'-0" Frontage  
Actual Area: 25.5 SF

METAL TRIM:  
Metal Trim as mfr'd by NorthStar  
Metals (color: Light Stone)

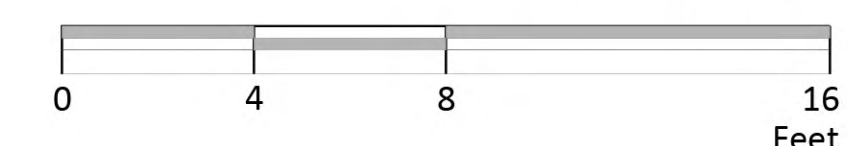
METAL PANEL:  
Ribbed Metal Panel as mfr'd by  
NorthStar Metals (color: Light Gray)

AWNING:  
Fabric Awning over Alum. Frame  
(color: Dark Gray)

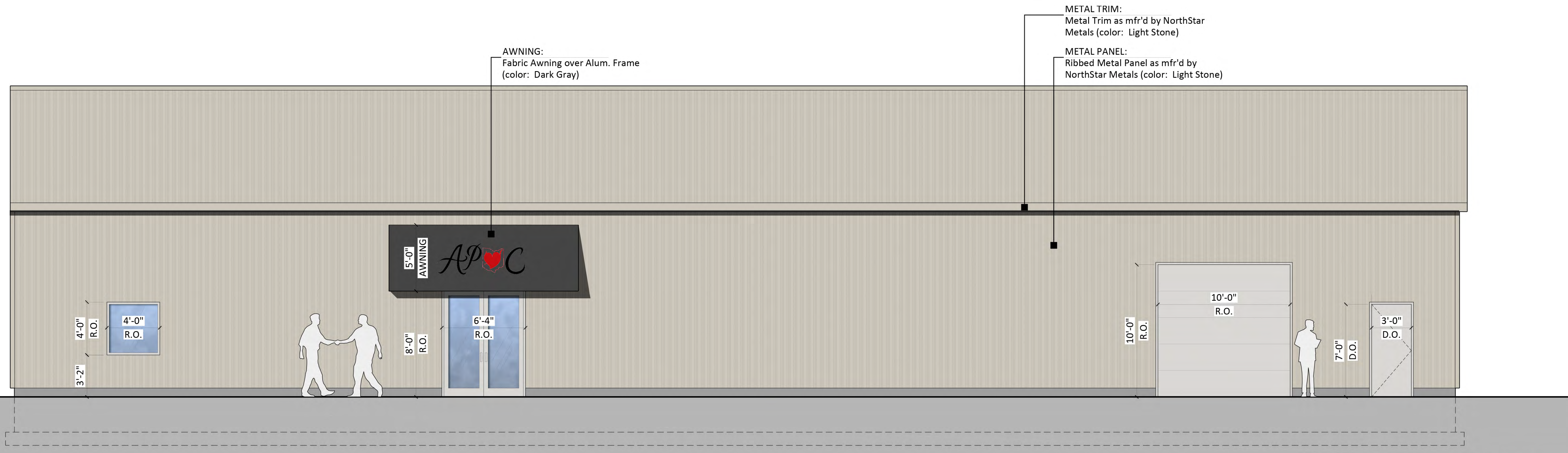
SALVAGED WOOD PLANKS:  
Reclaimed Wood Planks by APOC  
(color: Varies)

T.O. TRUSS  
ELEV = +14'-0"

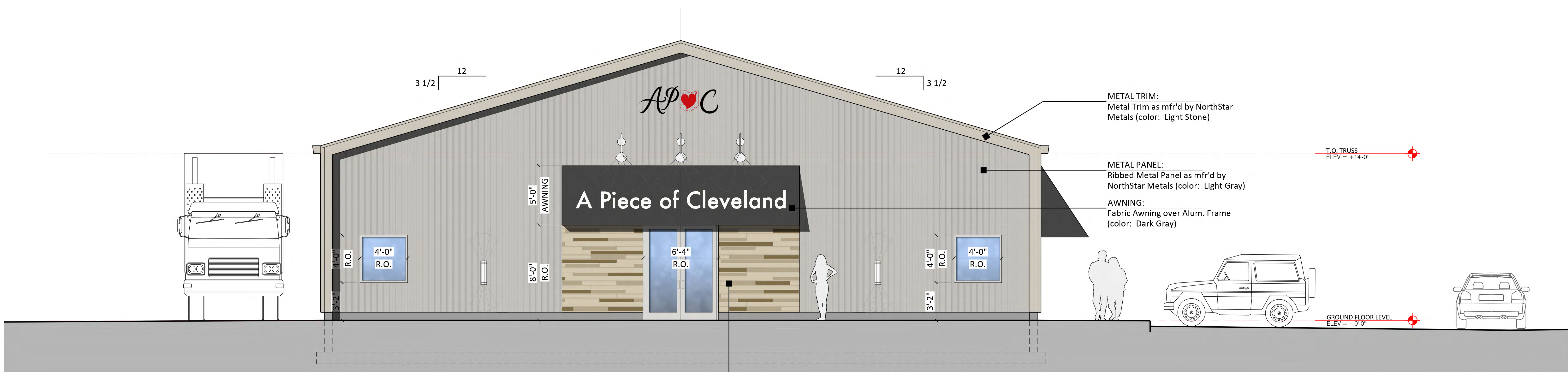
GROUND FLOOR LEVEL  
ELEV = +0'-0"







East Facade



South Facade

AWNING:  
Fabric Awning over Alum. Frame  
(color: Dark Gray)

METAL TRIM:  
Metal Trim as mfr'd by NorthStar  
Metals (color: Light Stone)  
METAL PANEL:  
Ribbed Metal Panel as mfr'd by  
NorthStar Metals (color: Light Stone)

METAL TRIM:  
Metal Trim as mfr'd by NorthStar  
Metals (color: Light Stone)  
METAL PANEL:  
Ribbed Metal Panel as mfr'd by  
NorthStar Metals (color: Light Gray)  
AWNING:  
Fabric Awning over Alum. Frame  
(color: Dark Gray)

SALVAGED WOOD PLANKS:  
Reclaimed Wood Planks by APOC  
(color: Varies)

T.O. TRUSS  
ELEV = +14'-0"

GROUND FLOOR LEVEL  
ELEV = +0'-0"

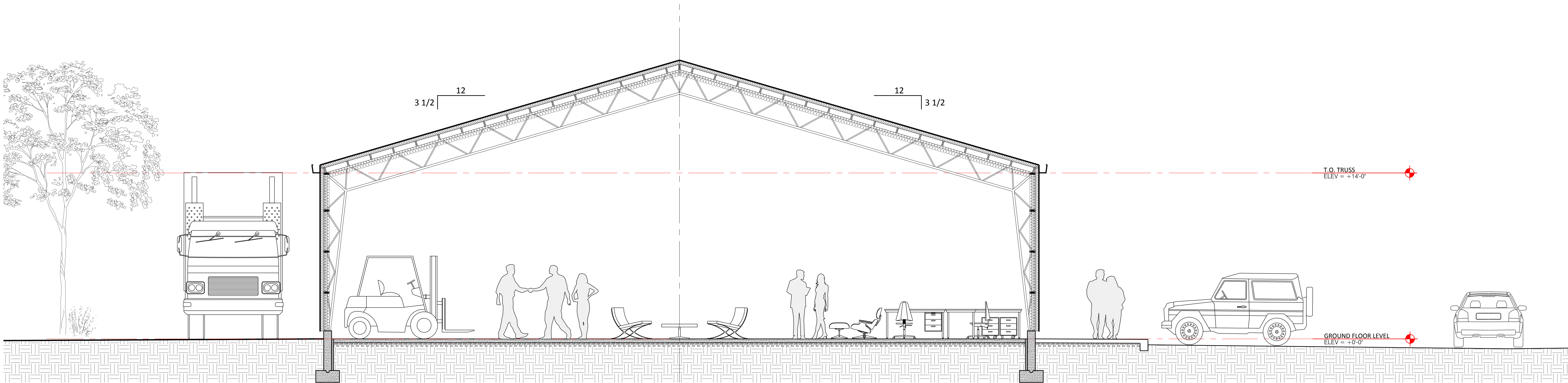
ORIGINAL ELEVATIONS  
INCLUDED FOR REFERENCE ONLY

Nature's Beauty - Proposed New Show Room  
19001 Nottingham Avenue | Cleveland

Exterior Elevations - Option 4

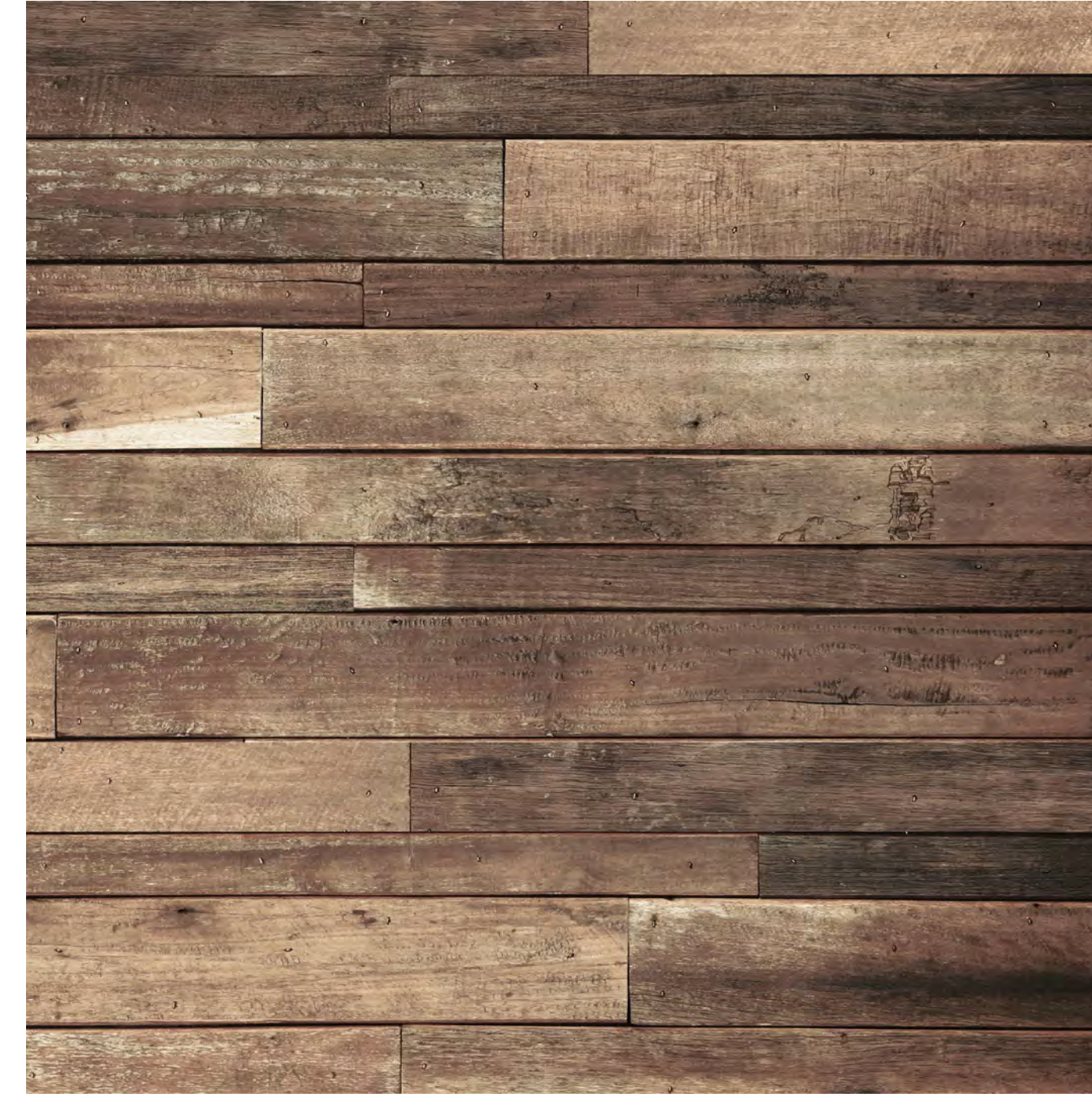
April 24, 2021







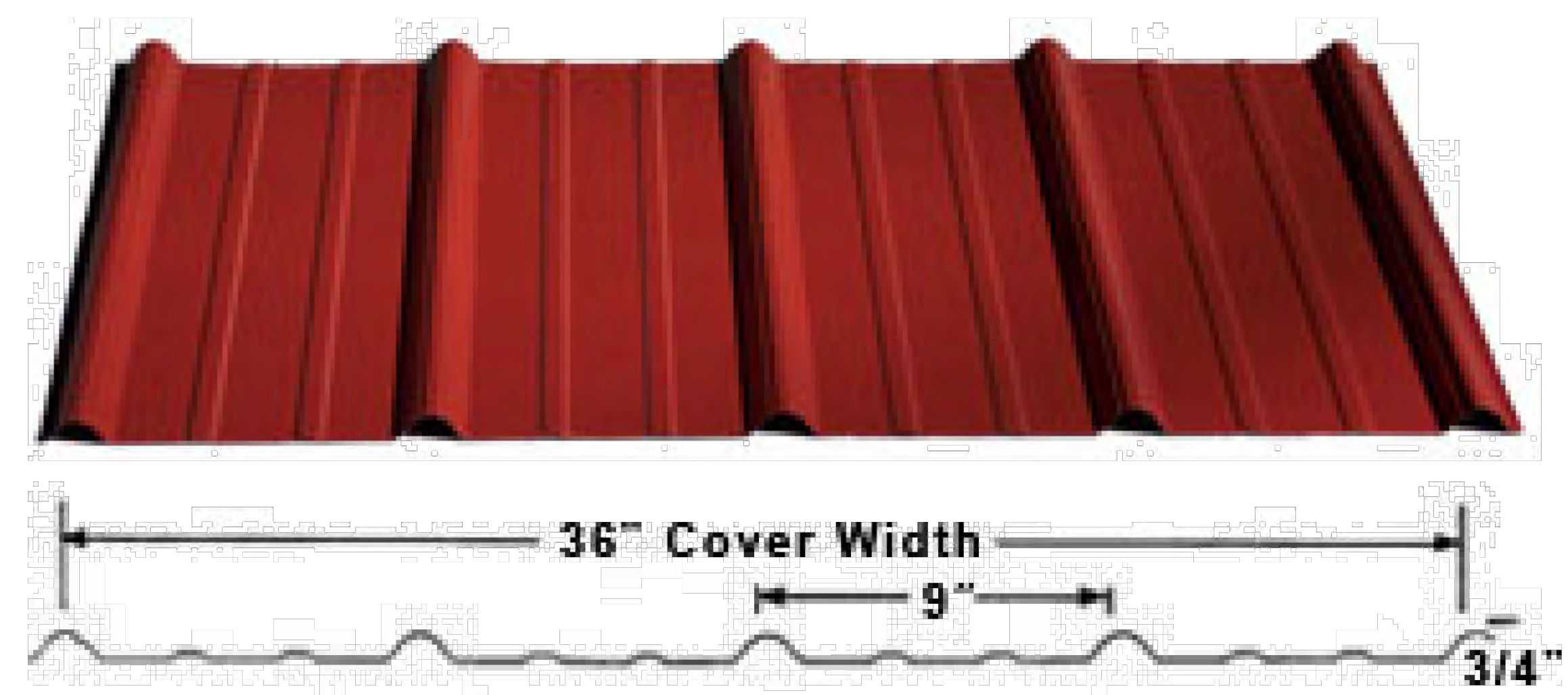
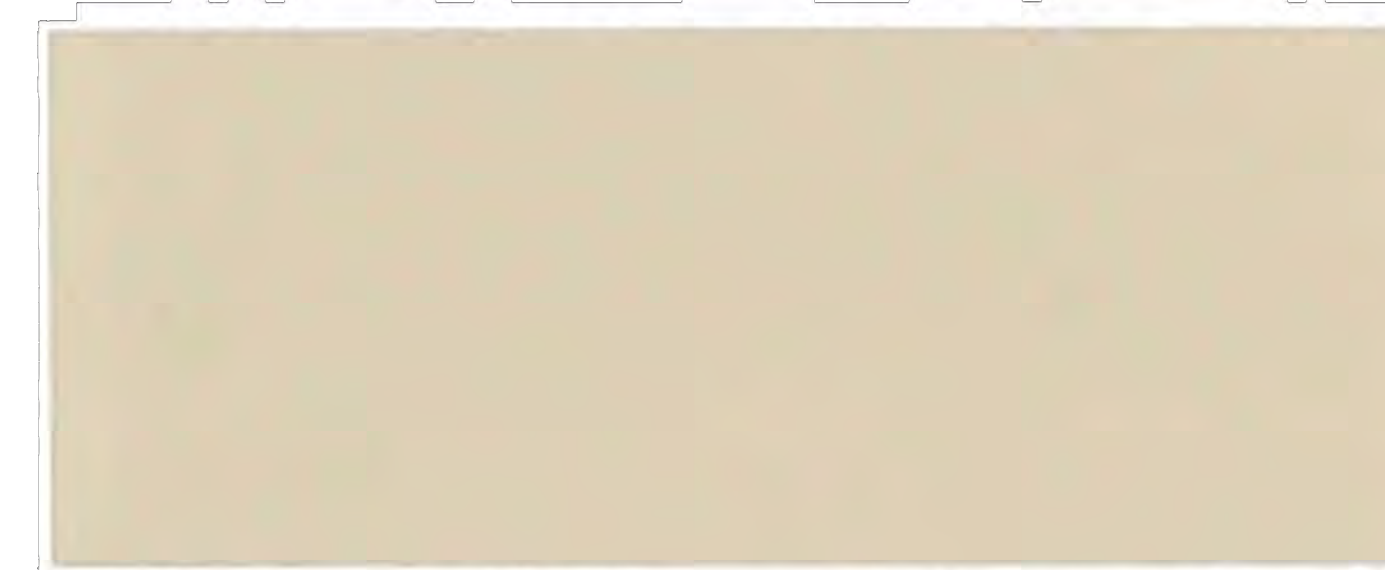
SALVAGED WOOD - FRONT ELEVATION:  
Reclaimed Wood Cedar Planks by APOC  
(color: Natural Finish, Varies)



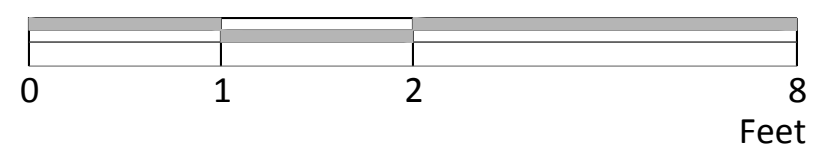
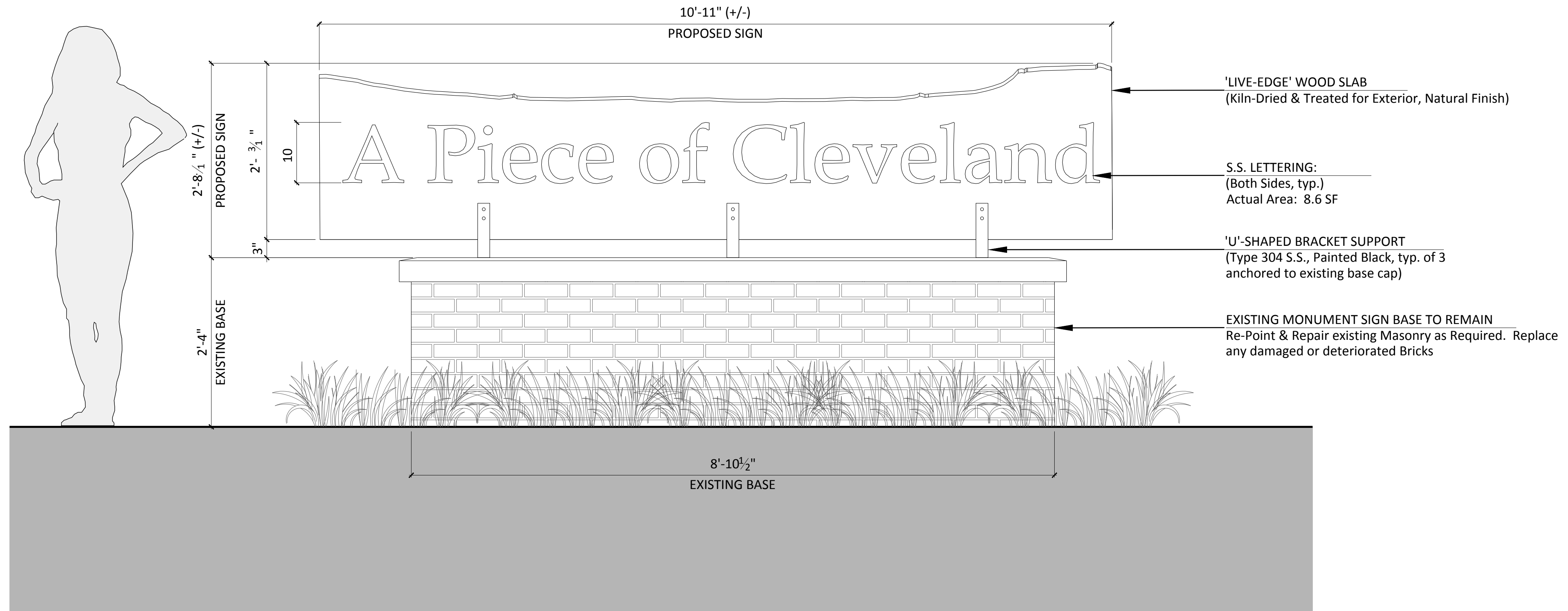
METAL PANEL - FRONT ELEVATION:  
Ribbed Metal Panel as mfr'd by NorthStar Metals  
(color: Light Gray)



METAL ROOF, SIDE ELEVATIONS & TRIM:  
Ribbed Metal Panel & Trim as mfr'd by NorthStar Metals  
(color: Light Stone)









# Far West Design Review Case

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June 18, 2021

FW2021-020 – Kamm’s Medical Building Renovation and Addition:  
Seeking Conceptual Approval

**Project Address: 17730 Lorain Avenue**

Project Representative: Gary Fischer, Architect





02502039

7.85

52.97

74.66

58.1

02503001

52.97

40

3

110

45

45.11

2

02503002

106.2

02503003

70



59.60

39.1

179.57

02503003

204.78

200

02503004

02503005

58.26

57.99

35

49.77

35

40

02503035

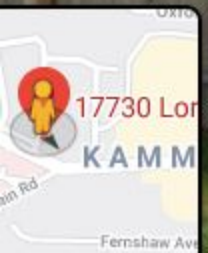




NO  
PARKING  
ANY TIME

NO  
STOP  
PARKING  
FOR 15 MIN









RIVER EDGE  
MEDICAL  
BUILDING



cegle

17730 Lor  
KAMM





SOUTH STREET FRONT ELEVATION  
 $\frac{3}{16}'' = 1'-0''$



WEST ELEVATION  
 $\frac{3}{16}'' = 1'-0''$

FISCHER & ASSOCIATES



ARCHITECTS INC.

554 West Ninth Street  
 Lorain, Ohio 44052  
 Tel: (440) 315-2300

E mail: andrea@fischerarch.com

ISSUE:	DATE:
PRELIM BG	01/29/20
PROGRESS	05/06/20
PROGRESS	06/20/20
PROGRESS STRUCT.	06/25/20
PROGRESS GENERAL	07/06/20
CLIENT REV.	08/12/20
CLIENT REV. PROGRESS	09/14/20
CLIENT REV. STRUCT. REV.	09/18/20
FINAL REVIEW	10/20/20

Client Name/Project Name/Address

LORAIN ROAD OFFICE BUILDING

(Renovations & Addition)

17730 Lorain Road  
 Cleveland, Ohio

Drawing Name

ARCHITECTURAL-  
 ELEVATIONS

Fischer Project Number

20.001

SHEET #

A-200

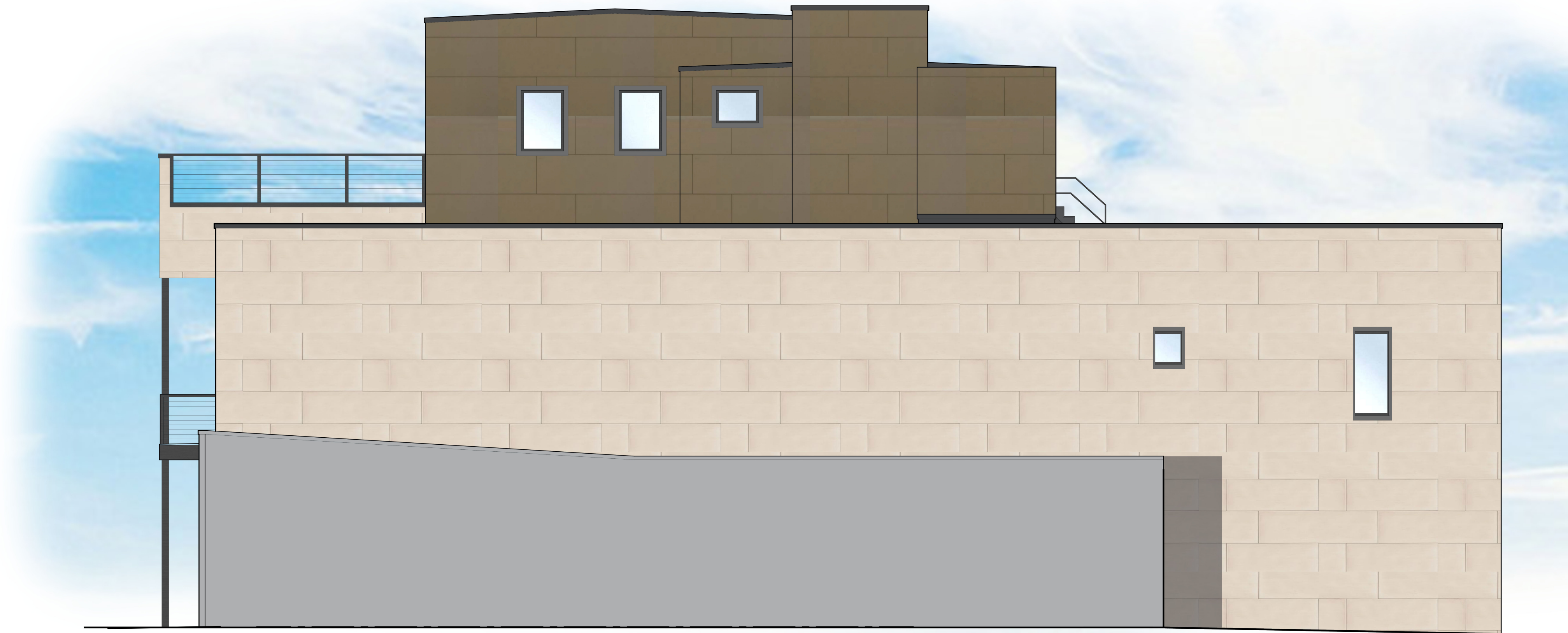
Seal

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION





NORTH ELEVATION  
 $\frac{3}{16}'' = 1'-0''$



EAST ELEVATION  
 $\frac{3}{16}'' = 1'-0''$

FISCHER & ASSOCIATES



ARCHITECTS INC.

554 West Ninth Street  
 Lorain, Ohio 44052  
 Tel: (440) 315-2300

E mail: andrea@fischerarch.com

Fischer & Associates © 2020  
 ISSUE: DATE:

PRELIM BG	01/29/20
PROGRESS	05/06/20
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PROGRESS GENERAL	07/06/20
CLIENT REV.	08/12/20
CLIENT REV. PROGRESS	09/14/20
CLIENT REV. STRUCT. REV.	09/18/20
FINAL REVIEW	10/20/20

Client Name/Project Name/Address

LORAIN ROAD OFFICE BUILDING

(Renovations & Addition)

17730 Lorain Road  
 Cleveland, Ohio

Drawing Name

ARCHITECTURAL-  
 ELEVATIONS

Fischer Project Number

20.001

SHEET #

A-201

Seal

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION



# LORAIN ROAD OFFICE BUILDING

## Renovation & Addition

17730 Lorain Road – Cleveland, Ohio

### BUILDING CODE INFORMATION & NOTES

STORY #	SEPARATED SPACES	SPACE SQ. FT.	USE GROUP	CONST. TYPE	TOTAL FLOOR SQUARE FEET	MAX. OCC.
1	DELI RESTAURANT	840	B	II-B	7,346	74
	REST. PAHO	196				
	TENANT SPACE A	1,157				
	TENANT SPACE B	1,157				
	TENANT SPACE C	1,157				
2	TENANT SPACE D	1,874	R-2	8,112	41	
	GARAGE/STORAGE	918				
	ELEV./CONC./FLOOR/STAR	378				
	APARTMENT 202	4,942				
	APARTMENT 203	1,486				
3	APARTMENT 204	1,260	3,504	35		
	CORRIDOR/ELEV./STAR	544				
	RES. ASSEMBLY/DECK	3,014				
	ELEV./CONC./STAR/UTILITY	573				

A 4" x 6" PLAQUE WITH THE ABOVE INFORMATION SHALL BE POSTED IN TWO PRIMARY ENTRY AREAS IN THE BUILDING.

ALLOWABLE SQ.FT./# OF STORIES/BLDG HT. IN FT. - (B - 69,000SF, 4 STORIES, 75FT.)  
ALLOWABLE SQ.FT./# OF STORIES/BLDG HT. IN FT. - (R-2 - 64,000SF, 5 STORIES, 75FT)

GOVERNING CODES:  
2017 OHIO BUILDING CODE, ICC A117.1-2009, 2017 OHIO PLUMBING CODE, 2017 OHIO MECHANICAL CODE, 2017 NATIONAL ELECTRIC CODE, COMPLY WITH OBC CHAPTER 35 FOR NFPA REQUIREMENTS AND ALL APPLICABLE STATE OF OHIO AND LOCAL CODES.

A. THIS PERMIT IS FOR THE RENOVATION OF AND ADDITIONS TO THE EXISTING BUILDING.  
B. THE ENTIRE PROJECT FIRST FLOOR BUILDING IS EXISTING TO REMAIN. TYPICAL UNLESS OTHERWISE INDICATED AND REQUIRED FOR REMODELING, ALTERATIONS AND ADDITION/S. THE ENTIRE SECOND & THIRD FLOOR WILL BE AN ADDITION TO THE EXISTING FIRST FLOOR BUILDING, TYP. AS INDICATED AND REQUIRED.

### GENERAL NOTES:

THE CONTRACTOR(S) WARRANTS THAT ALL CONSTRUCTION AND INSTALLATION WORK FOR THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF LOCAL, STATE & FEDERAL LAWS AND AUTHORITIES HAVING JURISDICTION.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS. ANY VARIATIONS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONTRACT DOCUMENT DRAWINGS SHALL BE PRESENTED TO THE ARCHITECT PRIOR TO SUBMITTING ANY BID. NO EXTRAS OR CONSIDERATIONS WILL BE GIVEN FOR CONFLICTS BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS.

ANY SUBSTITUTIONS, CHANGES OR DELETIONS OF MATERIALS, TECHNIQUES OR LOCATIONS SHALL BE PRESENTED TO THE ARCHITECT FOR APPROVAL PRIOR TO SUBMITTING ANY BID/S; OTHERWISE WORK SHALL BE BID AND CONSTRUCTED AS SHOWN IN THE CONTRACT CONSTRUCTION DOCUMENT DRAWINGS.

THE CONTRACT CONSTRUCTION DOCUMENTS ARE INTENDED TO BE EXPLANATORY. SHOULD ANY DISCREPANCIES COME ABOUT, OR ANY MISUNDERSTANDING/S APPEAR AS TO THE IMPORTANCE OF ANYTHING CONTAINED IN THE CONSTRUCTION DOCUMENT DRAWINGS, THE EXPLANATION FROM THE ARCHITECT SHALL BE FINAL AND BINDING UPON THE CONTRACTOR/S.

THE CONTRACT DOCUMENTS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED OR DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

ALL WORK AND MATERIALS NORMALLY REQUIRED PER INDUSTRY STANDARDS TO COMPLETE THE WORK, ALTHOUGH NOT INDICATED SPECIFICALLY, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AS IF SHOWN ON THE CONSTRUCTION DOCUMENT DRAWINGS. FAILURE TO SHOW OR INDICATE MINUTE DETAILS SHALL NOT WARRANT OMISSION OF NECESSARY WORK FOR THE PROPER COMPLETION OF THE PROJECT.

VISUAL CONTACT WITH THESE CONSTRUCTION DOCUMENT DRAWINGS AND/OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE REQUIREMENTS & RESTRICTIONS. USE WRITTEN DIMENSIONS ONLY (DO NOT SCALE DRAWINGS) DIMENSIONS INDICATED WITH A (+) MUST BE FIELD VERIFIED.

THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL MECHANICAL, ELECTRICAL AND PLUMBING INSTALLATIONS WITH THE STRUCTURAL SYSTEM TO ASSURE PROPER CLEARANCES CAN BE ACHIEVED PRIOR TO FINAL SELECTION AND FABRICATION OF ANY SYSTEMS.

REPORT ALL DISCREPANCIES OR CONFLICTS IN DIMENSIONS, CODE COMPLIANCE AND/OR OTHER TO ARCHITECT PRIOR TO PROCEEDING WITH THE PROJECT WORK OR ORDERING ANY MATERIALS.

IF CONDITIONS AT THE PROJECT JOB SITE ARE DIFFERENT THAN THOSE INDICATED IN THE CONTRACT CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITTEN FORM.

THE CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR COORDINATING ROUGH OPENINGS AND DIMENSIONS IN THE FIELD FOR ALL TRADES.

DO NOT PROCEED WITH CHANGES TO THESE CONSTRUCTION DOCUMENT BASED ON VERBAL INSTRUCTIONS. WRITTEN AUTHORIZATION BY THE ARCHITECT FOR CHANGES MUST BE RECEIVED PRIOR TO MAKING ANY CHANGES AND ORDERING MATERIALS.

IT IS EACH CONTRACTOR'S RESPONSIBILITY TO CHECK MODEL NUMBERS OF ALL COMPONENTS SPECIFIED FOR THIS PROJECT WITH DESCRIPTION OF PRODUCT FOR CONFORMANCE WITH DESIGN INTENT. NOTIFY ARCHITECT OF ANY DISCREPANCIES DISCOVERED PRIOR TO ORDERING OF MATERIALS.

PROVIDE PENETRATIONS, OPENINGS AND SLEEVES FOR MECHANICAL AND ELECTRICAL WORK AS REQUIRED BY THE CONSTRUCTION DOCUMENT DRAWINGS, OR IF NOT SHOWN, FOLLOW APPLICABLE INDUSTRY STANDARD.

REFERENCE COORDINATION NOTES INCLUDING SYMBOL LEGEND, ABBREVIATION LEGEND & GENERAL COORDINATION NOTES/A-101b.

DEMOLITION:  
PROVIDE ALL DEMOLITION AS INDICATED ON DRAWINGS AND AS REQUIRED TO COMPLETE THE WORK. PROVIDE REQUIRED TEMPORARY BRACING. ALL DEMOLITION IS SHOWN DASHED UNLESS OTHERWISE INDICATED. REF. FIRST FLOOR DEMOLITION PLAN & NOTES/A-100 & DEMOLITION INFORMATION SHOWN ON ELEVATIONS/A-200 & A-201.

STRUCTURAL NOTES: (GENERAL)  
1. THE STRUCTURE IS DESIGNED TO BE AND REMAIN SELF-SUPPORTING AND STABLE AFTER THE INDICATED PROJECT WORK IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING/S AND ALL ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, SHORING, SHEETING, GUYS AND TIE DOWNS WHICH MAY BE NECESSARY. ALL SUCH MATERIAL SHALL REMAIN THE CONTRACTORS PROPERTY AFTER THE PROJECT IS COMPLETED.

2. SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE CONSTRUCTION DOCUMENTS CONFLICT WITH THE GENERAL STRUCTURAL NOTES, STRUCTURAL SPECIFICATIONS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.

3. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

DESIGN CRITERIA:  
1. DEAD LOAD FLOOR - 15 PSF LIVE LOAD FLOOR - 100 PSF  
2. DEAD LOAD ROOF - 15 PSF LIVE LOAD ROOF - 35 PSF  
3. WIND LOAD 115 MPH EXPOSURE B  
4. GROUND SNOW LOAD - 30 PSF  
5. SEISMIC - SITE CLASSIFICATION (C) USE GROUP (I) DESIGN (A) (WIND LOAD GOVERNS)

CONCRETE & MASONRY (WHERE APPLICABLE)  
1. CAST IN PLACE CONCRETE TO BE MIN. 4000 PSI STRENGTH.  
2. CAST IN PLACE CONCRETE FOOTINGS TO BE SET ON MIN. 2,000 P.S.F. SOIL BEARING.  
3. EXTERIOR CONCRETE FOOTINGS & PIERS SHALL BE SET A MIN. DEPTH OF MIN. 3'-6" BELOW FINISHED GRADE.  
4. ALL REINFORCING SHALL BE A.S.T.M. A-36.  
5. CONCRETE MASONRY UNITS, (C.M.U.): ASTM C90 (HOLLOW) ASTM C145 (SOLID).  
6. MORTAR SHALL BE TYPE S, MINIMUM COMPRESSIVE STRENGTH = 1,800 PSI.  
7. CORE FILL: ASTM C476, COARSE TYPE.  
8. ALL CONCRETE MASONRY UNITS AND MORTAR MIX MUST BE MADE UTILIZING DRY BLOCK WATERPROOFING MATERIAL.  
9. HORIZONTAL JOINT REINFORCING: DURAWALL, MILL GALVANIZED FINISH.  
10. PROVIDE UNITS OF SIZE/S INDICATED AND IN SPECIAL SHAPES FOR APPLICATION WHERE FORMS, SIZE AND/OR FINISH CANNOT BE PRODUCED FROM STANDARD MATERIAL SHAPES. TYPICAL FOR ALL BRICK MASONRY AND CONCRETE MASONRY UNITS THROUGHOUT.

C. THIS BUILDING IS EVALUATED UNDER SECTION 508 OF O.B.C. FOR NON SEPARATED & SEPARATED MIX USES.

D. BUSINESS TENANT SPACES & RESIDENTIAL TENANT SPACES ARE COMPLETELY SEPARATED BY MIN. 1 HR TENANT SEPARATION WALLS.

E. FUTURE BUSINESS TENANT SPACES A,B,C,D WILL BE FILED UNDER SEPARATE FUTURE PERMIT APPLICATIONS IN A MANOR TO ACCOMMODATE APPLICABLE CODES.

F. ALL INTERIOR FINISHES SHALL HAVE A MIN. FLAME SPREAD RATING AS FOLLOWS:  
EXIT ACCESS - FLOORS II . . . WALLS & CEILINGS C  
ROOMS & SPACES - FLOORS II . . . WALLS & CEILINGS C

G. FURNISH AND INSTALL FIRE EXTINGUISHERS ((FE)). NUMBER, TYPE AND LOCATION AS SHOWN AND PER LOCAL FIRE OFFICIAL HAVING JURISDICTION.

H. PROVIDE 6"x8" TACTILE EXIT SIGN CENTERED AT 60" A.F.F. ((EXIT)). TYP. AT EXIT ACCESS AND DOOR LOCATIONS AS SHOWN.

I. OCCUPANCY LOAD CALCULATION:  
FIRST FLOOR - ALL TENANT SPACES ARE ASSUMED TO BE CLASSIFICATION B - TOTAL SQ.FT./100SF  
SECOND FLOOR - RESIDENTIAL - TOTAL SQ.FT./200SF  
THIRD FLOOR - RESIDENTIAL ASSEMBLY - TOTAL SQ.FT./100SF

J. ALL AREAS REQUIRED TO BE ACCESSIBLE SHALL BE IN COMPLIANCE WITH CHAP. 11 OF O.B.C. AND ICC A117.1-2009 INCLUDING BUT NOT LIMITED TO DOORS AND HARDWARE, RESTROOMS AND COUNTERS.

K. PER O.B.C. SECTION 1704.1 EXCEPTION 1 AND 1704.1.1 EXCEPTION 1. THIS BUILDING IS OF BASIC CONSTRUCTION AND MATERIALS AND NO SPECIAL INSPECTIONS ARE REQUIRED.

L. THERE WILL BE ADEQUATE SERVICE SINK/S, FREE POTABLE DRINKING WATER AND ACCESSIBLE RESTROOM/S WITHIN THE EXISTING BUILDING TENANT SPACE/S.

M. THE ENTIRE BUILDING WILL BE FIRE SUPPRESSED AND PROTECTED. REF. SELECTED FIRE PROTECTION CONTRACTORS SHOP DRAWINGS FILED UNDER SEPARATE PERMIT.

### ROUGH CARPENTRY

1. SPECIFICATIONS:  
UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY THE LATEST REVISIONS OF:  
A. NATIONAL DESIGN SPECIFICATION FOR METAL FRAME CONSTRUCTION.  
B. U.S. PRODUCT STANDARDS PS-1 FOR CONSTRUCTION & INDUSTRIAL PLYWOOD.  
C. APA CONSTRUCTION GUIDE - RESIDENTIAL & COMMERCIAL.

2. CONNECTIONS:  
A. ALL CONNECTIONS OF ELEMENTS SHALL BE PER MOST CURRENT STANDARD SPECS. & SELECTED EQUIPMENT MANUF. RECOMMENDATIONS, SPECIFICATIONS & SHOP DRAWINGS AS INDICATED & WHERE APPLICABLE.  
B. ANY LUMBER USED SHALL F.R.P.  
C. ANY LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE AND/OR MASONRY MUST BE TREATED. ALL FASTENERS MUST BE COMPATIBLE WITH SELECTED WOOD TREATMENT MATERIAL UTILIZED.

D. REFERENCE LIGHT GAUGE METAL FRAMING SCHEDULE & SPECS./A-105 FOR DETAILED INFORMATION.

E. PROVIDE ALL NECESSARY MISCELLANEOUS BLOCKING AND FRAMING AS REQUIRED FOR PROPER INSTALLATION OF EQUIPMENT AND ACCESSORIES INCLUDING BUT NOT LIMITED TO WINDOWS, DOORS AND HARDWARE, CABINETS, COUNTERS AND KITCHEN, LAUNDRY & RESTROOM ACCESSORIES.

### FINISHES

1. ALL FINISH MATERIALS AND COLORS, EXTERIOR AND INTERIOR, NOT SPECIFIED SHALL BE SELECTION BY OWNER & APPROVED BY ARCHITECT.

2. ALL WINDOWS ARE SHOWN WITH NOMINAL DESIGNATIONS. COORDINATE WITH OWNERS SELECTION PER ARCHITECTS' APPROVAL FOR FINISHES. SUBMIT SHOP DWS.

3. ALL MATERIALS AND FINISHES SHALL BE AS SPECIFIED, PER OWNERS SELECTION AND ARCHITECT APPROVAL. ANY SUBSTITUTIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FINAL SELECTION.

### SHOP DRAWINGS

SUBMIT MIN. 4 COPIES OF SHOP DRAWINGS TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION OR FINAL SELECTION FOR THE FOLLOWING ITEMS LISTED BELOW INCLUDING BUT NOT LIMITED TO:  
1. STAIRS, BALCONY & ROOF DECK HANDRAILS & GUARD RAILS.  
2. WINDOWS, DOORS AND HARDWARE.  
3. KITCHEN, LAUNDRY & RESTROOM FIXTURES AND ACCESSORIES.  
4. CABINETS AND COUNTERS PER OWNERS SELECTION.  
5. ELEVATOR & EQUIPMENT.  
6. STRUCTURAL ELEMENTS & DETAILS.  
7. MASONRY UNITS (WHERE APPLICABLE)  
8. AUTOMOBILE LIFT COLUMNS, PLATFORMS, EQUIPMENT & ACCESSORIES  
9. MORTAR, GROUT, REINFORCEMENT & ACCESSORIES  
10. INSULATION  
11. CAULKING AND SEALANTS  
12. FLASHING  
13. ROOFING POSITIVE DRAINAGE LAYOUT & WEATHER PROOF ROOFING MATERIALS  
14. ROOF & SCUPPER DRAINS  
15. FINISH HARDWARE  
16. INTERIOR AND EXTERIOR TRIM/MOLDED MILLWORK  
17. INTERIOR AND EXTERIOR FINISHES  
18. MECHANICAL AND ELECTRICAL FIXTURES, EQUIPMENT & ACCESSORIES.  
19. INDOOR 3RD. FLR. SWIMMING POOL, EQUIPMENT AND ACCESSORIES.  
20. FIREPLACE EQUIPMENT & ACCESSORIES  
21. 3RD. FLR. SAUNA ROOM EQUIPMENT & ACCESSORIES.  
22. 3RD. FLR. HOT TUB, EQUIPMENT & ACCESSORIES.  
23. EXTERIOR WALL MOUNTED MAIL BOXES.

ENGINEERING COORDINATION:  
PLUMBING  
BUILDING PLUMBING SYSTEM IS EXISTING. MODIFY AS REQUIRED AND INDICATED TO ACCOMMODATE NEW ADDITIONS & ALTERATION LAYOUTS.  
COORDINATE WITH PLUMBING ENGINEERING DRAWINGS, SPECS & DETAILS/MPE-100, MPE-101 & MPE-102 FOR SCHEMATIC PLUMBING INFORMATION. ALL NEW PLUMBING FIXTURE SELECTIONS SHALL BE BY OWNER PER APPLICABLE CODES AND CURRENT APPLICABLE STANDARD SPECS.. H. V. A. C.  
H.V.A.C. SYSTEMS ARE ALL NEW. FURNISH & INSTALL AS REQUIRED AND INDICATED TO ACCOMMODATE NEW ADDITIONS & ALTERATION LAYOUTS.  
COORDINATE WITH MECHANICAL ENGINEERING DRAWINGS, SPECS, DETAILS & SCHEDULES/MPE-100, MPE-101 & MPE-102 FOR SCHEMATIC H.V.A.C. INFORMATION.

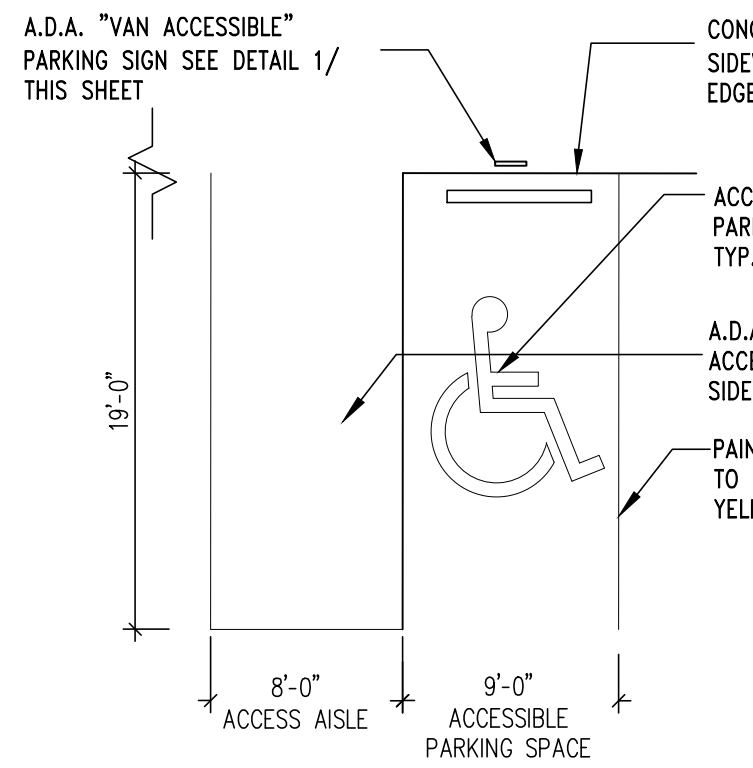
ELECTRICAL  
BUILDING ELECTRICAL SYSTEM IS EXISTING. MODIFY AS REQUIRED AND INDICATED TO ACCOMMODATE NEW ADDITIONS & ALTERATION LAYOUTS.  
COORDINATE WITH ELECTRICAL ENGINEERING DRAWINGS, SPECS., SCHEDULES & DETAILS/MPE-103, 104 & MPE-105 FOR SCHEMATIC ELECTRICAL FIXTURE LOCATIONS AND INFORMATION. ELECTRICAL FIXTURE SELECTIONS BY OWNER PER APPLICABLE CODES AND STANDARD SPECS..

FIRE DETECTION, ALARMS AND SUPPRESSION  
FIRE DETECTION, ALARM AND SUPPRESSION SYSTEM IS NEW THROUGHOUT ENTIRE BUILDING. FIRE DETECTION, ALARM AND SUPPRESSION CONTRACTOR SHALL FURNISH & INSTALL SYSTEM AS REQUIRED TO ACCOMMODATE NEW ADDITIONS & ALTERATION LAYOUTS.  
FIRE DETECTION, ALARM AND SUPPRESSION CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO ARCHITECT AND BUILDING DEPARTMENT FOR REVIEW FOR ALL FIRE DETECTION, ALARM AND SUPPRESSION WORK REQUIRED AND INDICATED TO ACCOMMODATE ENTIRE SPACES LAYOUT.  
REF. SELECTED FIRE DETECTION, ALARM & SUPPRESSION CONTRACTORS SHOP DRAWINGS AND SPECIFICATIONS FOR ALL FIRE DETECTION, ALARM & SUPPRESSION INFORMATION.

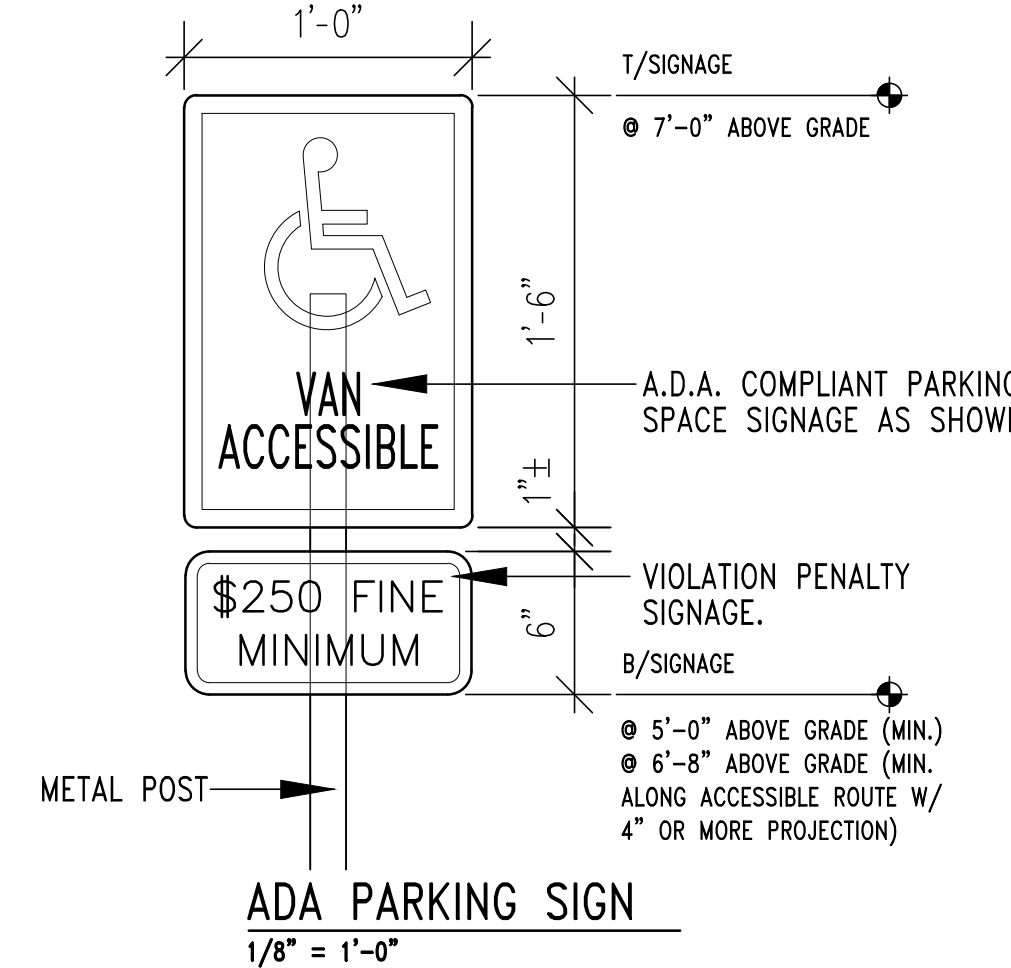
ALL FIRE DETECTION, ALARM AND SUPPRESSION WORK TO BE DONE BY LICENSED FIRE DETECTION, ALARM AND SUPPRESSION CONTRACTOR IN ACCORDANCE WITH O.B.C., N.F.P.A. 72 AND ALL APPLICABLE CODES AND ORDINANCES. FILE UNDER SEPARATE PERMIT.

INDEX TO DRAWINGS			
G-100	COVER SHEET--GENERAL NOTES--SITE PLANS--DETAILS	A-301	ARCH.--FNDN. & FTG. SECTION DETAILS--STRUCT. SPECS.
A-100	ARCH.--FIRST FLOOR DEMOLITION PLAN--NOTES--FOUNDATION PLAN, SCHEDULES	A-302	SECTION DETAILS & RELATED NOTES
A-101a	STRUCT.--1ST. & 2ND FLOOR PLANS--SCHEDULES--NOTES	A-303	DETAILS
A-101b	STRUCT.--3RD. FLOOR & ROOF PLANS--LEDGENDS--NOTES	MPE-100	ENGINEERING MECHANICAL--PLUMBING & H.V.A.C. PLANS--H.V.A.C. NOTES & SCHEDULE
A-102	ARCH.--FIRST FLOOR PLAN--KEYED NOTES--REF. CLG. PLAN	MPE-101	ENGINEERING MECHANICAL--PLUMBING & H.V.A.C. PLAN--H.V.A.C. SPECS.--DETAILS
A-103	ARCH.--SECOND FLOOR PLAN--KEYED NOTES	MPE-102	ENGINEERING MECHANICAL--PLUMBING RISER DIAGRAMS
A-104	ARCH.--2ND. FLOOR ROOF/3RD. FLOOR PLAN--KEYED NOTES	MPE-103	ENGINEERING ELECTRICAL PLANS
A-105	ARCH. SCHEDULES & RELATED NOTES	MPE-104	ENGINEERING ELECTRICAL PLAN--SCHEDULE--SPECS. & NOTES
A-200	ARCH.--ELEVATIONS	MPE-105	ENGINEERING ELECTRICAL RISER/PANEL DIAGRAMS & NOTES
A-201	ARCH.--ELEVATIONS		
A-300	ARCH.--SECTIONS--DETAILS		

BUILD OUT PROJECT PHASES	
PHASE I	FIRST FLOOR
PHASE II	SECOND FLOOR
PHASE III	THIRD FLOOR

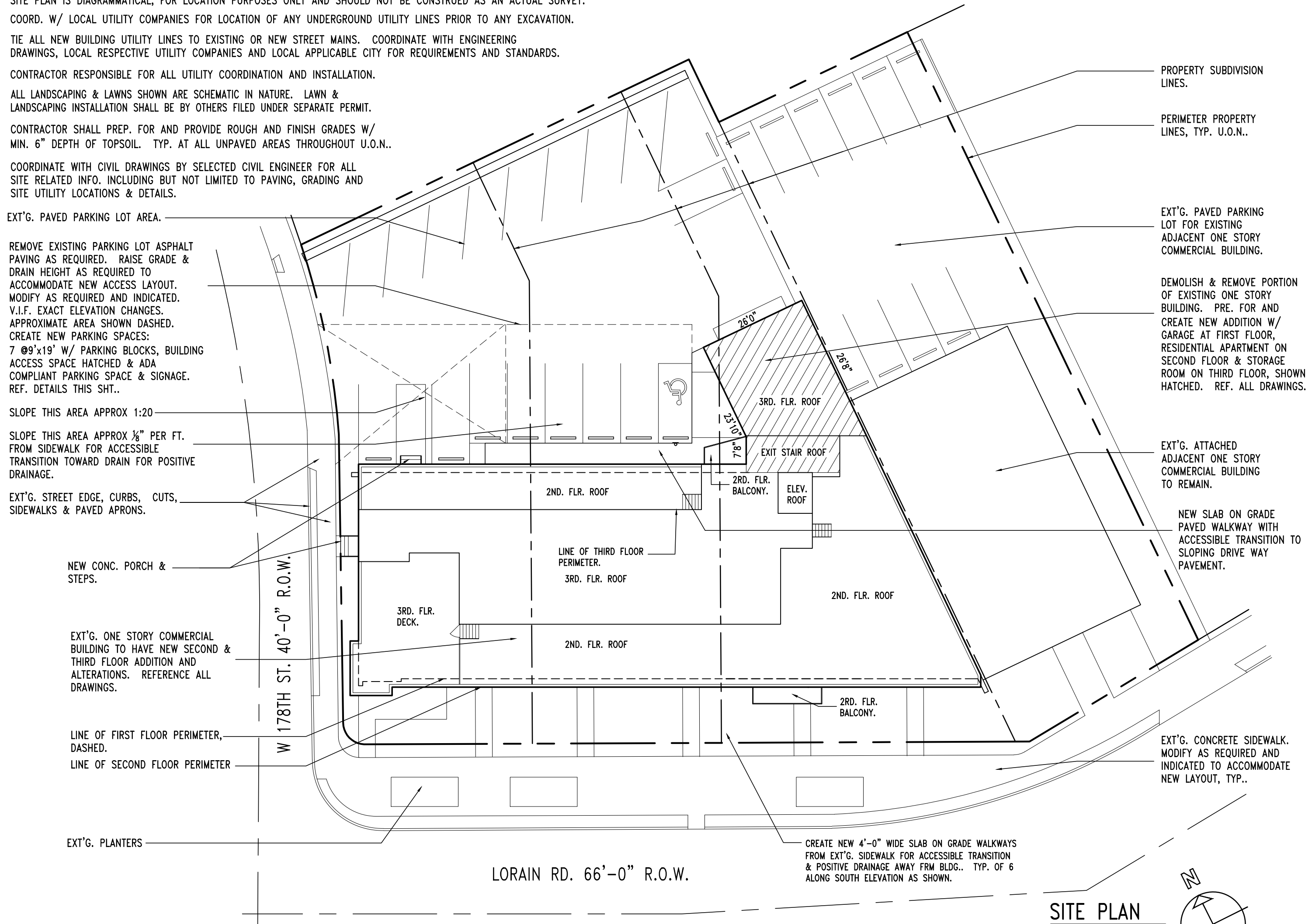


ADA PARKING SPACE  
1/8" = 1'-0"

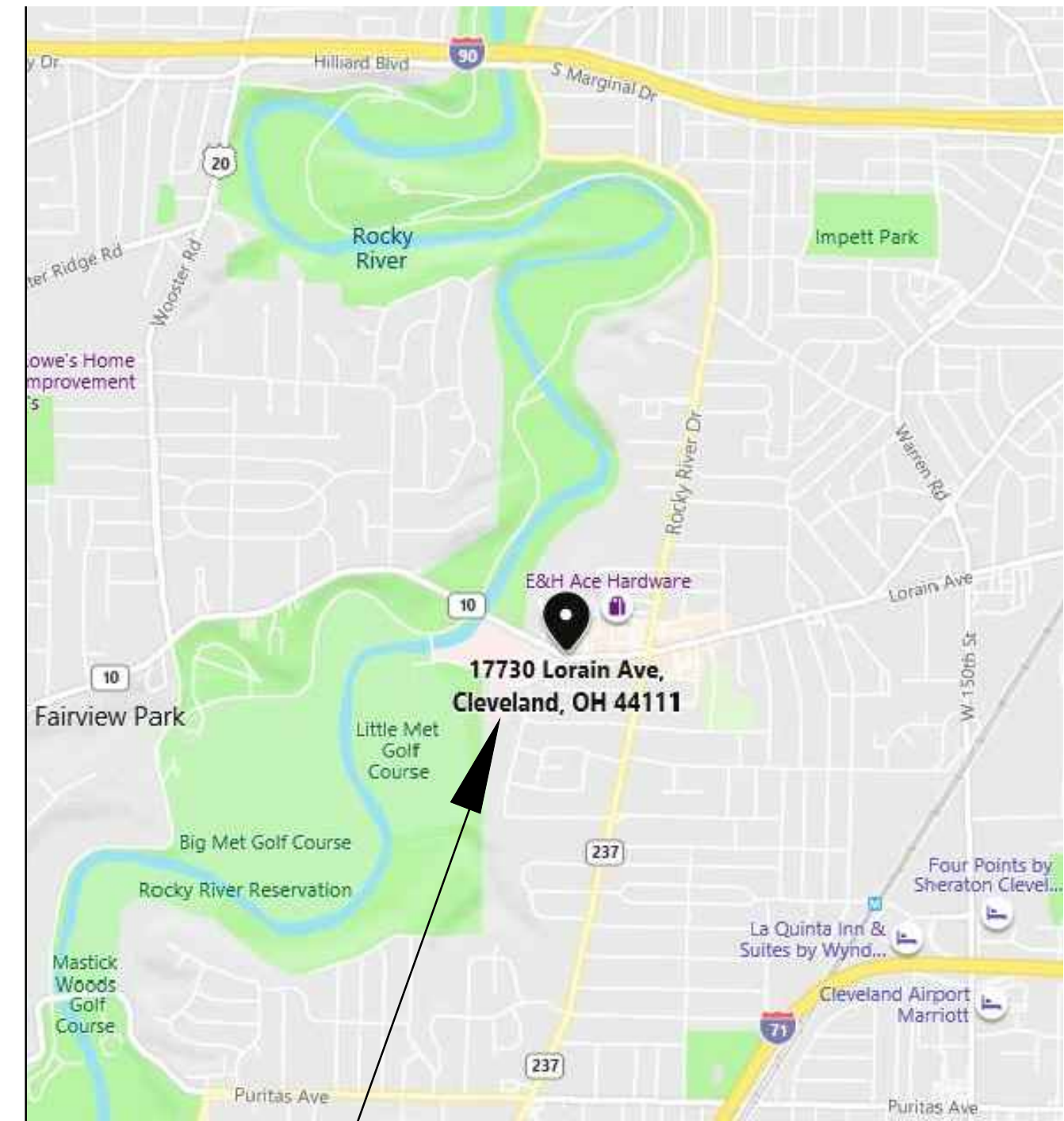


ADA PARKING SIGN  
1/8" = 1'-0"

SITE PLAN NOTES:  
SITE PLAN IS DIAGRAMMATICAL, FOR LOCATION PURPOSES ONLY AND SHOULD NOT BE CONSTRUED AS AN ACTUAL SURVEY. COORD. W/ LOCAL UTILITY COMPANIES FOR LOCATION OF ANY UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION. TIE ALL NEW BUILDING UTILITY LINES TO EXISTING OR NEW STREET MAINS. COORDINATE WITH ENGINEERING DRAWINGS, LOCAL RESPECTIVE UTILITY COMPANIES AND LOCAL APPLICABLE CITY FOR REQUIREMENTS AND STANDARDS.  
CONTRACTOR RESPONSIBLE FOR ALL UTILITY COORDINATION AND INSTALLATION.  
ALL LANDSCAPING & LAWNS SHOWN ARE SCHEMATIC IN NATURE. LAWN & LANDSCAPING INSTALLATION SHALL BE BY OTHERS FILED UNDER SEPARATE PERMIT.  
CONTRACTOR SHALL PREP. FOR AND PROVIDE ROUGH AND FINISH GRADES W/ MIN. 6" DEPTH OF TOPSOIL. TYP. AT ALL UNPAVED AREAS THROUGHOUT U.O.N..  
COORDINATE WITH CIVIL DRAWINGS BY SELECTED CIVIL ENGINEER FOR ALL SITE RELATED INFO, INCLUDING BUT NOT LIMITED TO PAVING, GRADING AND SITE UTILITY LOCATIONS & DETAILS.  
EXT'G. PAVED PARKING LOT AREA.  
REMOVE EXISTING PARKING LOT ASPHALT PAVING AS REQUIRED. RAISE GRADE & DRAIN HEIGHT AS REQUIRED TO ACCOMMODATE NEW ACCESS LAYOUT. MODIFY AS REQUIRED AND INDICATED. V.I.F. EXACT ELEVATION CHANGES. APPROXIMATE AREA SHOWN DASHED. CREATE NEW PARKING SPACES:  
7 @ 9'x19' W/ PARKING BLOCKS, BUILDING ACCESS SPACE HATCHED & ADA COMPLIANT PARKING SPACE & SIGNAGE. REF. DETAILS THIS SHT.  
SLOPE THIS AREA APPROX 1:20  
SLOPE THIS AREA APPROX 1/8" PER FT. FROM SIDEWALK FOR ACCESSIBLE TRANSITION TOWARD DRAIN FOR POSITIVE DRAINAGE.  
EXT'G. STREET EDGE, CURBS, CUTS, SIDEWALKS & PAVED APRONS.  
NEW CONC. PORCH & STEPS.  
EXT'G. ONE STORY COMMERCIAL BUILDING TO HAVE NEW SECOND & THIRD FLOOR ADDITION AND ALTERATIONS. REFERENCE ALL DRAWINGS.  
LINE OF FIRST FLOOR PERIMETER, DASHED.  
LINE OF SECOND FLOOR PERIMETER  
EXT'G. PLANTERS  
W 178TH ST. 40'-0" R.O.W.  
LORAIN RD. 66'-0" R.O.W.



SITE PLAN  
1" = 20'-0"



PROJECT SITE LOCATION  
LOCATION MAP  
NO SCALE

FISCHER & ASSOCIATES



ARCHITECTS INC.

554 West Ninth Street  
Lorain, Ohio 44052  
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ISSUE: DATE:

PRELIM BG	01/29/20
PROGRESS	05/06/20
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CLIENT REV. GENERAL	04/01/21
CLIENT REV. GENERAL	04/14/21

Client Name/Project Name/Address

**LORAIN ROAD OFFICE BUILDING**  
 (Renovations & Addition)  
 17730 Lorain Road  
 Cleveland, Ohio

Drawing Name

COVER SHEET--GENREL NOTES--  
SITE PLAN--LOCATION MAP--  
SITE PLAN DETAILS

Fischer Project Number

20.001

SHEET #

G-100

Seal

**PRELIMINARY**  
 NOT FOR  
 CONSTRUCTION



FIRST FLOOR PLAN KEYED NOTES

COORDINATE WITH FIRST FLOOR PLAN THIS SHEET FOR KEYED NOTES TARGET LOCATIONS. (1XX)

SPECIAL COORDINATION REFERENCE NOTE:

REFERENCE ENGINEERING DRAWINGS/MPE-- FOR ALL PLUMBING, H.V.A.C. & ELECTRICAL DRAWINGS, SPECIFICATIONS, SCHEDULES & DETAILS. TYP. THROUGHOUT AS INDICATED.

100 LOCATION OF STRUCTURAL SUPPORT STEEL COLUMNS & GIRDERS. REF. STRUCTURAL PLANS/A-101a, A-101b & SECTION DETAILS AS INDICATED. TYP. THROUGHOUT U.O.N.. LOCATION OF 1 HR RATED DROPPED SOFFIT ENCLOSING STRUCTURAL GIRDERS, DASHED. ENCLOSE COLUMNS WITH LT. GA. METAL FURRING & 5/8" G.W.B. FOR 1 HR. RATING.

101 FROSTPROOF ENTRY SLAB. REFERENCE FOUNDATION PLAN/A-100 & FROSTPROOF ENTRY SLAB DETAIL/A-301 FOR DETAILED INFORMATION.

102 RAISED ENTRY PLATFORM, STEPS & RAILINGS. REFERENCE FOUNDATION PLAN/A-100 & ENTRY PLATFORM & STEPS DETAIL #4/A-302 FOR DETAILED INFORMATION. NUMBER OF STEPS MAY VARY. V.I.F. ELEVATION CHANGES.

103 EXT'G. SIDEWALK. MODIFY AS REQUIRED FOR NEW LAYOUT.

104 LINE OF SECOND FLOOR & BALCONY OVERHANG, DASHED, TYP. U.O.N..

105 SCHEMATIC LOCATION OF DINING TABLE & CHAIRS BY OWNER, TYP..

106 C.I.P. CONC. SLAB ON GRADE DINING PATIO W/ 6x6 #3/8 WWF ON MIN. 4" COMPACTED GRAVEL. PITCH 1/8"-FT FOR POSITIVE DRAINAGE AWAY FROM BLDG. EXTEND TO EXISTING SIDEWALK AND CONNECT WITH #4s @ 12" O.C., MIN. 6" EMBEDMENT, GROUT SOLID FOR ACCESSIBLE TRANSITION.

107 TARGET # DESIGNATION FOR NEW WINDOW/S IN EXISTING FIRST FLOOR BRICK VENEERED MASONRY EXTERIOR WALL. REF. WINDOW SCHEDULE & NOTES/A-105. MODIFY WALL AS REQUIRED TO ACCOMMODATE NEW WINDOW & HEADER FOR STABLE UNIFORM APPEARANCE..

108 FLOOR DRAIN (FD) WITH GRILLE FLUSH WITH TOP OF EXISTING FIRST FLOOR CONCRETE FLOOR SLAB.

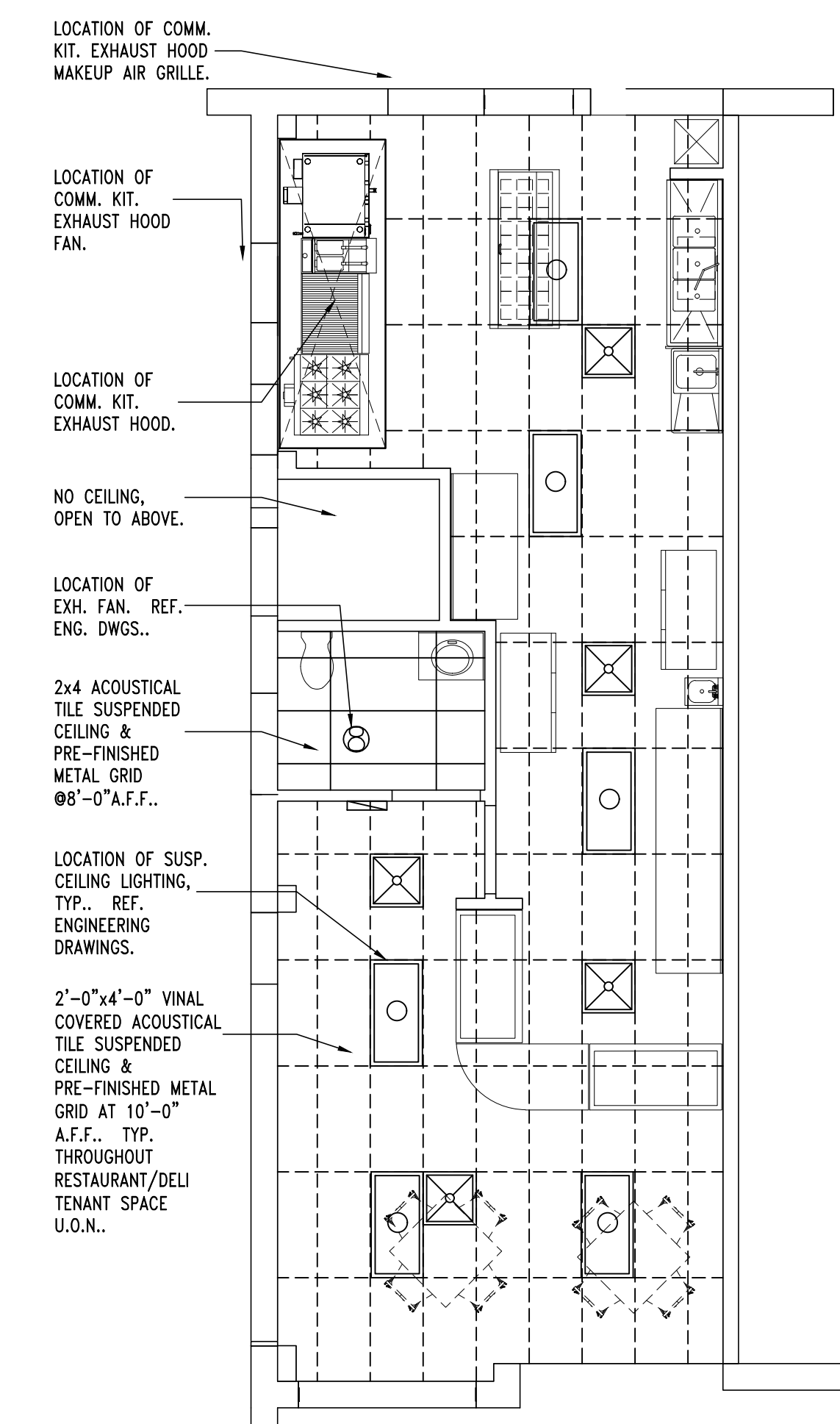
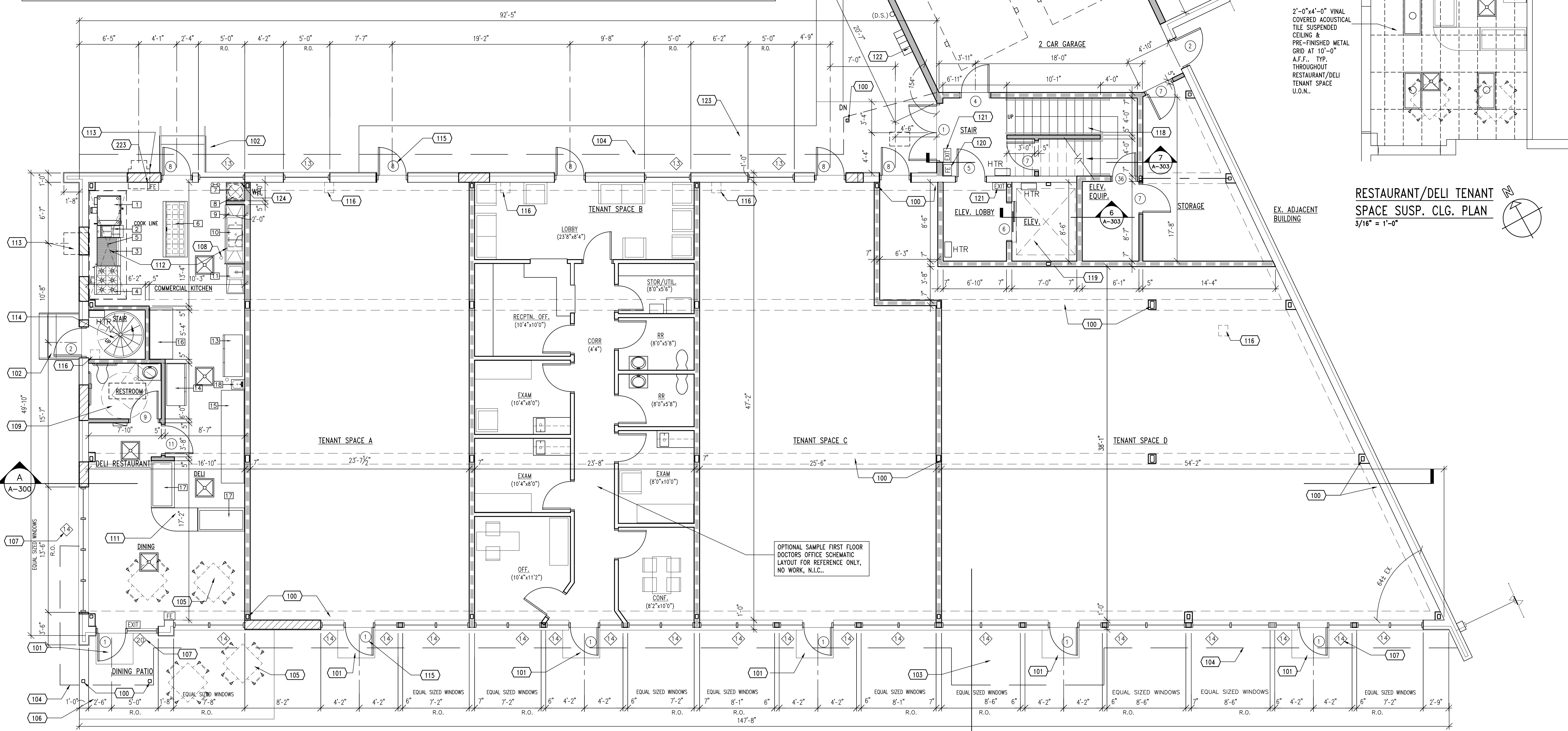
109 CREATE A.D.A. COMPLIANT UNISEX RESTROOM. REFERENCE ADA COMPLIANCE DETAILS/A-303 FOR DETAILED RESTROOM INFORMATION. REF. FIRST FLOOR PLAN FOR LAYOUT INCLUDING 5'-0" CLEARANCE, 1'-6" DOOR HANDLE CLEARANCE, 2'-6"x4'-3" LAV. CLEARANCE & MIN. 5'-0" W.C. CLEARANCE.

110 NOT USED.

111 DELI SERVICE COUNTER MILLWORK PER OWNERS SELECTION. SUBMIT SHOP DRAWINGS. SET COUNTER TOP AT 3'-0" A.F.F. FOR ACCESSIBLE COMPLIANCE.

112 COMMERCIAL KITCHEN EQUIPMENT AND FIXTURES. REFERENCE KITCHEN EQUIPMENT SCHEDULE & NOTES/A-105 FOR DETAILED INFORMATION. FIXTURES, EQUIPMENT & ACCESSORIES SELECTION BY OWNER. SUBMIT SHOP DRAWINGS FOR ALL FIXTURES, EQUIPMENT AND ACCESSORIES.

- 113 COMMERCIAL KITCHEN EXHAUST HOOD THRU WALL EXHAUST & MAKEUP AIR FANS, DUCT WORK, GRILLS, RELATED EQUIPMENT & ACCESSORIES. EQUIPMENT SELECTION BY OWNER. SUBMIT SHOP DRAWINGS FOR ALL EQUIPMENT. MODIFY EXISTING EXTERIOR MASONRY WALL AS REQUIRED AND INDICATED. REF. ELEVATIONS/A-200 & 201 FOR LOCATIONS. REF. KIT. HOOD/WALL PENETRATION SECTION 1/A-302.
- 114 5'-0" METAL SPIRAL STAIR MAX. 8.25" RISERS, & HANDRAILS. SEL. BY OWNER. PROVIDE ADEQUATE SECOND FLOOR OPENING FOR MIN. 6'-8" HEAD CLEARANCE FROM STEPS AND ADEQUATE STRUCT. INTEGRITY.
- 115 DOOR & DESIGNATION NUMBER. REFERENCE DOOR SCHEDULE/A-105, TYP. THROUGHOUT FIRST FLOOR PLAN AS SHOWN.
- 116 LOCATION OF SECOND FLOOR OPENING ABOVE, SHOWN DASHED, AS REQUIRED FOR H.V.A.C. DUCT WORK CHASE. PROVIDE 1 HR. CHASE ENCLOSURE WALLS. REF. MECH. INFO./MPE.
- 117 AUTOMOBILE LIFT COLUMNS, PLATFORMS, EQUIPMENT & ACCESSORIES. PLATFORM PERIMETER SHOWN DASHED. SELECTION BY OWNER. SUBMIT SHOP DWGS.
- 118 CONSTRUCT METAL FRAMED EXIT STAIR & HAND RAILINGS. REF. STAIR SECTION #7/A-303.
- 119 3 STORY ACCESSIBLE ELEVATOR, EQUIPMENT & ACCESSORIES. SELECTION BY OWNER PER APPLICABLE CODES. REF. ELEVATOR SECTION 6/A-303. SUBMIT SHOP DRAWINGS. ENCLOSED W/ 2 HR. RATED FIRE WALLS.
- 120 LOCATION OF FIRE EXTINGUISHER. REF. COORDINATE WITH APPLICABLE LOCAL FIRE OFFICIAL FOR APPROVED LOCATIONS & TYPES, TYP.
- 121 LOCATION OF EXIT SIGN. REFERENCE GENERAL NOTES/G-100 FOR TYPES & SIGN DETAIL/303, TYP..
- 122 EXTERIOR WALL MOUNTED MAIL BOXES. SELECTION BY OWNER PER LOCAL MAIL DELIVERY REQUIREMENTS. SUBMIT SHOP DWGS..
- 123 CONSTRUCT NEW CONCRETE SLAB ON GRADE WALKWAY.
- 124 CONSTRUCT METAL FRAMED SHELF & BRACKETS AT MIN. 6'-8" A.F.F. IN A MANNER TO SUPPORT WATER HEATER, SHOWN DASHED.



RESTAURANT/DELI TENANT SPACE SUSP. CLG. PLAN  
3/16" = 1'-0"

FIRST FLOOR PLAN  
3/16" = 1'-0"

FISCHER & ASSOCIATES  
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CLIENT REV. GENERAL	04/01/21
CLIENT REV. GENERAL	04/14/21

Client Name/Project Name/Address

LORAIN ROAD OFFICE BUILDING  
(Renovations & Addition)  
17730 Lorain Road  
Cleveland, Ohio

Drawing Name  
ARCHITECTURAL-  
FIRST FLOOR PLAN-KEYED NOTES-  
REFLECTED CLG PLAN  
Fischer Project Number  
20.001  
SHEET #

A-102

Seal

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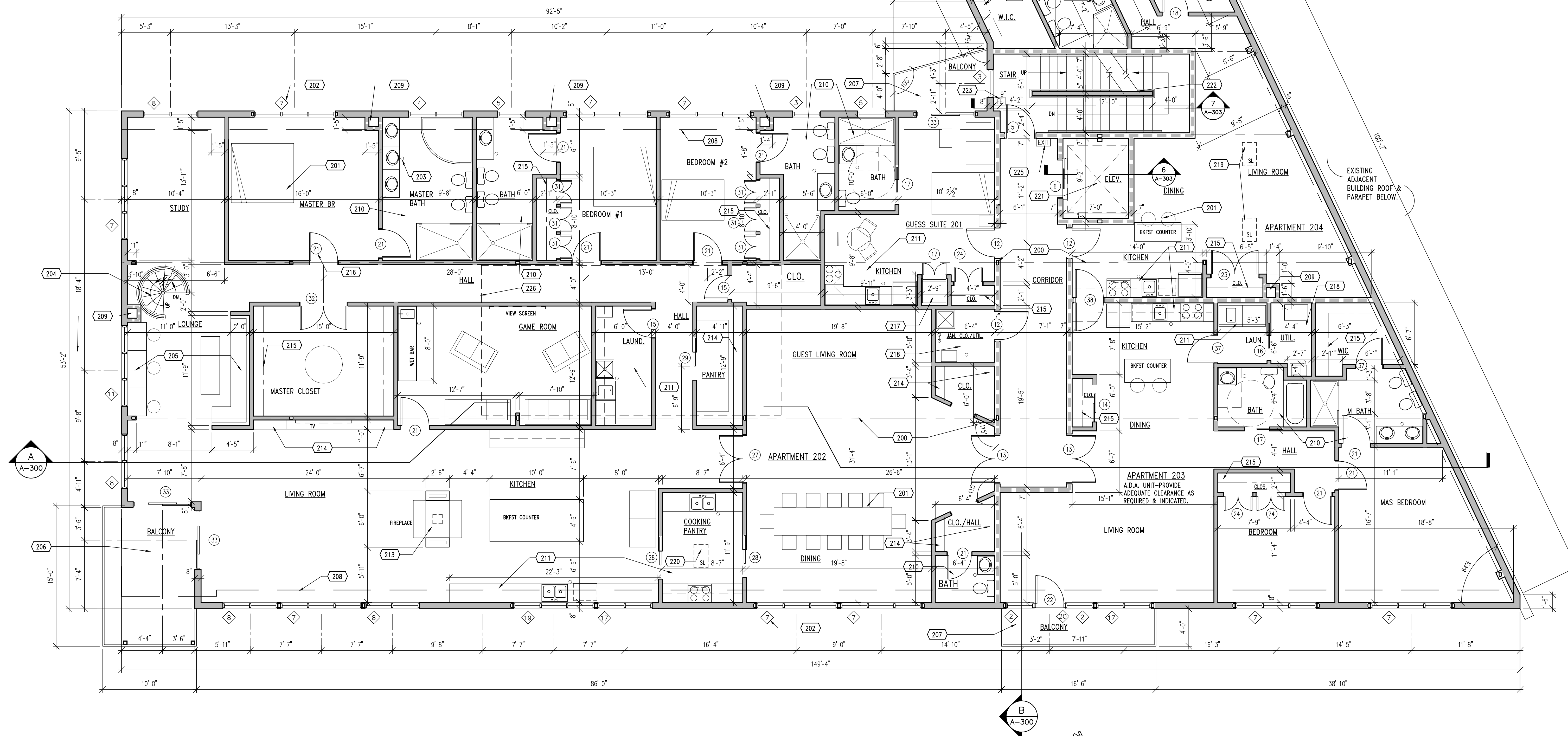
SECOND FLOOR PLAN KEYED NOTES

COORDINATE WITH FIRST FLOOR PLAN THIS SHEET FOR KEYED NOTES TARGET LOCATIONS. (2XX)

SPECIAL COORDINATION REFERENCE NOTE:  
 REFERENCE ENGINEERING DRAWINGS/MPE-- FOR ALL PLUMBING, H.V.A.C. & ELECTRICAL DRAWINGS, SPECIFICATIONS, SCHEDULES & DETAILS. TYP. THROUGHOUT AS INDICATED.

- 200 LOCATION OF STRUCTURAL SUPPORT STEEL COLUMNS & GIRDERS. REF. STRUCTURAL PLANS/A-101a, A-101b & SECTION DETAILS AS INDICATED. TYP. THROUGHOUT U.O.N.
- 201 SCHEMATIC LOCATION OF FURNITURE BY OWNER, TYP. AS SHOWN.
- 202 TARGET # DESIGNATION FOR NEW WINDOW/S IN SECOND FLOOR EXTERIOR METAL FRAMED EXTERIOR WALL. REF. WINDOW SCHEDULE & NOTES/A-105. MODIFY WALL AS REQUIRED TO ACCOMMODATE NEW WINDOW & HEADER FOR STABLE UNIFORM APPEARANCE. TYP. AS INDICATED.
- 203 FLOOR DRAIN (FD) WITH GRILLE FLUSH WITH TOP OF SECOND FLOOR, TYP. AS INDICATED.
- 204 5'-0" METAL SPIRAL STAIR MAX. 8.25" RISERS, HAND & GUARD RAILS. SEL. BY OWNER. PROVIDE ADEQUATE THIRD FLOOR OPENING FOR MIN. 6'-8" HEAD CLEARANCE FROM STEPS AND ADEQUATE STRUCT. INTEGRITY.
- 205 BUILT IN SEATING & TABLES PER OWNERS SELECTION. SUBMIT SHOP DRAWINGS.
- 206 ROOF COVERED BALCONY DECK & GUARD RAILS. REF. SECTION B/A-300, SIM.
- 207 SECOND FLOOR BALCONY DECK & GUARD RAILS. REF. SECTION B/A-300. (SIMILAR) ACTUAL CONDITIONS MAY VARY FOR EACH BALCONY. REF. SECOND FLOOR PLAN/A-103 & ELEVATIONS/A-200 & 201 FOR LOCATIONS & DETAILS.
- 208 LOCATION OF FIRST FLOOR EXTERIOR WALL PERIMETER BELOW, DASHED.
- 209 H.V.A.C. CHASE. PROVIDE 1 HR. CHASE ENCLOSURE WALLS.
- 210 CREATE RESIDENTIAL BATHROOM W/ BATH TUBE, SHOWER, WATER CLOSET (WC) BODY, (BD), VANITY COUNTER W/ LAV. (LAV), FAUCET, BACK SPLASH AND BASE CABINET/S. ALL AS SHOWN AND PER OWNERS SELECTION. TYP. AS SHOWN.
- 211 RESIDENTIAL KITCHEN AND LAUNDRY ROOM: LAYOUT SHOWN IS SCHEMATIC IN NATURE. REFERENCE OWNER SELECTED KITCHEN DESIGNER/SUPPLIERS' SHOP DRAWING FOR ALL INFORMATION INCLUDING BUT NOT LIMITED TO COUNTERS, CABINETS, SOFFITS, FIXTURES & ACCESSORIES PER OWNERS SELECTION AND PER APPLICABLE CODES.
- 212 NOT USED.

- 213 SYN. STONE FINISHED MAS. FIREPLACE AND CHIMNEY. SIZE AND STRUCTURE PER OWNER SEL. PER FIREPLACE MANUF. RECOMMENDATIONS, SPECS. & INSTALLATION INSTRUCTIONS. SUBMIT SHOP DWGS..
- 214 ADJUSTABLE SHELVES & SUPPORTS PER OWNERS SELECTION.
- 215 CLOSET RODS, SHELVES & SUPPORTS PER OWNERS SELECTION.
- 216 DOOR & DESIGNATION NUMBER. REFERENCE DOOR SCHEDULE/A-105, TYP. THROUGHOUT SECOND FLOOR PLAN AS SHOWN.
- 217 STACK WASHER DRYER (W/D) AS SEL. BY OWNER.
- 218 UTILITY ROOM WITH FURNACE, WATER HEATER & ELECTRICAL PANEL. ALL PER OWNERS SELECTION PER APPLICABLE CODES. PROVIDE SECOND FLOOR ROOF OPENING ABOVE AS REQUIRED FOR H.V.A.C. DUCT WORK CHASE.
- 219 2'-6"x1'-6" INSUL. METAL FRAMED SKYLIGHT ABOVE (SL), DASHED. PROVIDE ADEQUATE STRUCTURAL ROOF SUPPORT ELEMENTS. INSTALL FOR WEATHER TIGHT CONDITION. FINAL SELECTION & EXACT LOCATION BY OWNER.
- 220 2'-0"x2'-0" INSUL. METAL FRAMED VENTILATING SKYLIGHT ABOVE (VSL), DASHED. PROVIDE ADEQUATE STRUCTURAL ROOF SUPPORT ELEMENTS. INSTALL FOR WEATHER TIGHT CONDITION. FINAL SELECTION & EXACT LOCATION BY OWNER.
- 221 3 STORY ACCESS ACCESSIBLE ELEVATOR, EQUIPMENT & ACCESSORIES. SELECTION BY OWNER PER APPLICABLE CODES. REF. ELEVATOR SECTION 6/A-303. SUBMIT SHOP DRAWINGS. ENCLOSED W/ 2 HR. RATED FIRE WALLS.
- 222 CONSTRUCT METAL FRAMED EXIT STAIR & HAND RAILINGS. REF. STAIR SECTION #4/A-303.
- 223 LOCATION OF FIRE EXTINGUISHER [FE] COORDINATE WITH APPLICABLE LOCAL FIRE OFFICIAL FOR APPROVED LOCATIONS & TYPES, TYP.
- 224 NOT USED.
- 225 LOCATION OF EXIT SIGN [EXIT] REFERENCE GENERAL NOTES/G-100 FOR TYPES, TYP.
- 226 LOCATION OF POOL ABOVE, DASHED.



SECOND FLOOR PLAN  
 3/16" = 1'-0"

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CLIENT REV. GENERAL	04/14/21

Client Name/Project Name/Address

LORAIN ROAD OFFICE BUILDING  
 (Renovations & Addition)  
 17730 Lorain Road  
 Cleveland, Ohio

Drawing Name  
 ARCHITECTURAL-  
 SECOND FLOOR PLAN-KEYED NOTES  
 Fischer Project Number  
 20.001  
 SHEET #

A-103  
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 NOT FOR  
 CONSTRUCTION



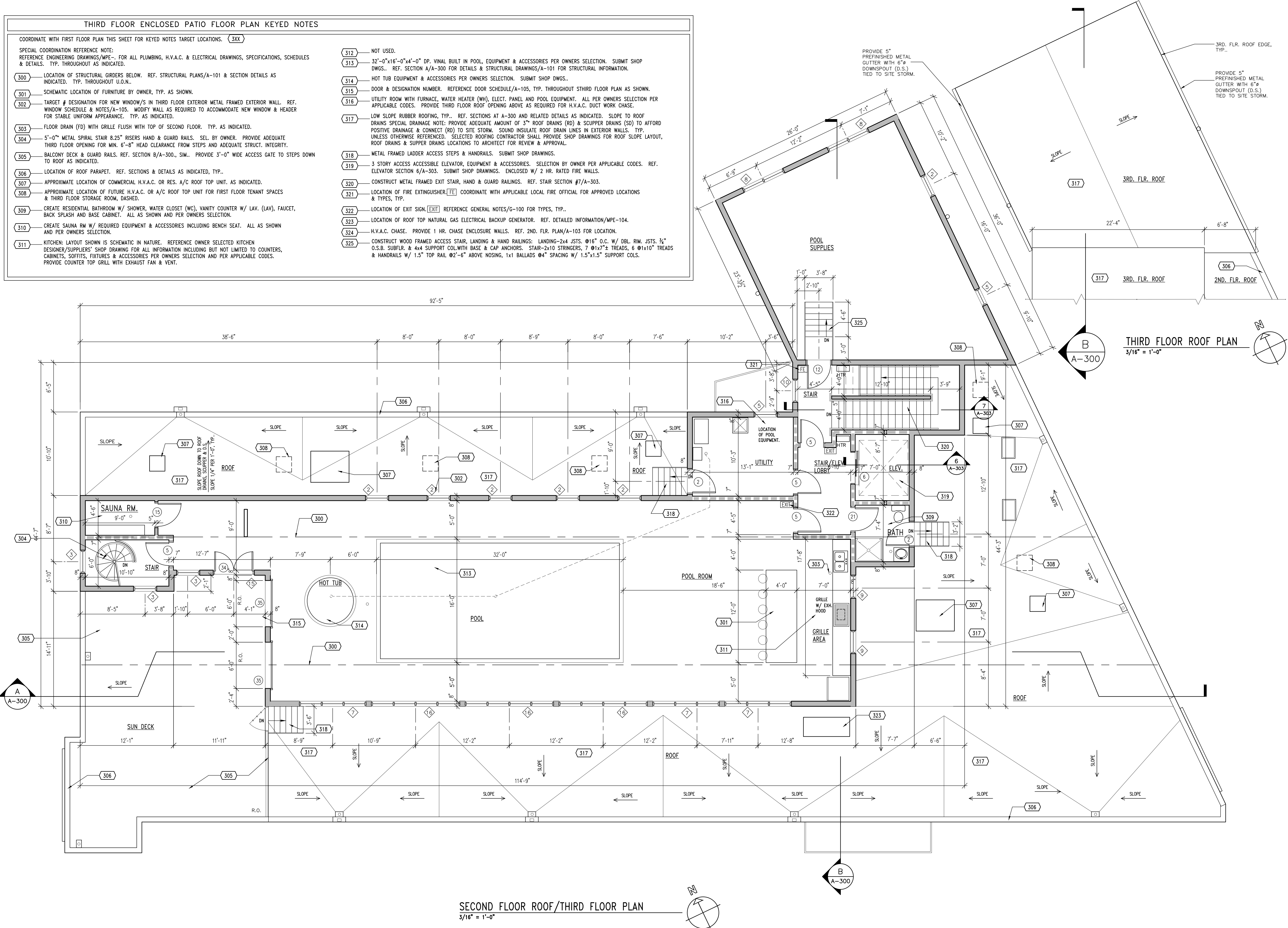
THIRD FLOOR ENCLOSED PATIO FLOOR PLAN KEYED NOTES

COORDINATE WITH FIRST FLOOR PLAN THIS SHEET FOR KEYED NOTES TARGET LOCATIONS. (3XX)

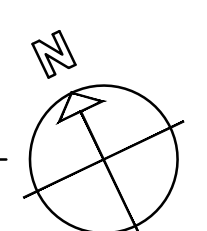
SPECIAL COORDINATION REFERENCE NOTE:  
REFERENCE ENGINEERING DRAWINGS/MPE-- FOR ALL PLUMBING, H.V.A.C. & ELECTRICAL DRAWINGS, SPECIFICATIONS, SCHEDULES & DETAILS. TYP. THROUGHOUT AS INDICATED.

- 300 LOCATION OF STRUCTURAL GIRDERS BELOW. REF. STRUCTURAL PLANS/A-101 & SECTION DETAILS AS INDICATED. TYP. THROUGHOUT U.O.N.
- 301 SCHEMATIC LOCATION OF FURNITURE BY OWNER, TYP. AS SHOWN.
- 302 TARGET # DESIGNATION FOR NEW WINDOW/S IN THIRD FLOOR EXTERIOR METAL FRAMED EXTERIOR WALL. REF. WINDOW SCHEDULE & NOTES/A-105. MODIFY WALL AS REQUIRED TO ACCOMMODATE NEW WINDOW & HEADER FOR STABLE UNIFORM APPEARANCE. TYP. AS INDICATED.
- 303 FLOOR DRAIN (FD) WITH GRILLE FLUSH WITH TOP OF SECOND FLOOR. TYP. AS INDICATED.
- 304 5'-0" METAL SPIRAL STAIR 8.25" RISERS HAND & GUARD RAILS. SEL. BY OWNER. PROVIDE ADEQUATE THIRD FLOOR OPENING FOR MIN. 6'-8" HEAD CLEARANCE FROM STEPS AND ADEQUATE STRUCT. INTEGRITY.
- 305 BALCONY DECK & GUARD RAILS. REF. SECTION B/A-300.. SIM.. PROVIDE 3'-0" WIDE ACCESS GATE TO STEPS DOWN TO ROOF AS INDICATED.
- 306 LOCATION OF ROOF PARAPET. REF. SECTIONS & DETAILS AS INDICATED, TYP..
- 307 APPROXIMATE LOCATION OF COMMERCIAL H.V.A.C. OR RES. A/C ROOF TOP UNIT. AS INDICATED.
- 308 APPROXIMATE LOCATION OF FUTURE H.V.A.C. OR A/C ROOF TOP UNIT FOR FIRST FLOOR TENANT SPACES & THIRD FLOOR STORAGE ROOM, DASHED.
- 309 CREATE RESIDENTIAL BATHROOM W/ SHOWER, WATER CLOSET (WC), VANITY COUNTER W/ LAV. (LAV), FAUCET, BACK SPLASH AND BASE CABINET. ALL AS SHOWN AND PER OWNERS SELECTION.
- 310 CREATE SAUNA RM W/ REQUIRED EQUIPMENT & ACCESSORIES INCLUDING BENCH SEAT. ALL AS SHOWN AND PER OWNERS SELECTION.
- 311 KITCHEN: LAYOUT SHOWN IS SCHEMATIC IN NATURE. REFERENCE OWNER SELECTED KITCHEN DESIGNER/SUPPLIERS' SHOP DRAWING FOR ALL INFORMATION INCLUDING BUT NOT LIMITED TO COUNTERS, CABINETS, SOFFITS, FIXTURES & ACCESSORIES PER OWNERS SELECTION AND PER APPLICABLE CODES. PROVIDE COUNTER TOP GRILL WITH EXHAUST FAN & VENT.

- 312 NOT USED.
- 313 32'-0"x16'-0"x4'-0" DP. VINYL BUILT IN POOL, EQUIPMENT & ACCESSORIES PER OWNERS SELECTION. SUBMIT SHOP DWGS.. REF. SECTION A/A-300 FOR DETAILS & STRUCTURAL DRAWINGS/A-101 FOR STRUCTURAL INFORMATION.
- 314 HOT TUB EQUIPMENT & ACCESSORIES PER OWNERS SELECTION. SUBMIT SHOP DWGS..
- 315 DOOR & DESIGNATION NUMBER. REFERENCE DOOR SCHEDULE/A-105, TYP. THROUGHOUT THIRD FLOOR PLAN AS SHOWN.
- 316 UTILITY ROOM WITH FURNACE, WATER HEATER (WH), ELECT. PANEL AND POOL EQUIPMENT. ALL PER OWNERS SELECTION PER APPLICABLE CODES. PROVIDE THIRD FLOOR ROOF OPENING ABOVE AS REQUIRED FOR H.V.A.C. DUCT WORK CHASE.
- 317 LOW SLOPE RUBBER ROOFING, TYP.. REF. SECTIONS AT A-300 AND RELATED DETAILS AS INDICATED. SLOPE TO ROOF DRAINS SPECIAL DRAINAGE NOTE: PROVIDE ADEQUATE AMOUNT OF 3" ROOF DRAINS (RD) & SCUPPER DRAINS (SD) TO AFFORD POSITIVE DRAINAGE & CONNECT (RD) TO SITE STORM. SOUND INSULATE ROOF DRAIN LINES IN EXTERIOR WALLS. TYP. UNLESS OTHERWISE REFERENCED. SELECTED ROOFING CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ROOF SLOPE LAYOUT, ROOF DRAINS & SUPPER DRAINS LOCATIONS TO ARCHITECT FOR REVIEW & APPROVAL.
- 318 METAL FRAMED LADDER ACCESS STEPS & HANDRAILS. SUBMIT SHOP DRAWINGS.
- 319 3 STORY ACCESS ACCESSIBLE ELEVATOR, EQUIPMENT & ACCESSORIES. SELECTION BY OWNER PER APPLICABLE CODES. REF. ELEVATOR SECTION 6/A-303. SUBMIT SHOP DRAWINGS. ENCLOSED W/ 2 HR. RATED FIRE WALLS.
- 320 CONSTRUCT METAL FRAMED EXIT STAIR, HAND & GUARD RAILINGS. REF. STAIR SECTION #7/A-303.
- 321 LOCATION OF FIRE EXTINGUISHER, FE COORDINATE WITH APPLICABLE LOCAL FIRE OFFICIAL FOR APPROVED LOCATIONS & TYPES, TYP.
- 322 LOCATION OF EXIT SIGN, EXIT REFERENCE GENERAL NOTES/G-100 FOR TYPES, TYP..
- 323 LOCATION OF ROOF TOP NATURAL GAS ELECTRICAL BACKUP GENERATOR. REF. DETAILED INFORMATION/MPE-104.
- 324 H.V.A.C. CHASE. PROVIDE 1 HR. CHASE ENCLOSURE WALLS. REF. 2ND. FLR. PLAN/A-103 FOR LOCATION.
- 325 CONSTRUCT WOOD FRAMED ACCESS STAIR, LANDING & HAND RAILINGS: LANDING-2x4 JSTS. @16" O.C. W/ DBL. RIM. JSTS. 3/4" O.S.B. SUBFLR. & 4x4 SUPPORT COL WITH BASE & CAP ANCHORS. STAIR-2x10 STRINGERS, 7 @1x7"± TREADS, 6 @1x10" TREADS & HANDRAILS W/ 1.5" TOP RAIL @2'-6" ABOVE NOSING, 1x1 BALLADS @4" SPACING W/ 1.5"x1.5" SUPPORT COLS.



SECOND FLOOR ROOF/THIRD FLOOR PLAN  
3/16" = 1'-0"



554 West Ninth Street  
Lorain, Ohio 44052  
Tel: (440) 315-2300

E mail: andrea@fischerarch.com

Fischer & Associates	© 2020
ISSUE:	DATE:
PRELIM BG	01/29/20
PROGRESS	05/06/20
PROGRESS	06/20/20
PROGRESS STRUCT.	06/25/20
PROGRESS GENERAL	07/06/20
CLIENT REV.	08/12/20
CLIENT REV. PROGRESS	09/14/20
CLIENT REV. STRUCT REV.	09/18/20
FINAL REVIEW	10/20/20
CLIENT REV. GENERAL	12/10/20
CLIENT REV. GENERAL	04/01/21
CLIENT REV. GENERAL	04/14/21

Client Name/Project Name/Address

**LORAIN ROAD OFFICE BUILDING**  
 (Renovations & Addition)  
 17730 Lorain Road  
 Cleveland, Ohio

Drawing Name  
 ARCHITECTURAL-  
 SECOND FLOOR ROOF/THIRD FLOOR PLAN-  
 KEYED NOTES  
 Fischer Project Number  
 20.001  
 SHEET #

**A-104**

Seal

**PRELIMINARY**  
 NOT FOR  
 CONSTRUCTION



# Euclid Corridor Design Review Case

---



June 18, 2021

EC2021-003 - Madame CJ Walker Business District: Seeking Schematic Design Approval

**Project Location: South side of Hough Avenue at East 85<sup>th</sup> Street**

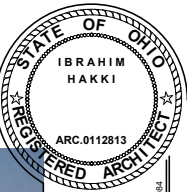
Project Representatives: Ibrahim Hakki, Architect

Kareem Abdus-Salaam, Structures Unlimited

Note: this project received Conceptual Approval by the Planning Commission on February 5, 2021.



# Madam C J Walker Business District



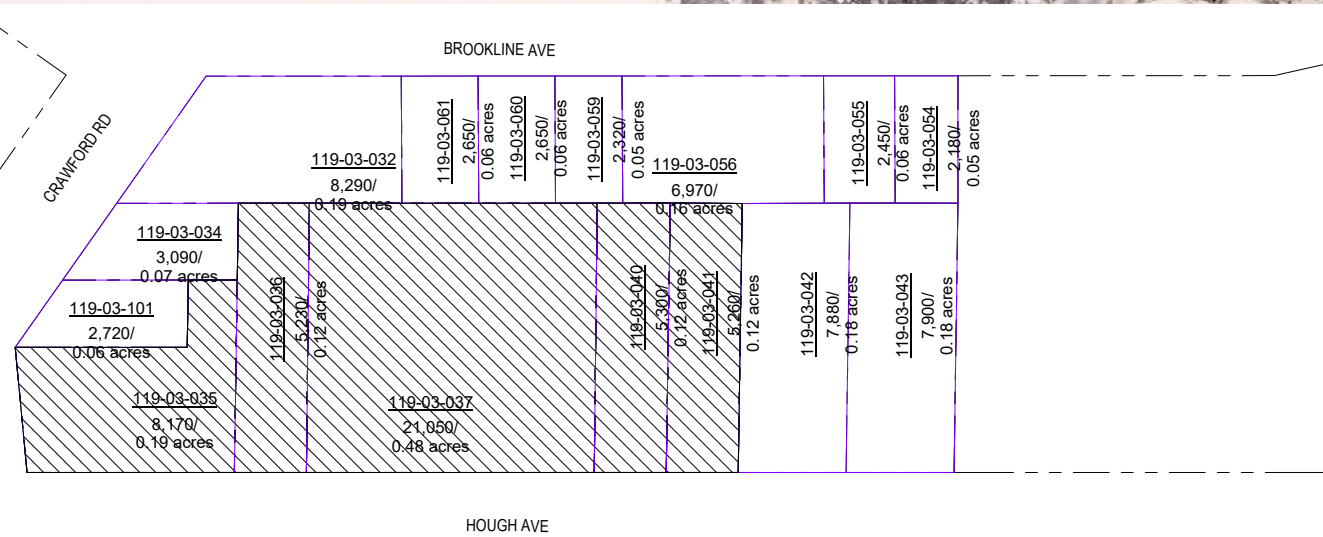
**architect HAKKI**  
 P.O. Box 347184  
 Cleveland, OH 44134  
 phone 216.372.9047  
 www.arch-hakki.com



**STRUCTURES UNLIMITED, LLC**  
 9200 Edmonston Rd #300  
 Greenbelt, MD 20770



**Madam C J Walker Business District**  
 8501 Hough Ave  
 Cleveland, OH 44106



① LANDBANK LOT REQUEST  
 1" = 50'-0"



COVER SHEET

Date: JUNE 10, 2021

Status: Schematic Design

No.	Re:	Date

JH: Project Number

GO.00





View from the East



View of Property to the East



View from the West

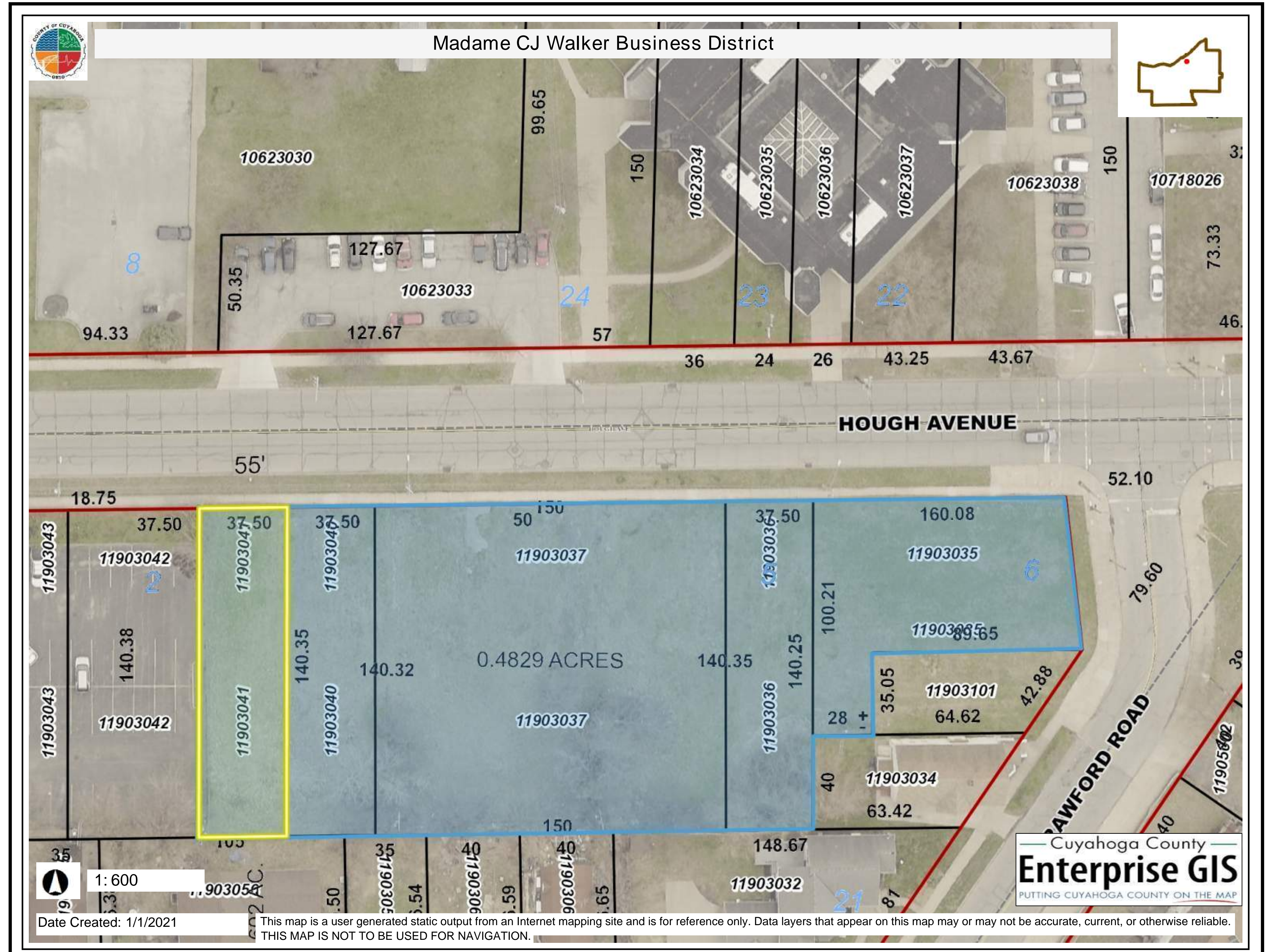
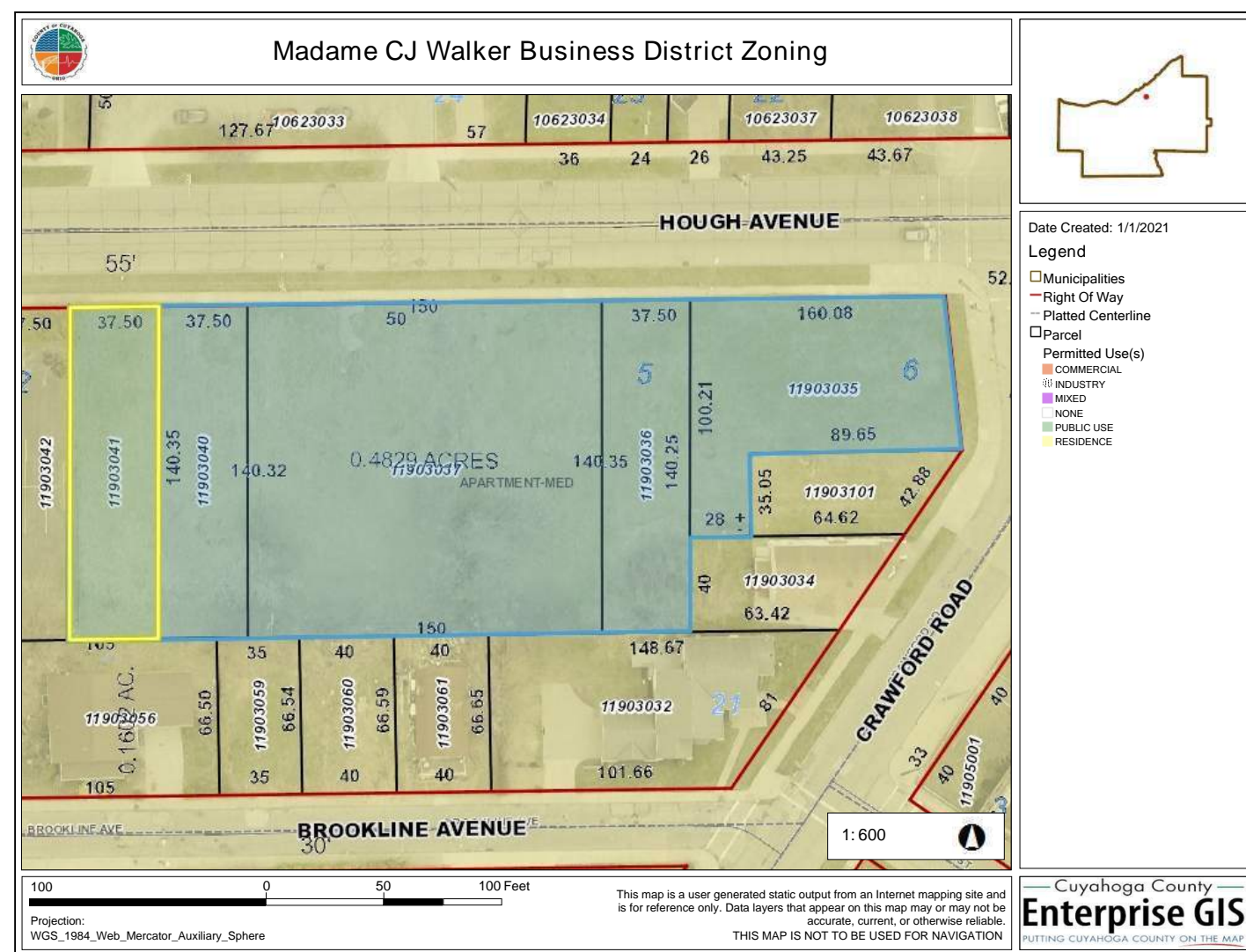
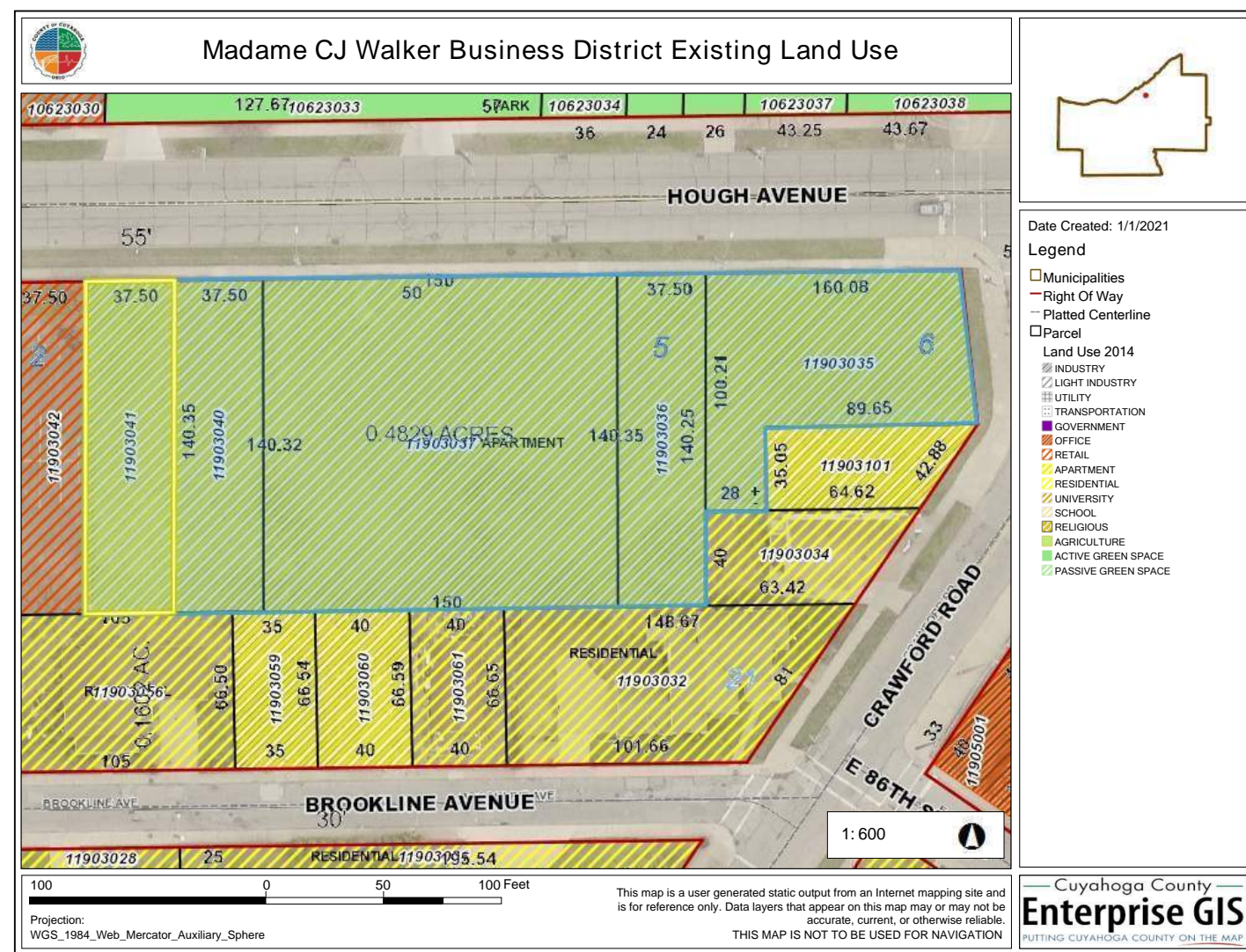
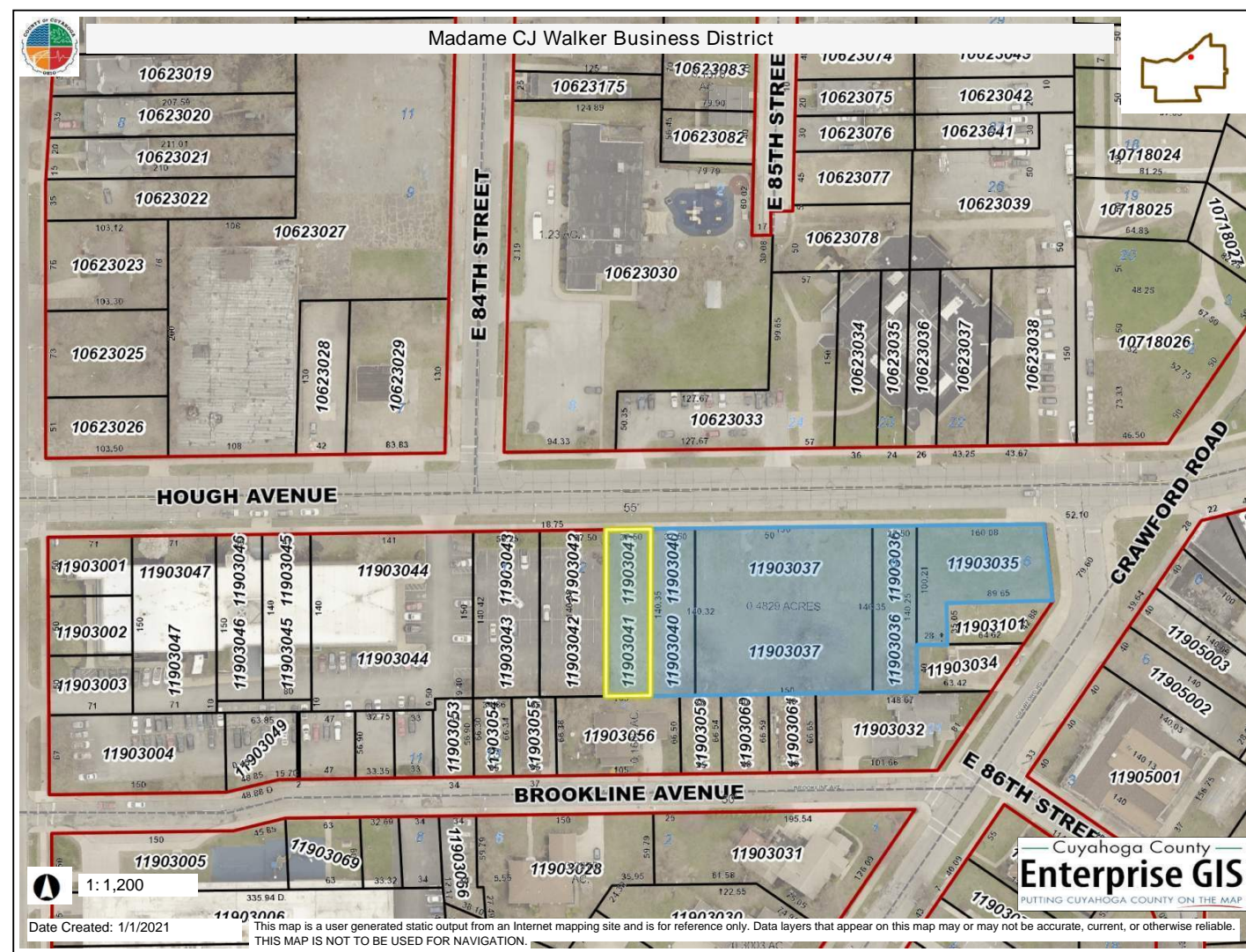


The fence to the East



View from the Southeast





Date Created: 1/1/2021 This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION.



LANDSCAPE FORMS



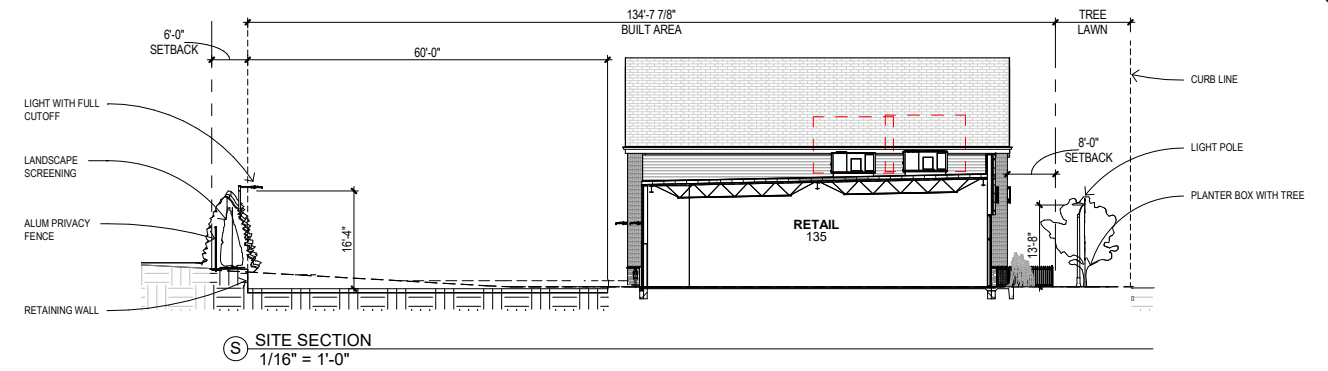
FLO BIKE RACK  
QNTY: 2



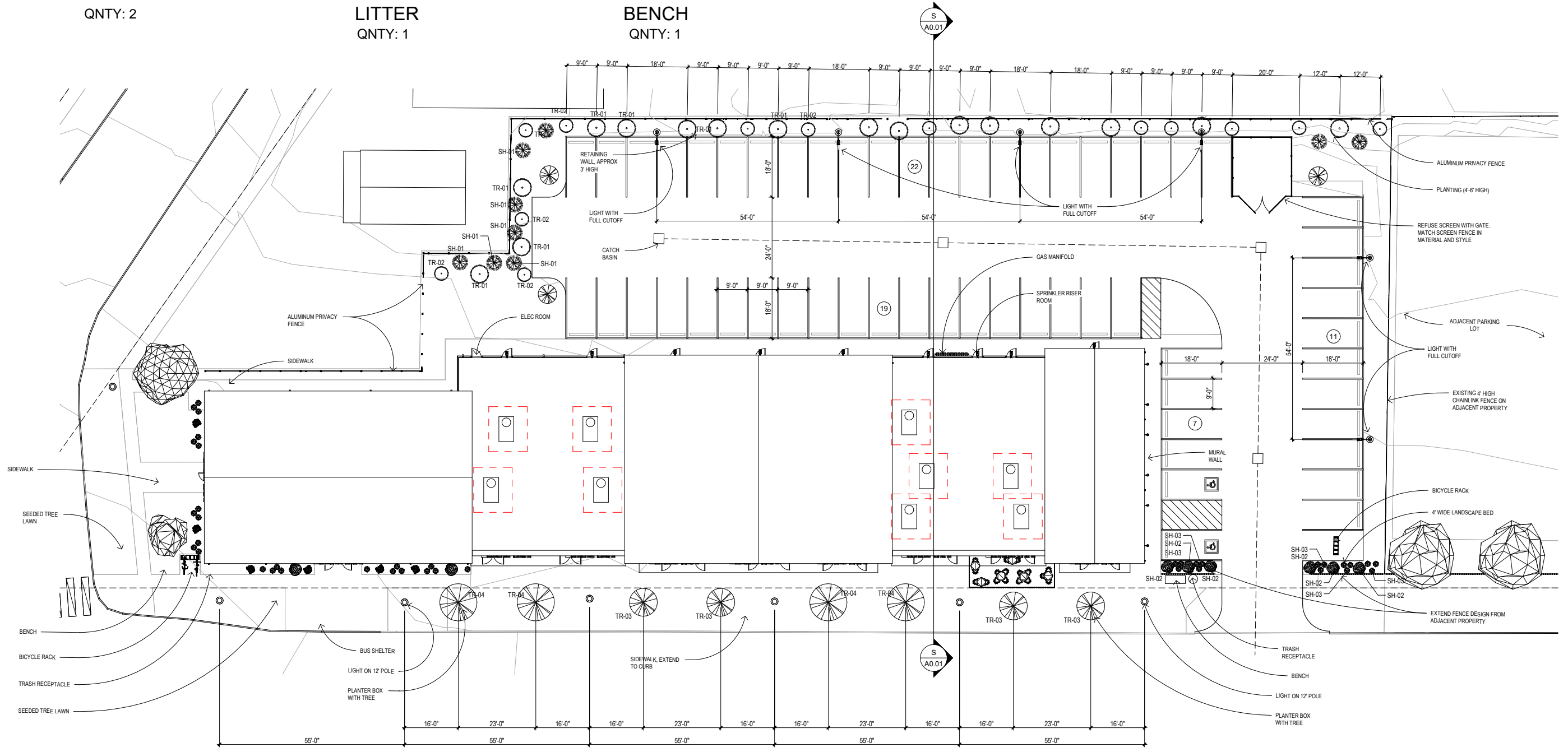
CHASE PARK LITTER  
QNTY: 1



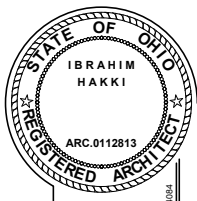
TOWN SQUARE BENCH  
QNTY: 1



⑤ SITE SECTION  
1/16" = 1'-0"



② PRELIMINARY SITE PLAN  
1/16" = 1'-0"



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Greenbelt, MD 20770



**Madam CJ Walker Business District**  
8501 Hough Ave  
Cleveland, OH 44106

**ARCHITECTURAL SITE PLAN**

Date: JUNE 10, 2021  
Status: Schematic Design

No.	Re:	Date

JH: Project Number

A0.01





RETAINING WALL  
VERSALOK: FOUR-UNIT MOSAIC  
PANEL (WEATHERED)

**ALUMINUM PRIVACY FENCE**

FENCING &  
PRIVACY  
SCREENS



KNOTWOOD™

PLANTING SCHEDULE					
MARK	COMMON NAME	MATURE SIZE	INITIAL SIZE	QNTY	NURSURY
				28	
SH-01	BLACK BEAUTY JAPANESE HOLLY	3'-4" HEIGHT / 4'-5" SPREAD	18" B&B	9	KLYN NURSURIES
SH-02	P.J.M. RHODODENDRON	4' HEIGHT / 4' SPREAD	24"	8	KLYN NURSURIES
SH-03	BIG BLUESTREAM	5'-7' HEIGHT	CLUMP #2	39	KLYN NURSURIES
TR-01	DWARF ALBERTA SPRUCE	5'-10" HEIGHT / 4'-5" SPREAD	4", 54" #10 CONT	16	KLYN NURSURIES
TR-02	WEeping BLUE ATLAS CEDAR	12'-15" HEIGHT	SERP 4'	13	KLYN NURSURIES
TR-03	SNOWGOOSE CHERRY	20' HEIGHT / 20' SPREAD	1-3/4" #20 CONT	4	KLYN NURSURIES
TR-04	APPALACHIAN RED REDBUD	15'-25' HEIGHT / 20'-30' SPREAD	1-1/4" #10 CONT	4	KLYN NURSURIES



**Ibrahim HAKKI**

ARC.0112813

**architect Hakkli**

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Cleveland, OH 44134  
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DWARF ALBERTA  
SPRUCE



BLACK BEAUTY HOLLY



WEeping BLUE ATLAS  
CEDAR



BIG BLUESTREAM



PJM RHODODENDRON



SNOWGOOSE CHERRY



APPALACHIAN RED REDBUD

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Greenbelt, MD 20770



**Madam CJ Walker  
Business District**

8501 Hough Ave  
Cleveland, OH 44106

**LANDSCAPE AND  
SCREENING  
MATERIALS**

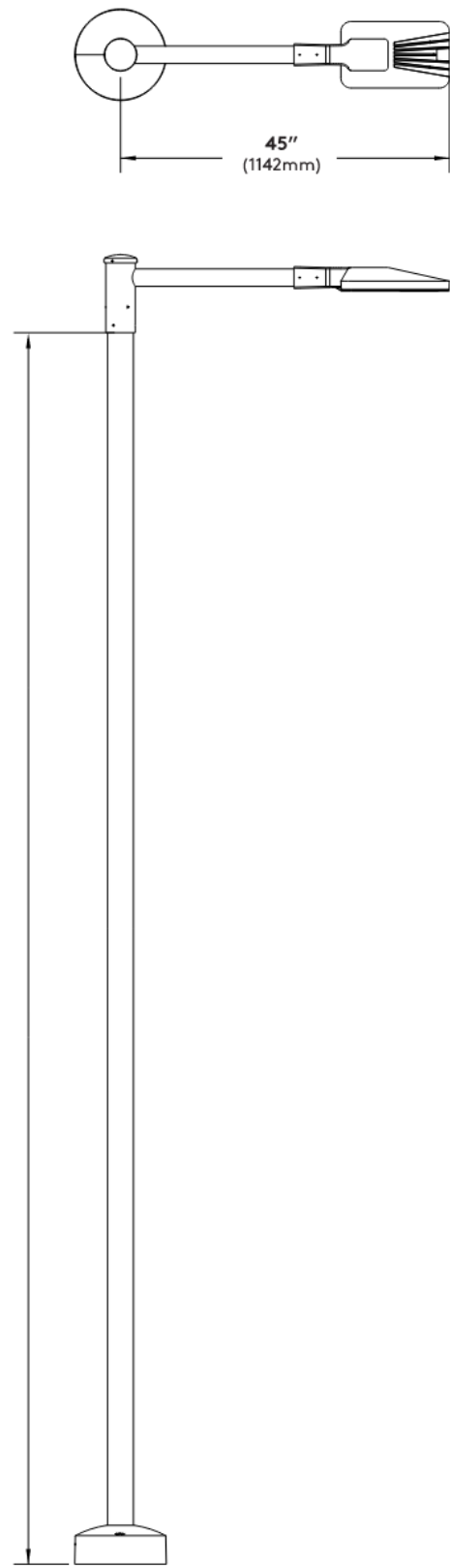
Date: JUNE 10, 2021  
Status: Schematic Design

No.	Re:	Date

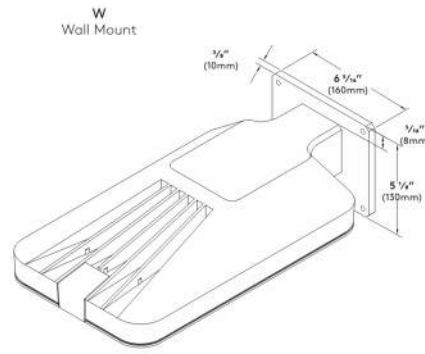
jth: Project Number



SELUX: OURAY



PARKING LIGHTING



WALL LIGHTS

COOPER: INVUE



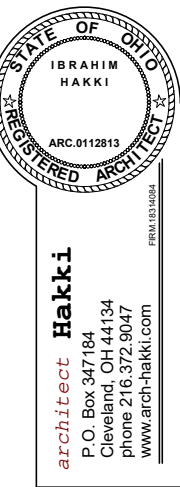
SIDEWALK LIGHTING

BARNLIGHT ELECTRIC:  
FIRE CHIEF SIGN LIGHT



MURAL LIGHTING

MARK	MFR	MODEL	QNTY
L1	SELUX	OURAY POLE MOUNTED	6
L2	SELUX	OURAY WALL MOUNTED	7
L3	COOPER LIGHTING	INVUE	9
L4	BARN LIGHT	FIRE CHEIF SIGN LIGHT	6



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Greenbelt, MD 20770



**Madam CJ Walker Business District**  
8501 Hough Ave  
Cleveland, OH 44106

SITE LIGHTING

Date: JUNE 10, 2021  
Status: Schematic Design

No.	Re:	Date





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greenbelt, MD 20770

## Madame CJ Walker Business District

June 8, 2021



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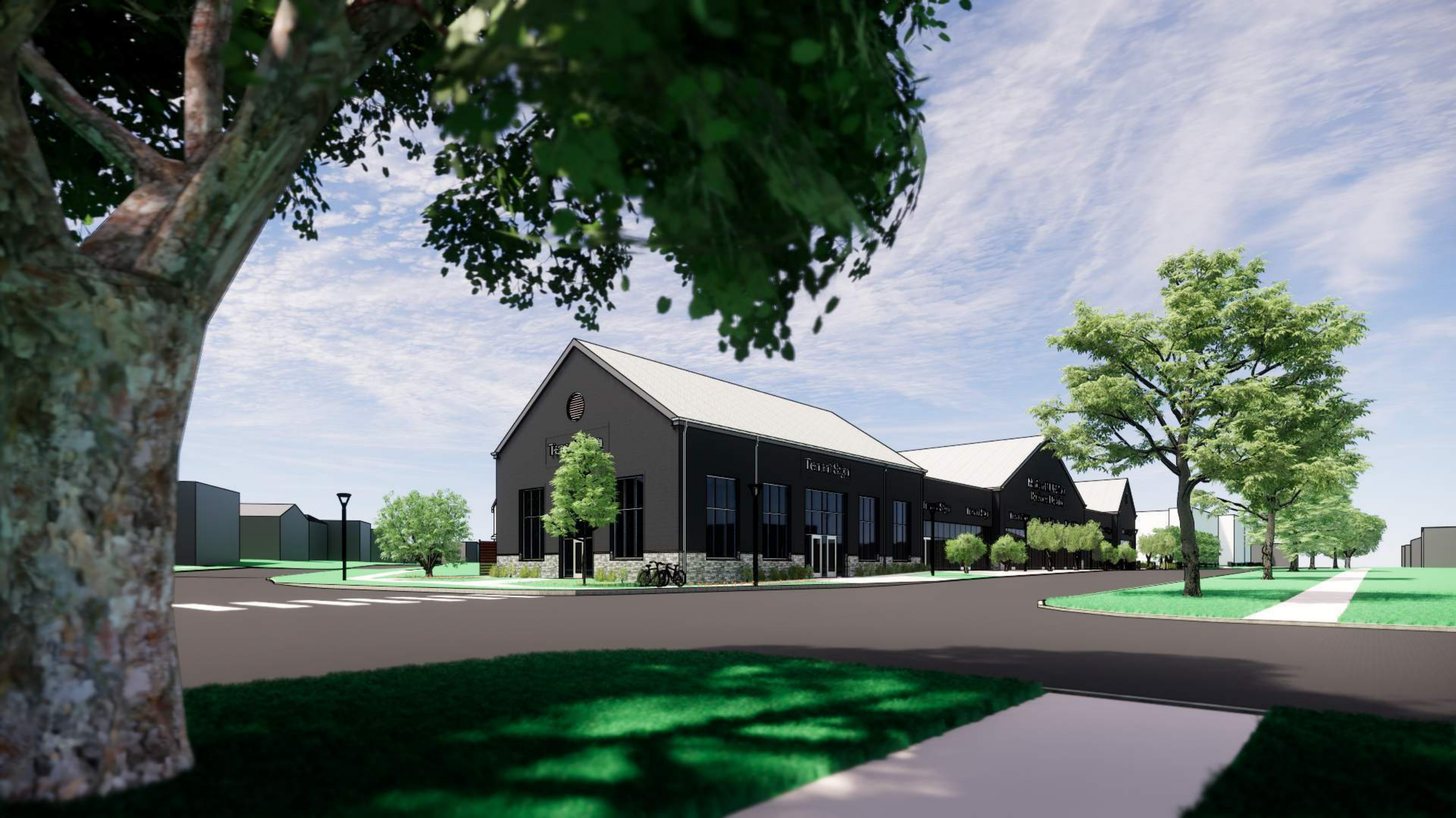


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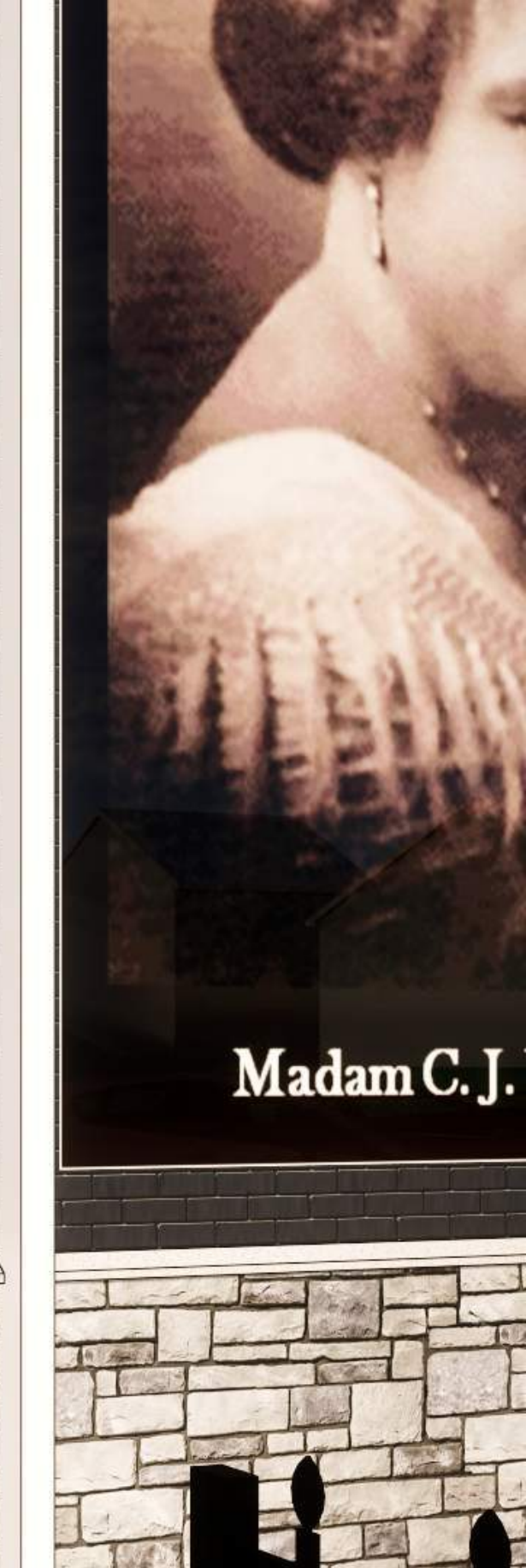


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June 8, 2021



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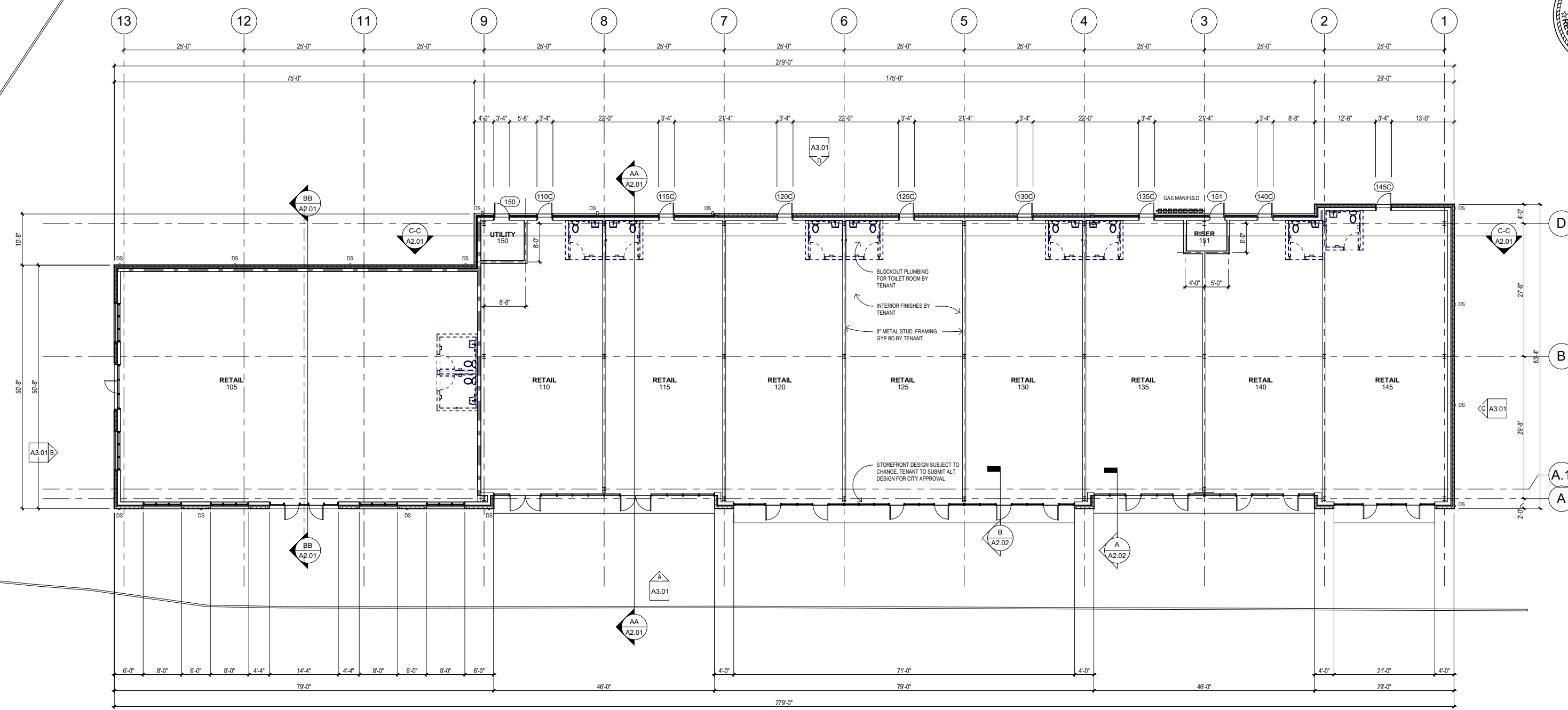


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 9200 Edmonston Rd #300  
 Greenbelt, MD 20770



**Madam CJ Walker  
 Business District**  
 8501 Hough Ave  
 Cleveland, OH 44106



① RETAIL FLOOR LEVEL  
 3/32" = 1'-0"



**PLANS**

Date: JUNE 10, 2021  
 Status: Schematic Design

No.	Re:	Date

JH: Project Number

**A1.01**





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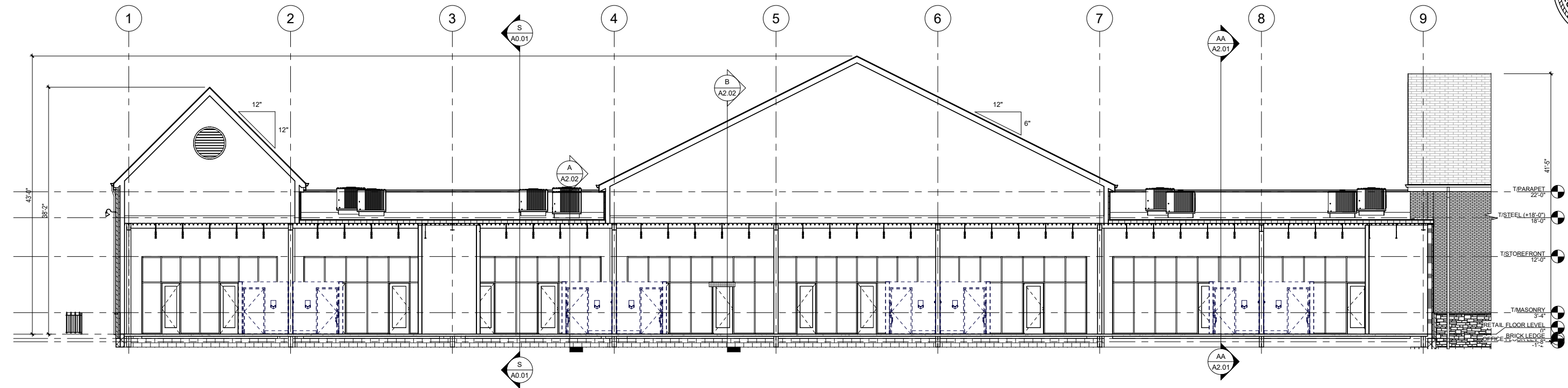
**SECTIONS**

Date: JUNE 10, 2021  
Status: Schematic Design

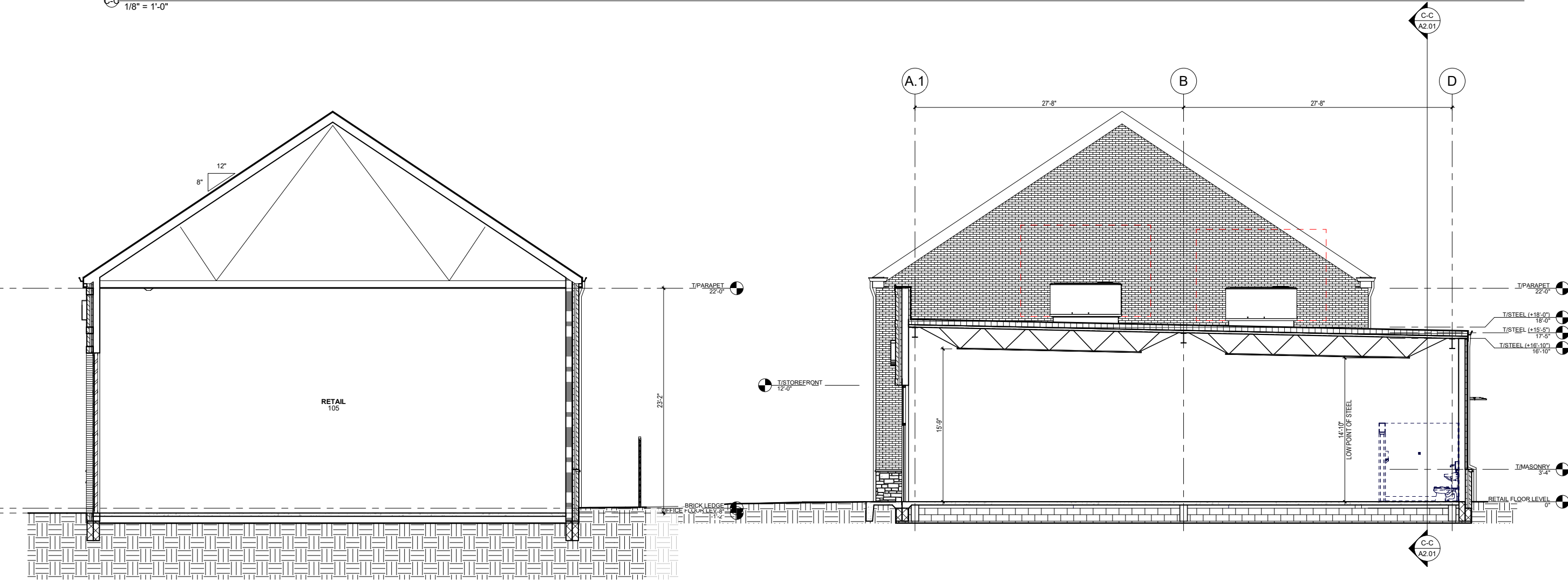
No.	Re:	Date

jin: Project Number

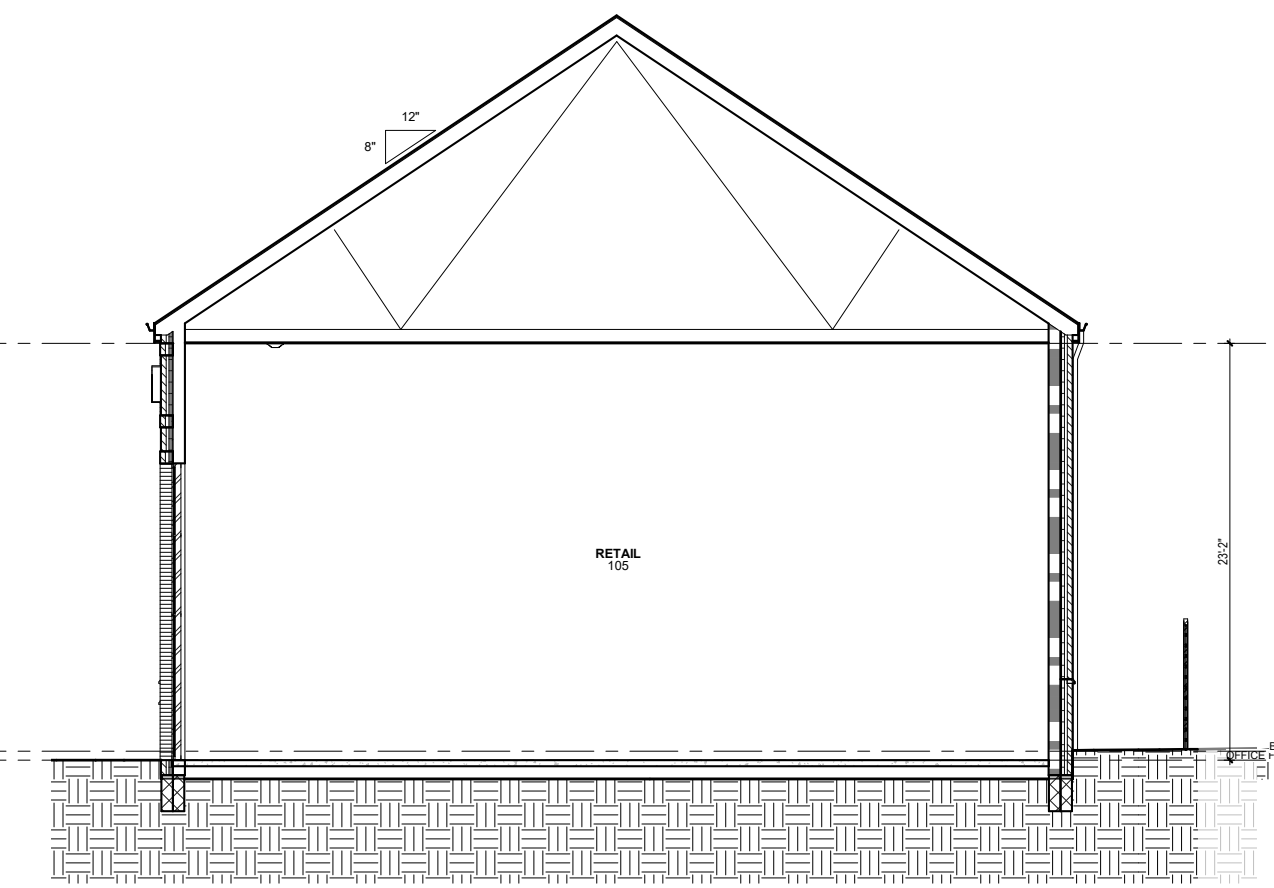
**A2.01**



**BUILDING SECTION C-C**  
1/8" = 1'-0"



**BUILDING SECTION A-A**  
3/16" = 1'-0"

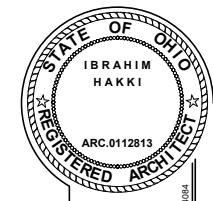


**BUILDING SECTION B-B**  
3/16" = 1'-0"









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**Madam C J Walker Business District**  
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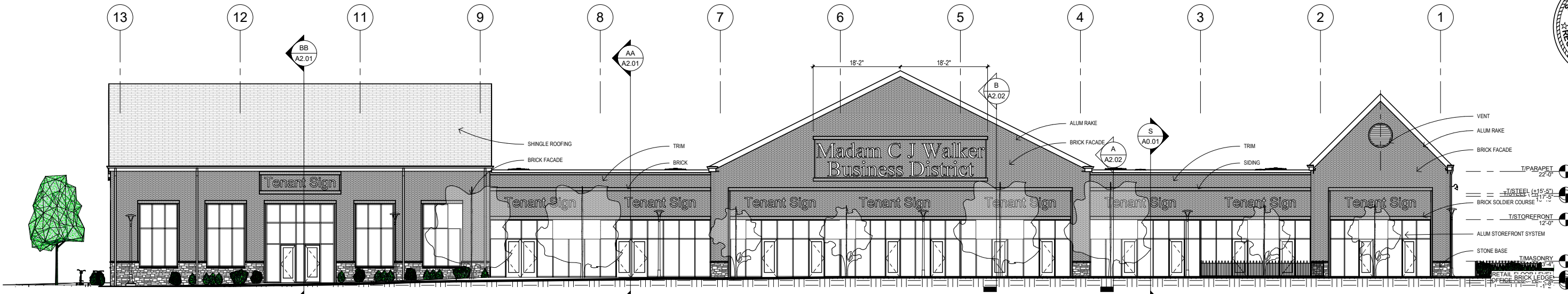
**EXTERIOR ELEVATIONS**

Date: JUNE 10, 2021  
 Status: Schematic Design

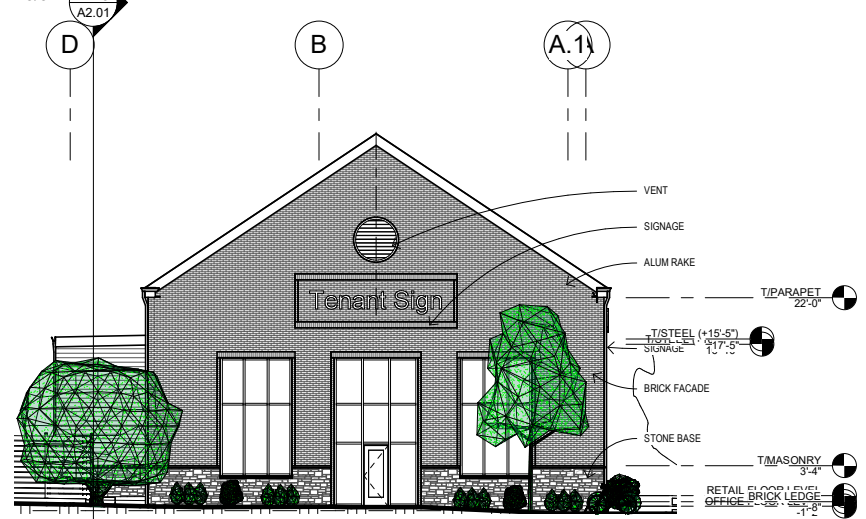
No.	Re:	Date

JH: Project Number

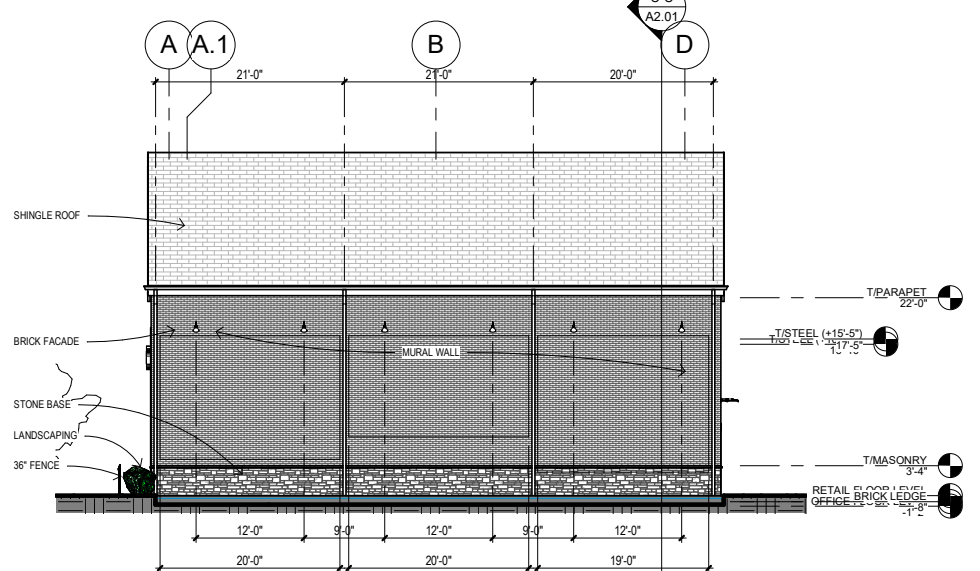
A3.01



**A EXTERIOR ELEVATIONS**  
 3/32" = 1'-0"  
 A2.01

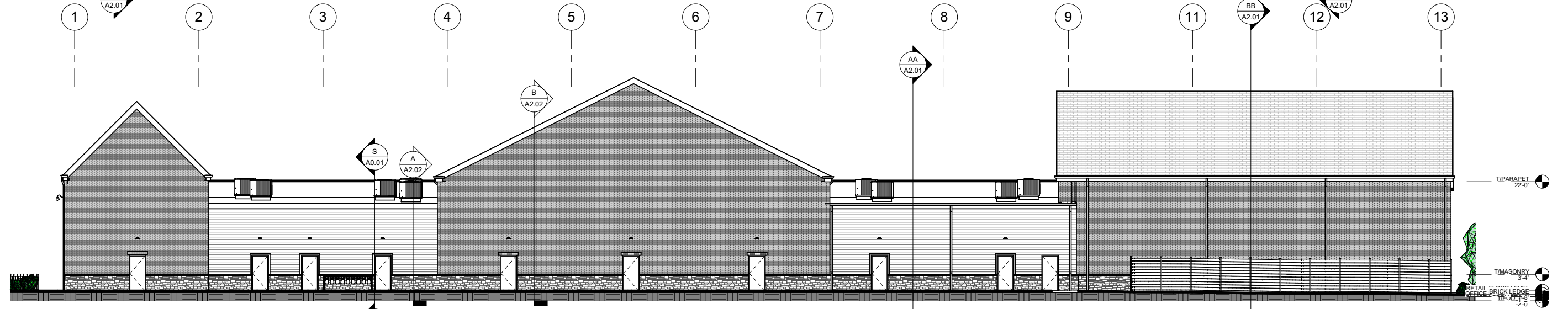


**S EXTERIOR ELEVATIONS**  
 3/32" = 1'-0"  
 A0.01



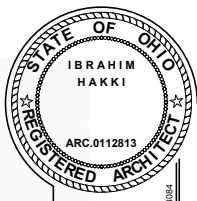
**C EXTERIOR ELEVATIONS**  
 3/32" = 1'-0"  
 A2.01

**B EXTERIOR ELEVATIONS**  
 3/32" = 1'-0"  
 A2.01



**D EXTERIOR ELEVATIONS**  
 3/32" = 1'-0"  
 A0.01

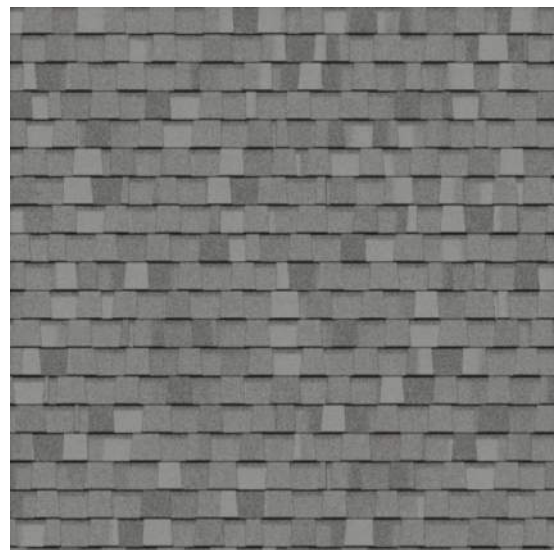




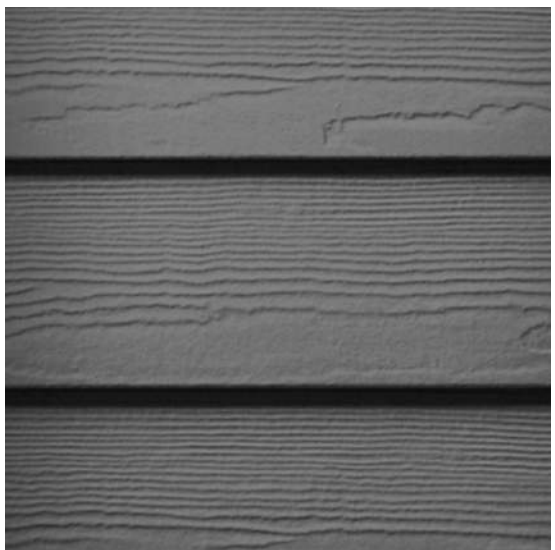
**architect Hakki**  
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 www.arch-hakki.com  
 PERM 12518484



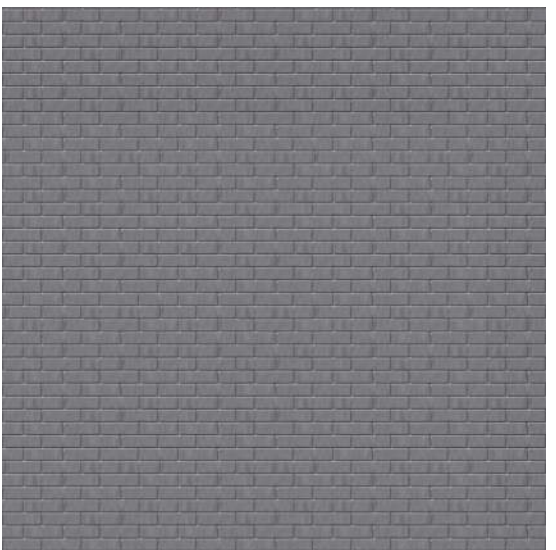
STOREFRONT / CURTAIN WALL  
 FRAMING (KAWNEER)  
 LAMINATED/INSULATED  
 GLAZING (VITRO)



SHINGLE ROOFING  
 CERTAINTEED LANDMARK PRO  
 SILVER BIRCH



SIDING  
 HARDIE CEDARMILL  
 NIGHT GRAY



BRICK  
 ENDICOTT  
 MANGANESE IRONSPOT  
 SMOOTH MODULAR



PROVIA  
 HARBOR LIMESTONE

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 Greenbelt, MD 20770



**Madam CJ Walker  
 Business District**  
 8501 Hough Ave  
 Cleveland, OH 44106

**EXTERIOR FINISHES**

Date: JUNE 10, 2021  
 Status: Schematic Design

No.	Re:	Date



# Euclid Corridor Design Review Case

---



June 18, 2021

EC2020-016 – Kalina House New Construction: Seeking Conceptual Approval

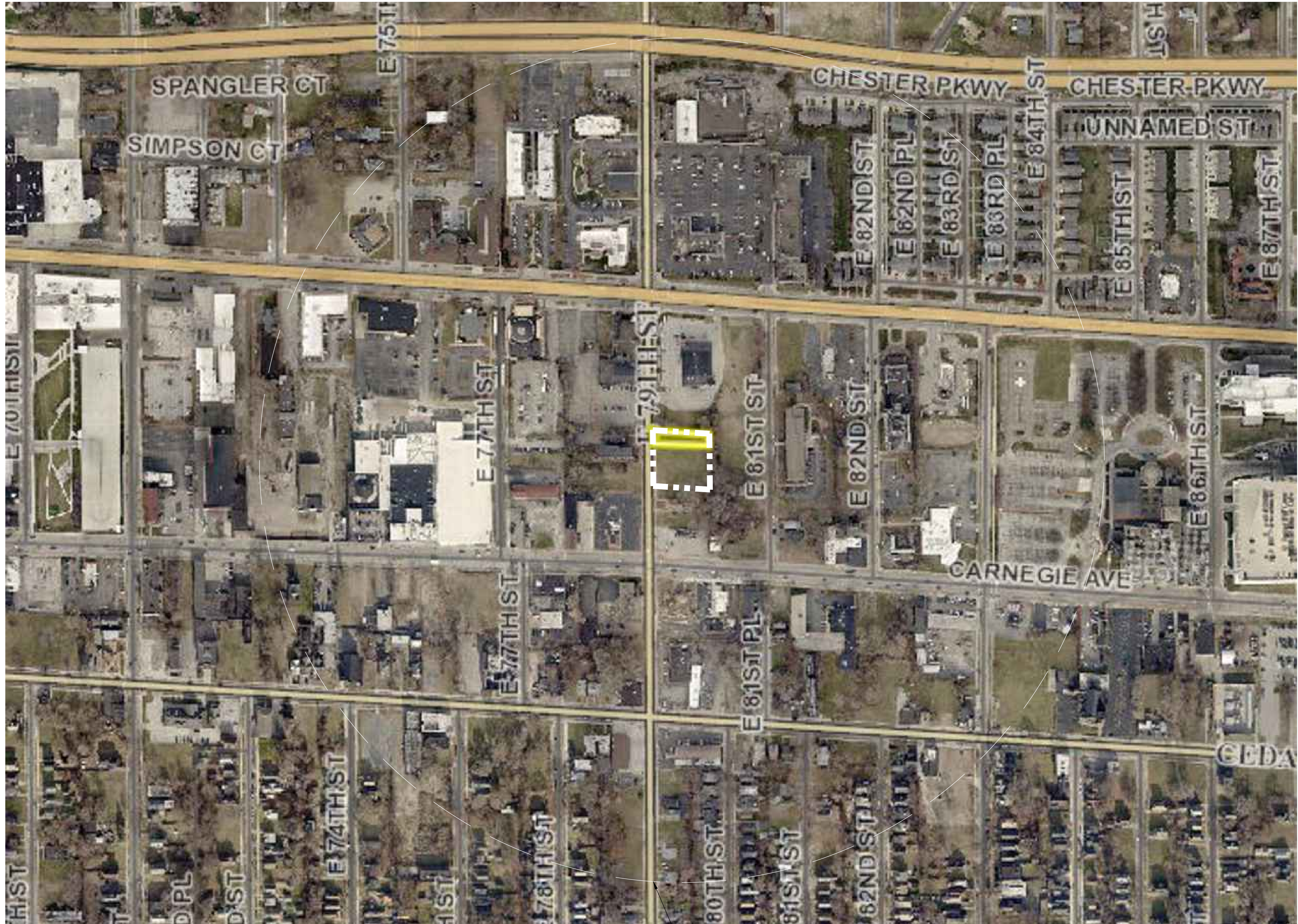
**Project Addresses: 2041 - 2055 East 79<sup>th</sup> Street**

Project Representatives: Greg Earnst, AoDK Architecture

Matt Kalina, Mark Kalina Jr. Foundation

Mark Kalina, Jr., Mark Kalina Jr. Foundation





1/2 MILE RADIUS

A  
a1.1

**SITE LOCATION MAP**

SCALE: 1" = 30'-0"



**a°dk**

PRELIMINARY  
NOT FOR CONSTRUCTION

**KALINA HOUSE**

PROJECT TITLE:

PROJECT:

2041, 2045, 2049, 2055 E. 79TH ST.  
CLEVELAND, OH 44103

ISSUE DATE:

DESIGN REVIEW 05.28.2021

AUTHORIZATION:

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JOB NO.:

19.97

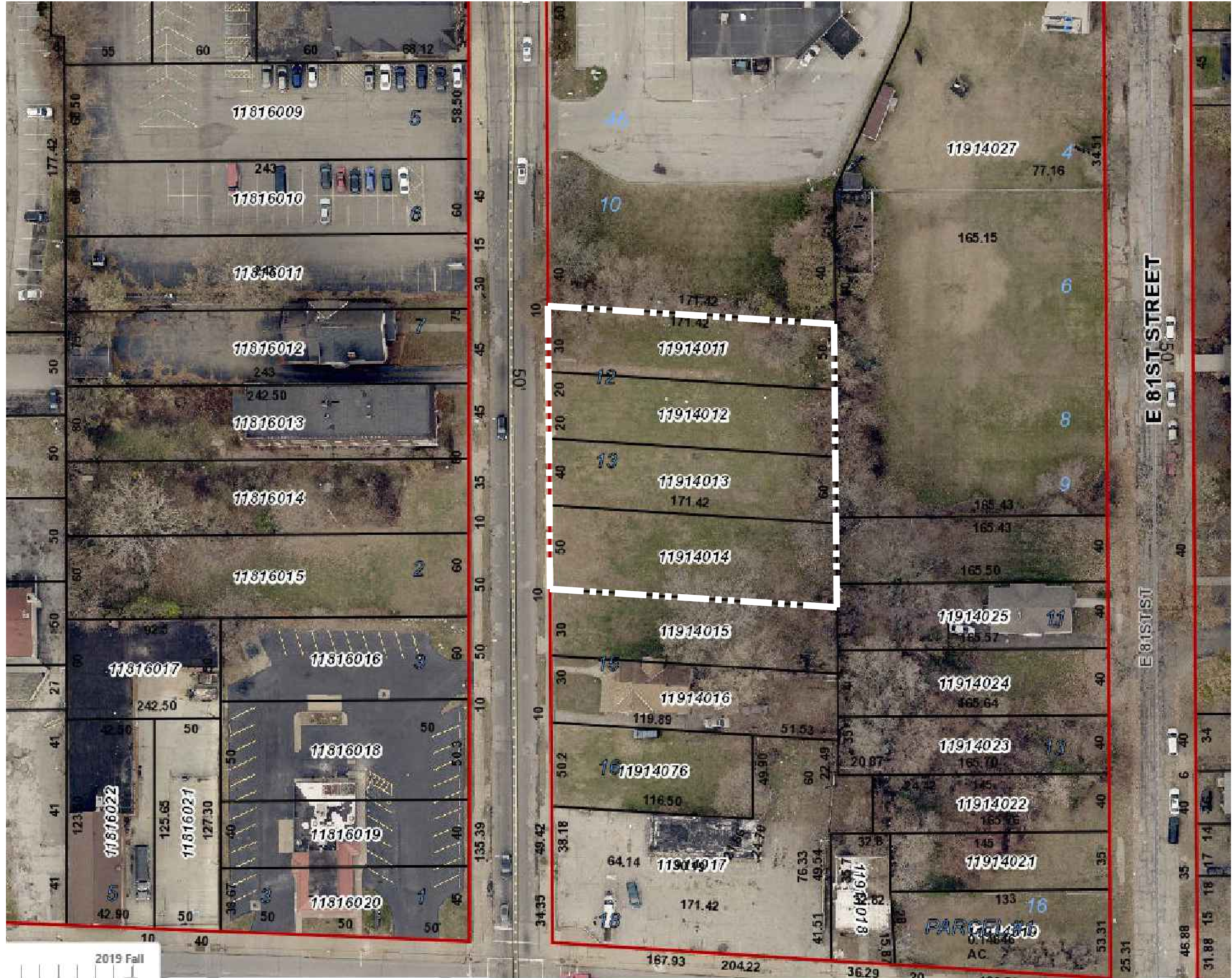
SHEET NO.:

**a1.1**

SITE LOCATION MAP

ARCHITECTURE OFFICE: DAVID KREBS  
ADDK, INC. | (A): 14284 Drexel Avenue, Lakewood, OH 44103 | (P): 216.771.9301 | (F): 216.771.9791 | (W): www.addkinc.com





2019 Fall

**SITE CONTEXT MAP / EXISTING CONDITIONS**  
SCALE: 1" = 30'-0"



PRELIMINARY  
NOT FOR CONSTRUCTION

ARCHITECTURE OFFICE - DAVID KREBS

**KALINA HOUSE**

PROJECT TITLE:

PROJECT:

2041, 2045, 2049, 2055 E. 79TH ST.  
CLEVELAND, OH 44103

ISSUE DATE:

DESIGN REVIEW 05.28.2021

AUTHORIZATION:

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JOB NO.:

19.97

SHEET NO.:

A

11.2

CONTEXT MAP / EXISTING CONDITIONS

**a1.2**

11.2





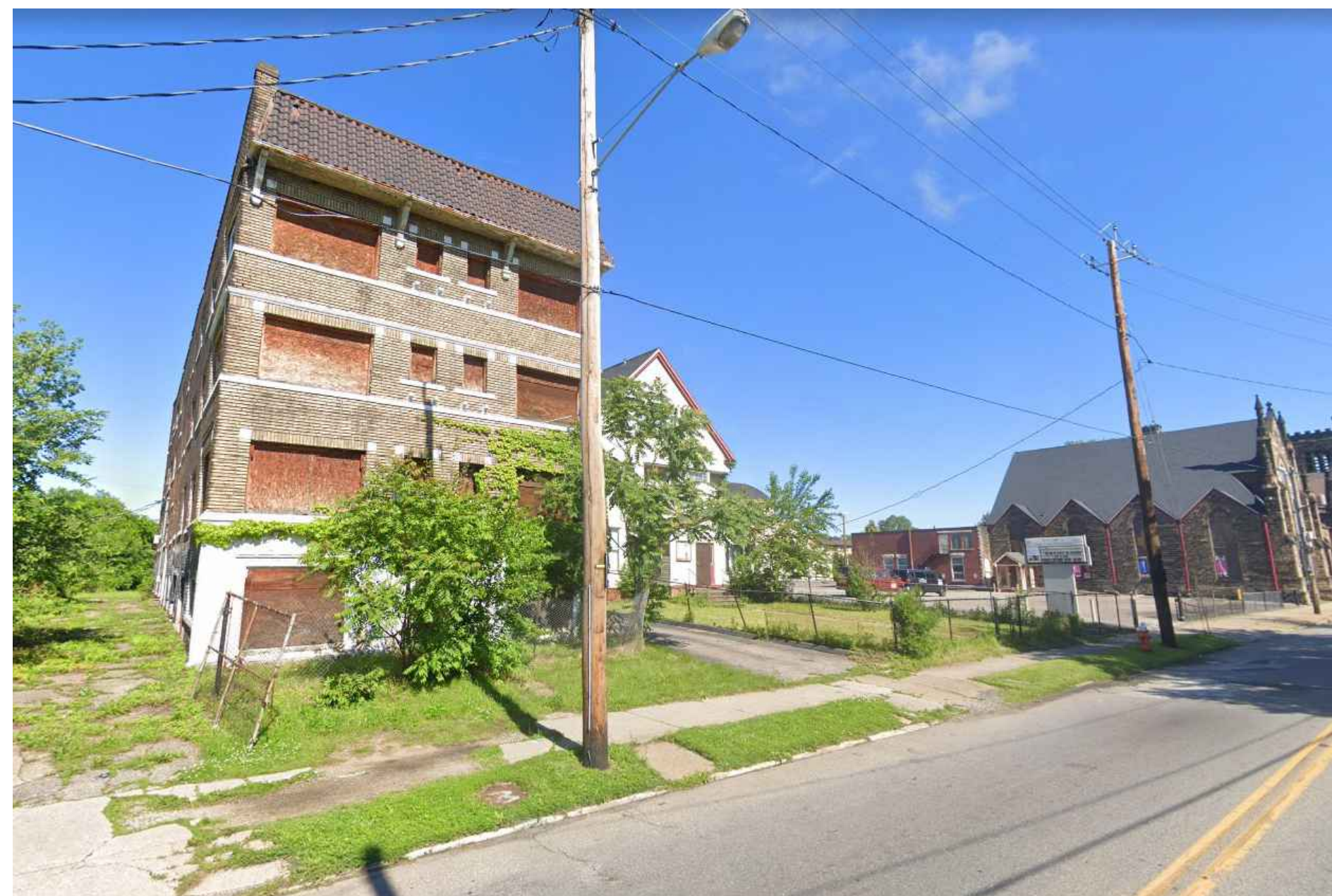
VIEW TOWARDS SOUTHEAST



VIEW TOWARDS EAST



VIEW TOWARDS NORTHEAST



VIEW TOWARDS NORTHWEST



VIEW TOWARDS WEST



VIEW TOWARDS SOUTHWEST

KALINA HOUSE

PROJECT TITLE:

PROJECT:

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JOB NO.:

19-97

SHEET TITLE:

CONTEXT PHOTOS



10'-0"

10'-0"

10'-0"

10'-0"

0'-100'

0'-200'

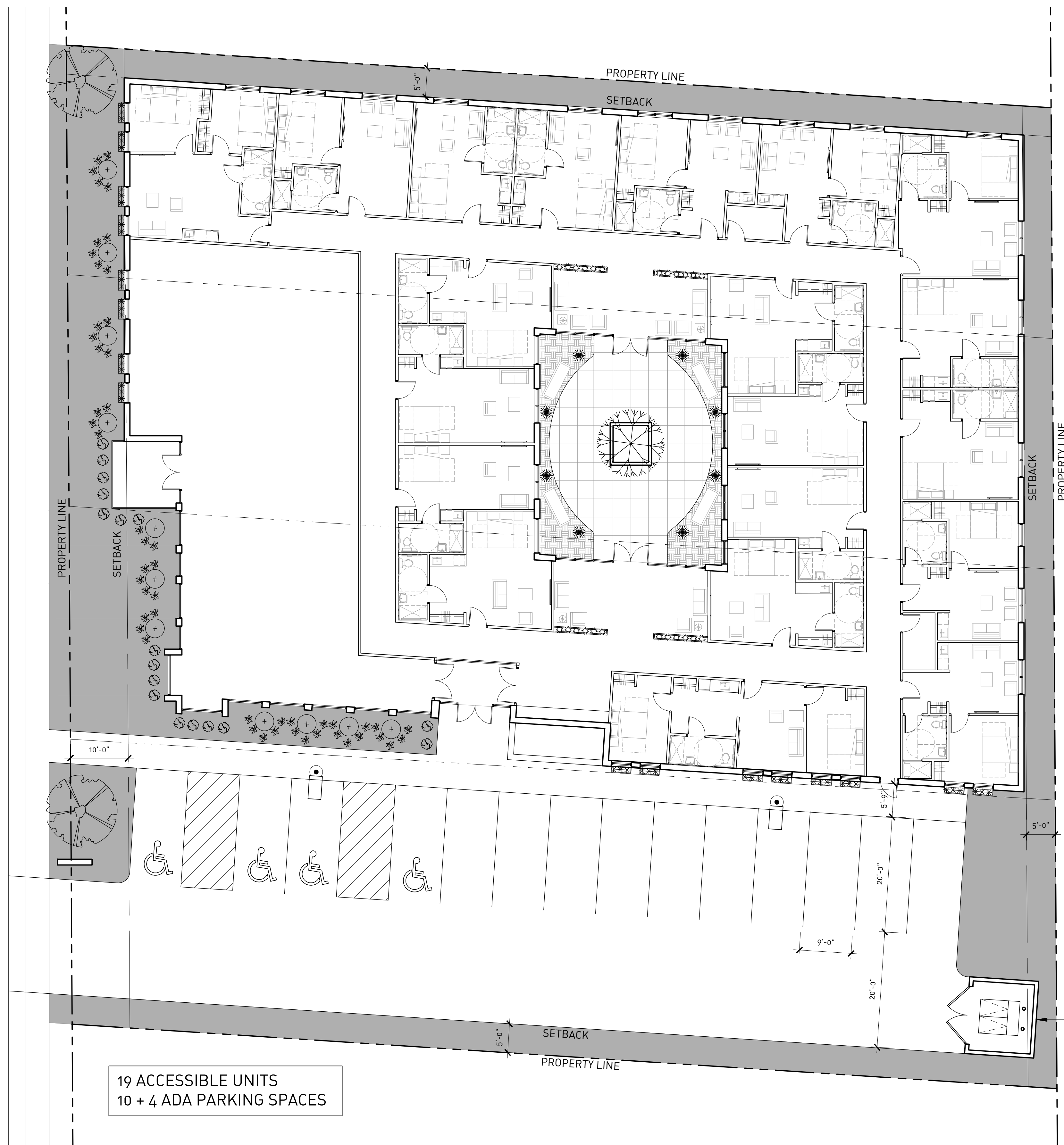
0'-300'

0'-400'

0'-500'

0'-600'

EAST 79TH STREET



19 ACCESSIBLE UNITS  
10 + 4 ADA PARKING SPACES

13'-4" WIDE X 12'-0" DEEP X 6'-0" HIGH SPLIT-FACED BLOCK DUMPSTER ENCLOSURE

A  
a1.4

**PROPOSED SITE PLAN**  
SCALE: 1" = 30'-0"



SHEET NO.: PROJECT TITLE: KALINA HOUSE  
 JOB NO.: 19-97  
 AUTHORIZATION: THESE DRAWINGS, DESIGN, CONCEPT AND INFORMATION ARE THE EXCLUSIVE PROPERTY OF ADDK, INC. THEY ARE FOR CONSTRUCTION ONLY AT THE SITE INDICATED. UNAUTHORIZED USE, ALTERATION OR REPRODUCTION OF THE DOCUMENTS AND DESIGN IS PROHIBITED WITHOUT WRITTEN PERMISSION FROM ADDK, INC.  
 ISSUED DATE: 05.28.2021  
 ARCHITECTURE OFFICE: DAVID KREBS  
 ADDK, INC. (A: 14284, Dorech Avenue, Lakewood, OH 44139) (P: 216.771.9301 (F: 216.771.7971) (W: www.addkinc.com)



PRELIMINARY  
NOT FOR CONSTRUCTION

**KALINA HOUSE**

2041, 2045, 2049, 2055 E. 79TH ST.  
CLEVELAND, OH 44103

DESIGN REVIEW	05.28.2021

PROPOSED SITE PLAN  
**a1.4**





1  
a1.5 **SOUTHEAST**  
SCALE: N.T.S.



2  
a1.5 **EAST ENTRANCE**  
SCALE: N.T.S.



4  
a1.5 **PERSPECTIVE**  
SCALE: N.T.S.



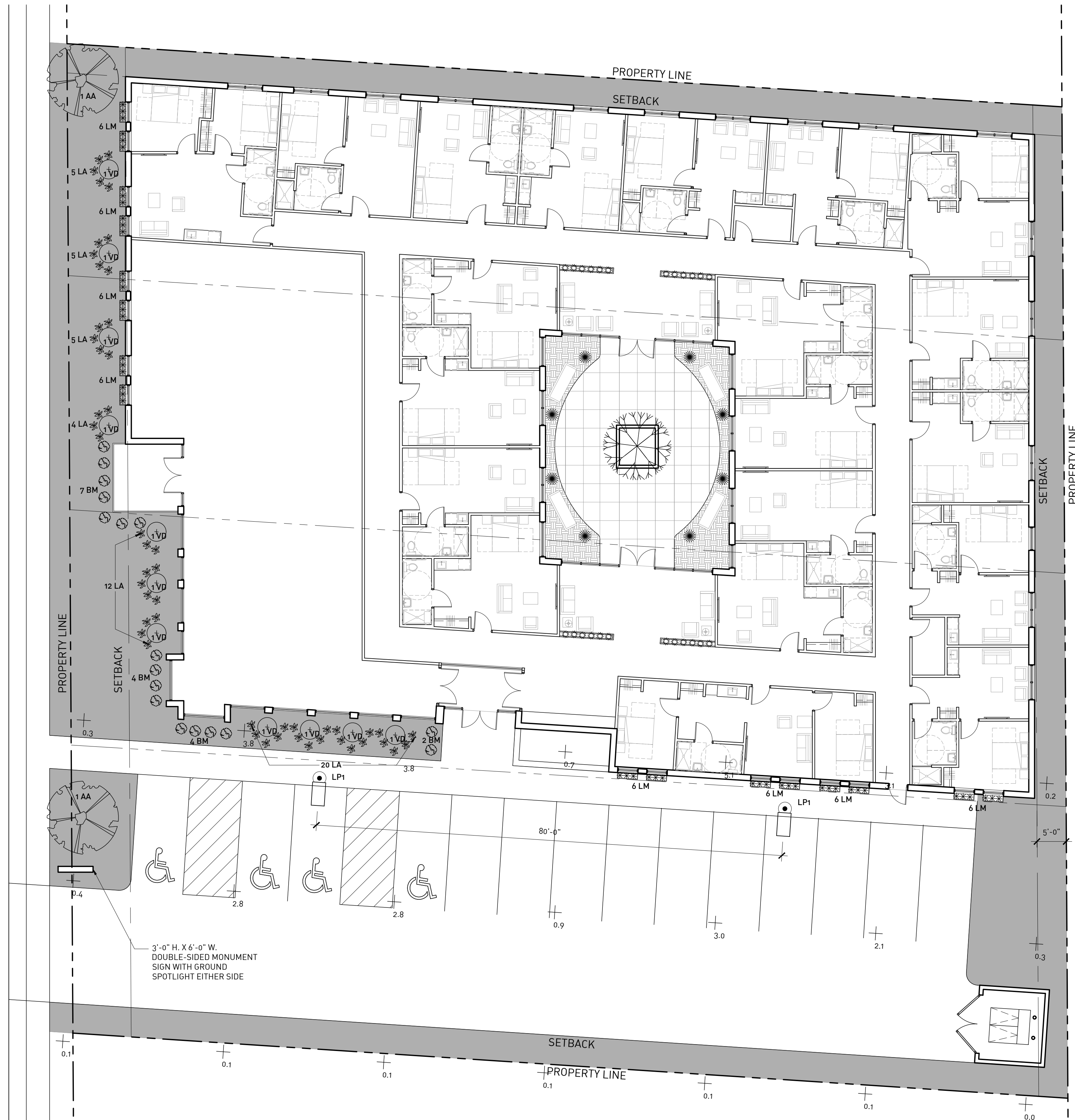
3  
a1.5 **SOUTH ELEVATION**  
SCALE: N.T.S.



5  
a1.5 **EAST ELEVATION**  
SCALE: N.T.S.



EAST 79TH STREET



**PLANT LIST**

QTY	SYM	BOTANIC NAME	COMMON NAME	SIZE/REMARKS
<b>CANOPY TREES</b>				
2	AA	ACER FREEMANII AUTUMN BLAZE	AUTUMN BLAZE MAPLE	2 1/2" CAL. B&B
<b>DECIDUOUS &amp; EVERGREEN SHRUBS</b>				
11	VD	VIBURNUM DENTATUM	ARROWOOD VIBURNUM	5' HT. B&B
17	BM	BUXUS MICROPHYLLA VAR KOREANA X BUXUS SEMPERVIRENS	GREEN VELVET BOXWOOD	30" HT.
<b>PERENNIALS &amp; GROUNDCOVER</b>				
48	LM	LIRIOPE M. VARIEGATA	VARIEGATED LILY TURF	#1 CONT.
51	LA	ELYMUS ARENARIUS 'BLUE DUNE'	BLUE DUNE LYME GRASS	#2 CONT.

**LIGHTING SCHEDULE**

QTY	SYM	MANUFACTURER	WATTAGE	NOTES
2	LP1	E-CONLIGHT E-APE09A-5340-U3Z HEAD ON 12" DARK BRONZE LIGHT POLE SINGLE HEAD	150-WATT LED 4000K COLOR TEMPERATURE	100% CUT-OFF

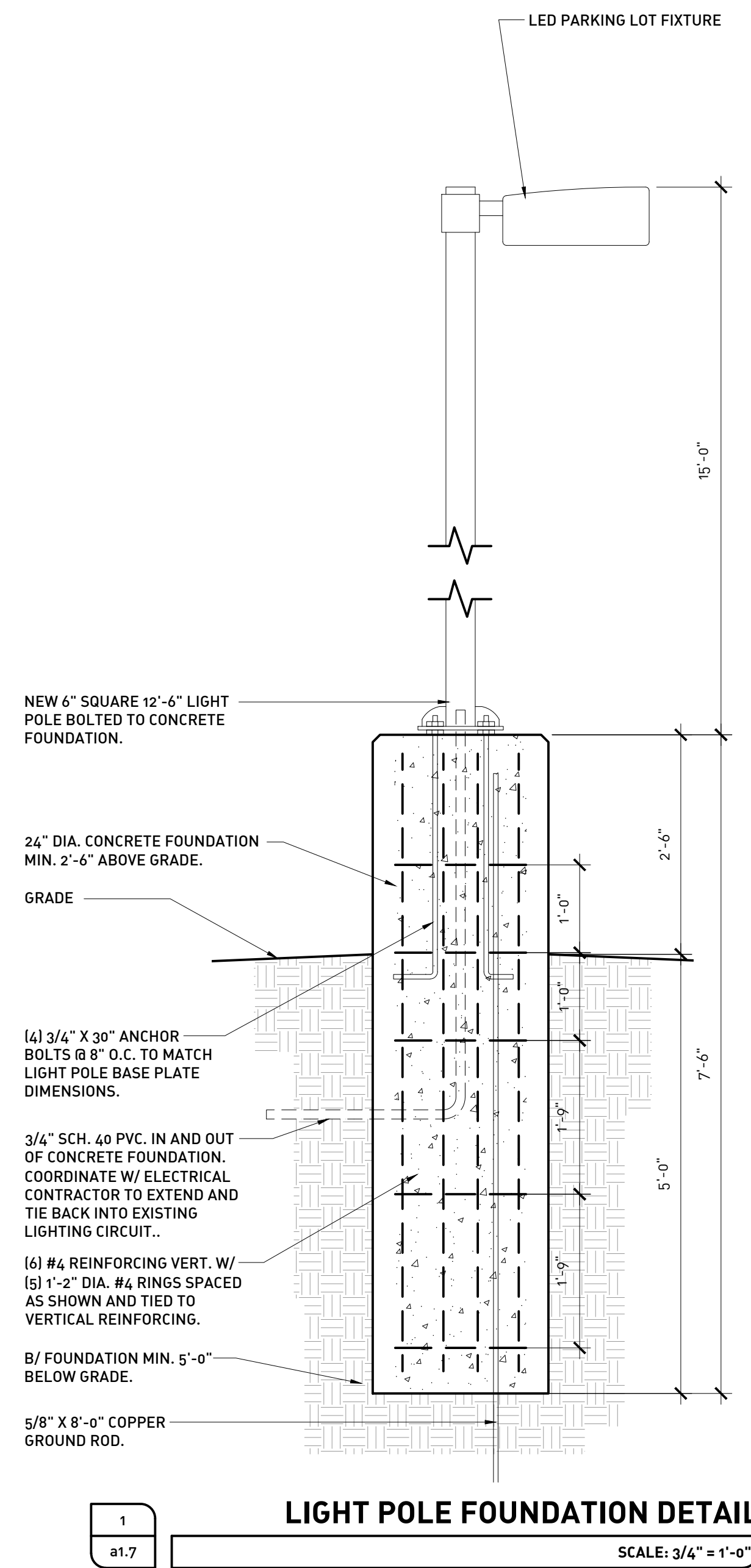
POLE AND FIXTURE EPA MEETS 140 MPH SUSTAINED WINDS

**SIGNAGE, LIGHTING, AND LANDSCAPE PLAN**  
 SCALE: 1" = 30'-0"  
 NORTH





LP1 / LP2 / LP2L / LP3 - 20' HIGH POLE



LA - BLUE DUNE LIME GRASS



VD - ARROWOOD VIBURNUM



LM - VARIEGATED LILY TURF



BM - GREEN VELVET BOXWOOD



AA - AUTUMN BLAZE MAPLE



# Cleveland City Planning Commission

## DRAC New Member Nominations

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June 18, 2021



# Southeast Design Review New Member Nomination

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June 18, 2021



**1- Eugene Cranford, Jr., GCRTA**

**2- Lester Cumberlander, City of Cleveland**



# Cleveland City Planning Commission

## Director's Report

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June 18, 2021



# Cleveland City Planning Commission

## Adjournment

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June 18, 2021