



Cleveland City Planning Commission

Friday, April 1, 2022

**** PLEASE MUTE YOUR MICROPHONE ****

Lillian Kuri, Commission Chair

Joyce Pan Huang, Director

Michael Bosak, Administrator

Cleveland City Planning Commission

Preamble

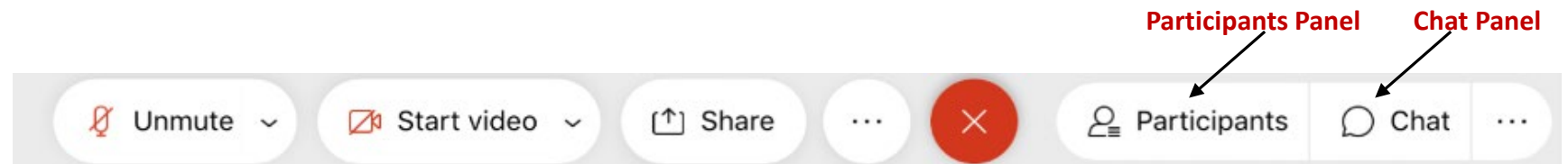
IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW AND SECTION 101.021 OF THE CODIFIED ORDINANCES OF CLEVELAND, OHIO, 1976, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAS THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.

CALL-IN USERS CAN UNMUTE BY USING *6



April 1, 2022

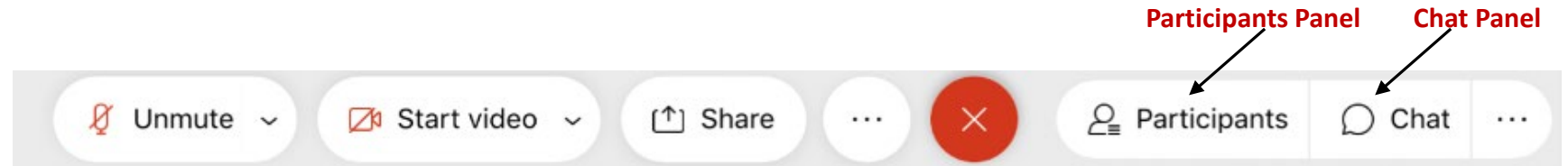
Cleveland City Planning Commission

Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**ALL REQUESTS TO SPEAK ON A PARTICULAR MATTER VIA OUR WEBSITE AND EMAIL
HAVE BEEN CONSIDERED.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN
COMMENT ON A PARTICULAR MATTER.**



April 1, 2022

Cleveland City Planning Commission

Call to Order and Roll Call



April 1, 2022

Cleveland City Planning Commission

Mandatory Referrals



April 1, 2022



April 1, 2022

Ordinance No. 278-2022 (Ward 4/Councilmember Gray; by departmental request):
Authorizing the Mayor and Commissioner of Purchases and Supplies to sell City-owned properties no longer needed for the City's public use located on various sites on Buckeye Road and Wamelink Avenue to the Cuyahoga Metropolitan Housing Authority, needed for Phase I of their Woodhill Choice project, known as Woodhill Station West Homes.



CHOICE NEIGHBORHOODS IMPLEMENTATION GRANT
BUCKEYE WOODHILL CHOICE



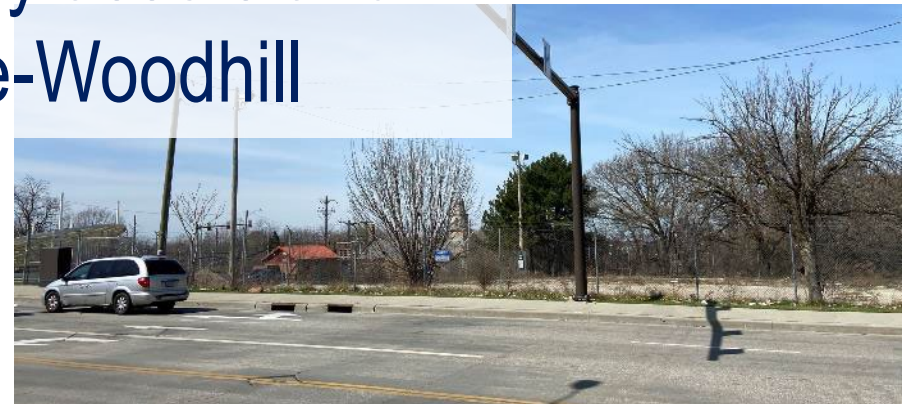
EXISTING WOODHILL HOMES ESTATE AND CONTEXT

A TRANSFORMATION PLAN

Ambitious in scale and schedule to catalyze neighborhood-wide transformation

Grounded in demonstrated resident needs, market demand, and financial feasibility

Opportunistic in connecting to nearby assets and building upon those within Buckeye-Woodhill



HOUSING STRATEGY



HOUSING STRATEGY: SIX PHASES, TWO DISTINCT IDENTITIES

HIE Program Overview

- 638 rental units by HIE
- 6 development phases
 - 3 offsite
 - 3 on Target Housing site
- 2 “places”





HOUSING STRATEGY: WOODHILL STATION

Development Objectives

- Transit oriented character and density at RTA hub and along major bus lines
- Catalytic new construction with great design in highly visible location
- Completion of 90+ units of Replacement Housing early in CNI plan
- Meaningful mix of incomes and uses within development site

	Phase 1 Woodhill Station West	Phase 3 Woodhill Station East
RAD/LIHTC	90	15
LIHTC	30	34
81-120%		5
Market		15
Total	120	69





STEINWAY AVE

WAMELINK AVE

WOODHILL ROAD

BUCKEYE ROAD

SIGNALLED INTERSECTION

BLER ST

RTA STATION

Phase 1
Woodhill Station West

FUTURE
PARKING
(43 SPACES)

Phase 3
Woodhill Station East

PARKING
(25 SPACES)

PARKING
(15 SPACES)

PARKING
(23 SPACES)

SURFACE
DETENTION
AREA

TRASH
ENCLOSURE

ENTRANCE

MAIN
ENTRY

DROP
OFF

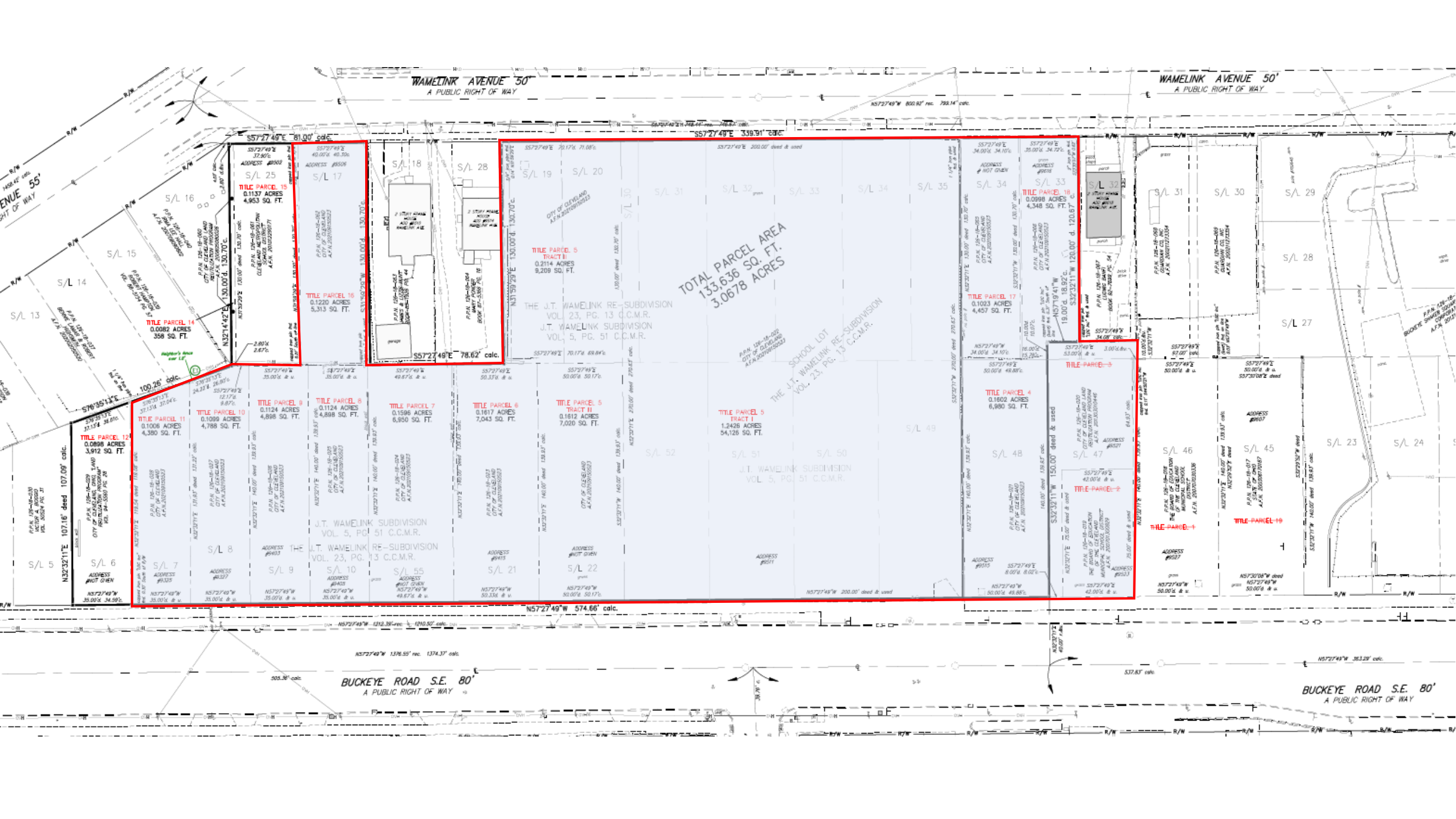
COVERED
PICNIC

PLAYGROUND

PATIO

FUTURE
PATIO

ROOF
DECK



WAMELINK AVENUE 50'
A PUBLIC RIGHT OF WAY

WAMELINK AVENUE 50'
A PUBLIC RIGHT OF WAY

TOTAL PARCEL AREA
133.636 SQ. FT.
3.0678 ACRES

THE J.T. WAMELINK RE-SUBDIVISION
VOL. 23, PG. 13 C.C.M.R.
J.T. WAMELINK SUBDIVISION
VOL. 5, PG. 51 C.C.M.R.

SCHOOL LOT
THE J.T. WAMELINK RE-SUBDIVISION
VOL. 23, PG. 13 C.C.M.R.

BUCKEYE ROAD S.E. 80'
A PUBLIC RIGHT OF WAY

BUCKEYE ROAD S.E. 80'
A PUBLIC RIGHT OF WAY

S/L 25
TITLE PARCEL 15
0.1137 ACRES
4,953 SQ. FT.

S/L 17
TITLE PARCEL 16
0.1220 ACRES
5,313 SQ. FT.

S/L 18
S/L 28
TITLE PARCEL 5 TRACT I
0.2314 ACRES
9,209 SQ. FT.

S/L 19
S/L 20
TITLE PARCEL 5 TRACT II
0.1612 ACRES
7,020 SQ. FT.

S/L 31
S/L 32
S/L 33
S/L 34
S/L 35
TITLE PARCEL 4
0.1602 ACRES
6,980 SQ. FT.

S/L 36
S/L 37
S/L 38
S/L 39
S/L 40
TITLE PARCEL 7
0.1596 ACRES
6,950 SQ. FT.

S/L 41
S/L 42
S/L 43
S/L 44
S/L 45
TITLE PARCEL 8
0.1124 ACRES
4,898 SQ. FT.

S/L 46
S/L 47
S/L 48
S/L 49
S/L 50
TITLE PARCEL 9
0.1124 ACRES
4,898 SQ. FT.

S/L 51
S/L 52
S/L 53
S/L 54
S/L 55
TITLE PARCEL 10
0.1009 ACRES
4,376 SQ. FT.

S/L 56
S/L 57
S/L 58
S/L 59
S/L 60
TITLE PARCEL 11
0.1006 ACRES
4,380 SQ. FT.

S/L 61
S/L 62
S/L 63
S/L 64
S/L 65
TITLE PARCEL 12
0.0888 ACRES
3,912 SQ. FT.

S/L 14
TITLE PARCEL 14
0.0082 ACRES
358 SQ. FT.

S/L 15
TITLE PARCEL 10
0.1124 ACRES
4,898 SQ. FT.

S/L 16
TITLE PARCEL 9
0.1124 ACRES
4,898 SQ. FT.

S/L 17
TITLE PARCEL 8
0.1124 ACRES
4,898 SQ. FT.

S/L 18
TITLE PARCEL 7
0.1596 ACRES
6,950 SQ. FT.

S/L 19
TITLE PARCEL 6
0.1617 ACRES
7,043 SQ. FT.

S/L 20
TITLE PARCEL 5 TRACT I
0.1612 ACRES
7,020 SQ. FT.

S/L 21
TITLE PARCEL 5 TRACT II
1.2426 ACRES
54,126 SQ. FT.

S/L 22
TITLE PARCEL 4
0.1602 ACRES
6,980 SQ. FT.

S/L 23
TITLE PARCEL 3
0.1124 ACRES
4,898 SQ. FT.

S/L 24
TITLE PARCEL 2
0.1124 ACRES
4,898 SQ. FT.

S/L 25
TITLE PARCEL 15
0.1137 ACRES
4,953 SQ. FT.

S/L 26
TITLE PARCEL 16
0.1220 ACRES
5,313 SQ. FT.

S/L 27
TITLE PARCEL 17
0.1023 ACRES
4,457 SQ. FT.

S/L 28
TITLE PARCEL 18
0.0998 ACRES
4,348 SQ. FT.

S/L 29
TITLE PARCEL 19
0.1023 ACRES
4,457 SQ. FT.

S/L 30
TITLE PARCEL 10
0.1124 ACRES
4,898 SQ. FT.

S/L 31
TITLE PARCEL 9
0.1124 ACRES
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S/L 32
TITLE PARCEL 8
0.1124 ACRES
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S/L 33
TITLE PARCEL 7
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TITLE PARCEL 6
0.1617 ACRES
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S/L 35
TITLE PARCEL 5 TRACT I
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TITLE PARCEL 2
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4,898 SQ. FT.

S/L 40
TITLE PARCEL 1
0.1124 ACRES
4,898 SQ. FT.

S/L 41
TITLE PARCEL 10
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S/L 42
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S/L 43
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S/L 44
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S/L 45
TITLE PARCEL 6
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S/L 46
TITLE PARCEL 5 TRACT I
0.1612 ACRES
7,020 SQ. FT.

S/L 47
TITLE PARCEL 5 TRACT II
1.2426 ACRES
54,126 SQ. FT.

S/L 48
TITLE PARCEL 4
0.1602 ACRES
6,980 SQ. FT.

S/L 49
TITLE PARCEL 3
0.1124 ACRES
4,898 SQ. FT.

S/L 50
TITLE PARCEL 2
0.1124 ACRES
4,898 SQ. FT.

S/L 51
TITLE PARCEL 1
0.1124 ACRES
4,898 SQ. FT.

S/L 52
TITLE PARCEL 10
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4,898 SQ. FT.

S/L 53
TITLE PARCEL 9
0.1124 ACRES
4,898 SQ. FT.

S/L 54
TITLE PARCEL 8
0.1124 ACRES
4,898 SQ. FT.

S/L 55
TITLE PARCEL 7
0.1596 ACRES
6,950 SQ. FT.

S/L 56
TITLE PARCEL 6
0.1617 ACRES
7,043 SQ. FT.

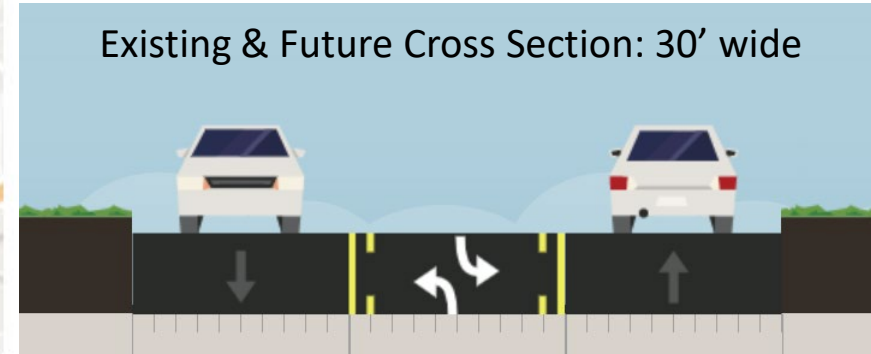
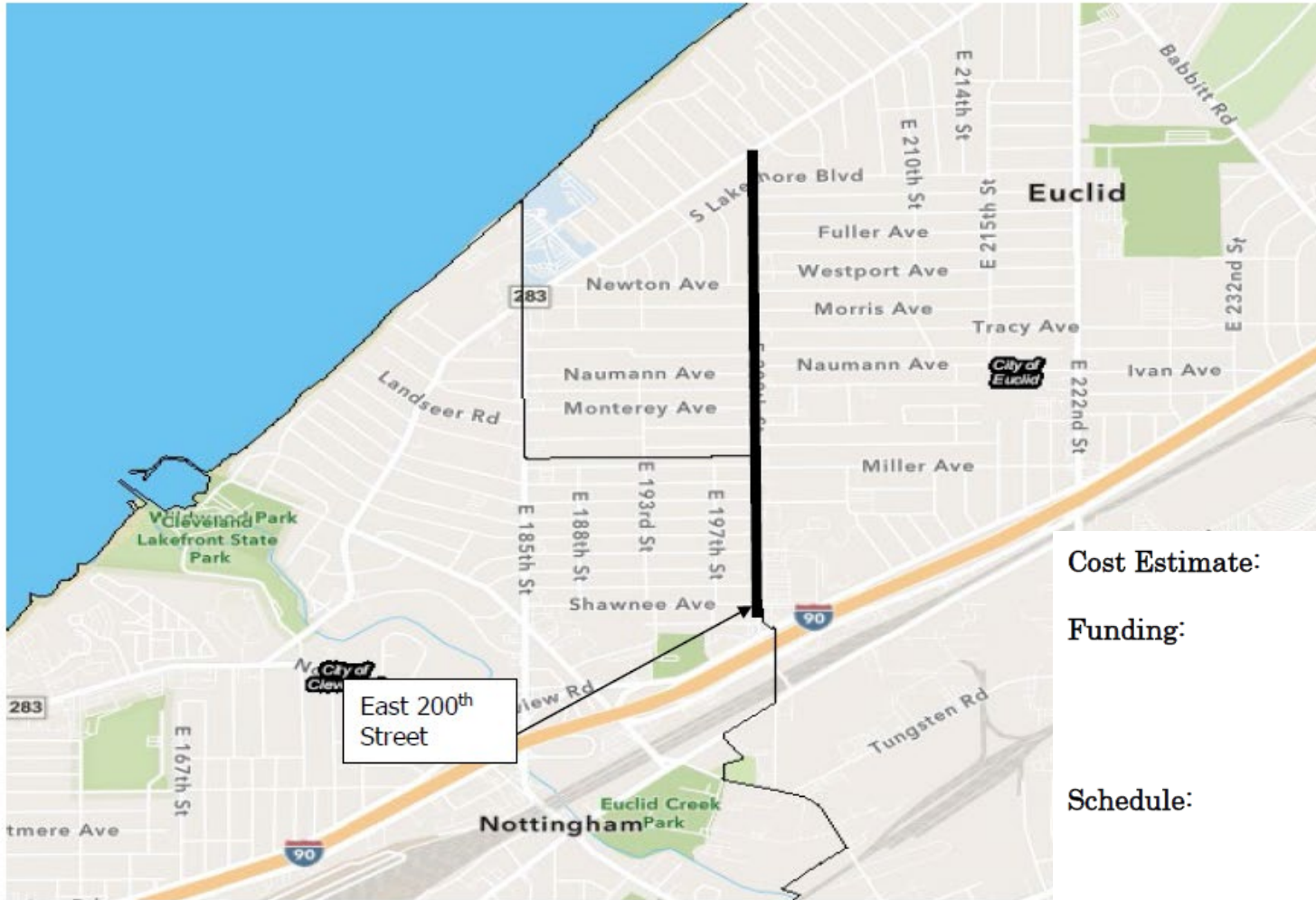
S/L 57
TITLE PARCEL 5 TRACT I
0.1612 ACRES
7,020 SQ. FT.



April 1, 2022

Ordinance No. 305-2022 (Ward 8/Councilmember Polensek; by departmental request):
Giving consent of the City of Cleveland to the County of Cuyahoga for the resurfacing of East 200th Street from Mohican Avenue to Lakeshore Boulevard; to apply for and accept an allocation of County Motor Vehicle License Tax Funds for the improvement; authorizing the Director of Capital Projects to enter into any relative agreements; and causing payment to the County for the City's share of the improvement.

Resurfacing of East 200th Street: Mohican Avenue to Lakeshore Blvd.



Cost Estimate:

\$1,840,000

Funding:

- \$1,060,000 – Federal
- \$350,000 – County Motor Vehicle License Tax Fund
- \$ 65,000 – Cleveland General Obligation Bonds
- \$317,000 – City of Euclid

Schedule:

- Design – October 2022 to December 2023
- Bid/Award – January 2024 to June 2024
- Construction – July 2024 to October 2024

Ord. No. 305-2022 (East 200th Street)

Project Summary

- Sponsor: Cuyahoga County
- Primary Goal: Improve pavement conditions on County Roads (County Annual Resurfacing Program)
- Location: E. 200th Street; from Mohican Avenue to Lakeshore Blvd.
 - 1.3 miles total (0.44 miles is along the City of Cleveland border)
- City Funding: approximately \$65,000
- Details:
 - County will lead project design and construction
 - County will contribute 50% of construction local match and 60% of design costs for the portion of the project within Cleveland
 - Project includes base repair, resurfacing, and addition of ADA-compliant curb ramps
 - Existing roadway configuration (pavement markings) will be replaced
 - Roadway is not identified in the Bikeway Master Plan



April 1, 2022

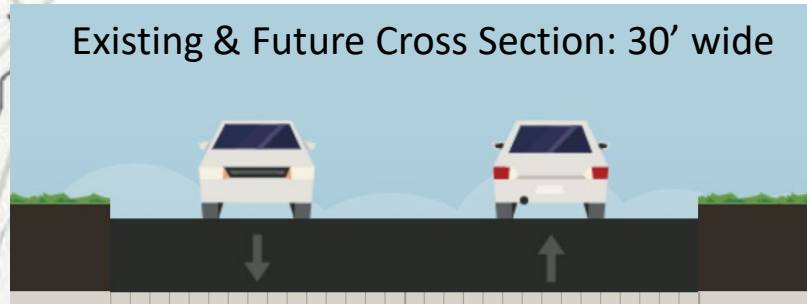
Ordinance No. 306-2022 (Ward 12/Councilmember Maurer; by departmental request): Giving consent of the City of Cleveland to the County of Cuyahoga for the resurfacing of Grant Avenue from East 49th Street to East 71st Street; authorizing the Director of Capital Projects to enter into agreements; to apply for and accept an allocation of County Motor Vehicle License Tax Funds; and to cause payment to the County for the City's share of the improvement.

Resurfacing of Grant Avenue: East 49th Street to East 71st Street



Grant Avenue

City of Cleveland



Cost Estimate:	\$1,160,000
Funding:	\$500,000 – Federal \$335,000 – County Motor Vehicle License Tax Fund \$ 36,000 – Cleveland General Obligation Bonds \$289,000 – Village of Cuyahoga Heights
Schedule:	Design – October 2022 to December 2023 Bid/Award – January 2024 to June 2024 Construction – July 2024 to October 2024

Ord. No. 306-2022 (Grant Avenue)

Project Summary

- Sponsor: Cuyahoga County
- Primary Goal: Improve pavement conditions on County Roads (County Annual Resurfacing Program)
- Location: Grant Avenue; from E. 49th Street to E. 71st Street
 - 0.88 miles total (0.25 miles is along the City of Cleveland border)
- City Funding: approximately \$36,000
- Details:
 - County will lead project design and construction
 - County will contribute 50% of construction local match and 60% of design costs for the portion of the project within Cleveland
 - Project includes base repair, resurfacing, and addition of ADA-compliant curb ramps
 - Existing roadway configuration (pavement markings) will be replaced
 - Roadway is not identified in the Bikeway Master Plan



April 1, 2022

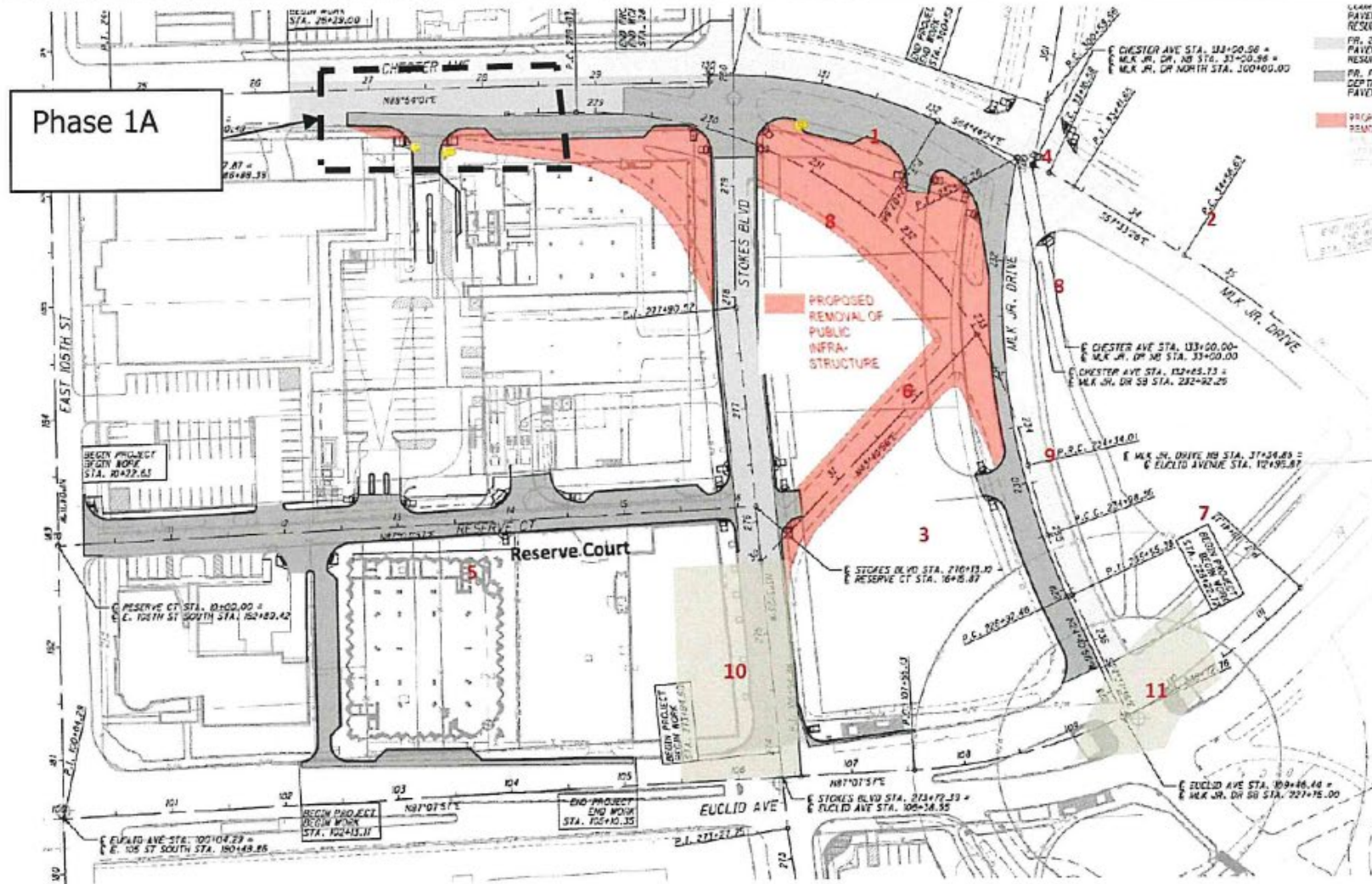
Ordinance No. 309-2022 (Ward 9/Councilmember Conwell; by departmental request):
Authorizing the Director of Capital Projects to apply for and accept state funding for the rehabilitation of portions of Chester, Stokes, and Martin Luther King Jr. Blvd. adjacent to the Circle Square Development; determining the method of making the public improvement; authorizing the Director of Capital Projects to enter into one or more contracts for the construction and design; to accept gifts or grants; authorize other agreements; authorizing the Commissioner of Purchases and Supplies to acquire real property and easements.

Ord. No. 309-2022 (Chester-Stokes-MLK, Jr.)

Project Summary

- Sponsor: City of Cleveland
- Primary Goal: Relayout and reconstruction of public infrastructure supportive of the Circle Square development
- Location: 0.29 miles of Chester Avenue and MLK Jr. Drive from approximately 200-feet east of East 105th Street to Euclid Avenue (US 20), Relayout and reconstruction of 0.11 miles of Reserve Court from East 105th Street to Stokes Boulevard and Resurfacing of 0.12 miles of Stokes Boulevard from Euclid Avenue to Chester Avenue.
- Details: Full and partial depth pavement replacement, milling of existing asphalt and replacement, construction of drainage elements, utility casting adjustments, ADA Compliant Ramps, landings, sidewalk, streetscape elements and pavement marking and signing

Circle Square Infrastructure: Chester-Stokes-Martin Luther King Jr. Blvd. Location Map

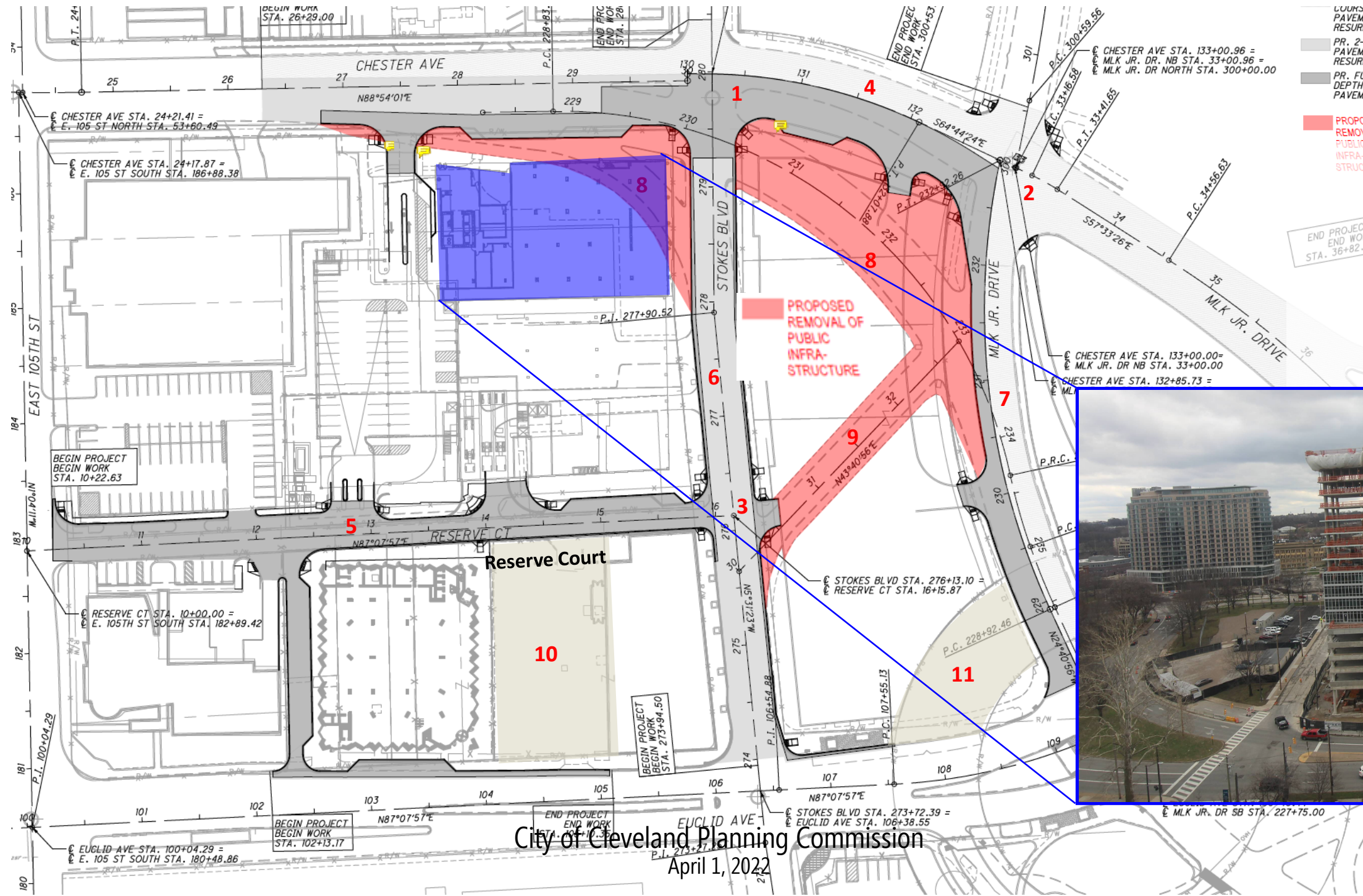


Calmer streets, less pavement, wider sidewalks, safer for everyone

Site Plan with Public Streets, Intersections, and Right of Way Improvements







Infrastructure Improvements

- Intersections**
- Chester/Stokes
 - Chester/MLK
 - Stokes/Reserve Court



Calmer streets, less pavement, wider sidewalks, safer for everyone

Site Plan with Public Streets, Intersections, and Right of Way Improvements



April 1, 2022

STREETS IDENTITY - "BIG IDEAS"



CHESTER / EUCLID



THE GARDEN



THE PROMENADE



THE SHARED STREET



THE TERRACES



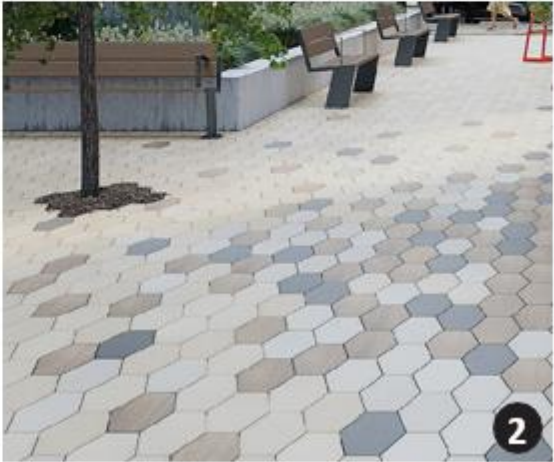
THE PARKWAY



CHESTER AVENUE - MATERIALITY

LEGEND

- 1 Integral Colored Concrete
- 2 Specialty Paver "Rug" -- Corners
- 3 Crosswalk



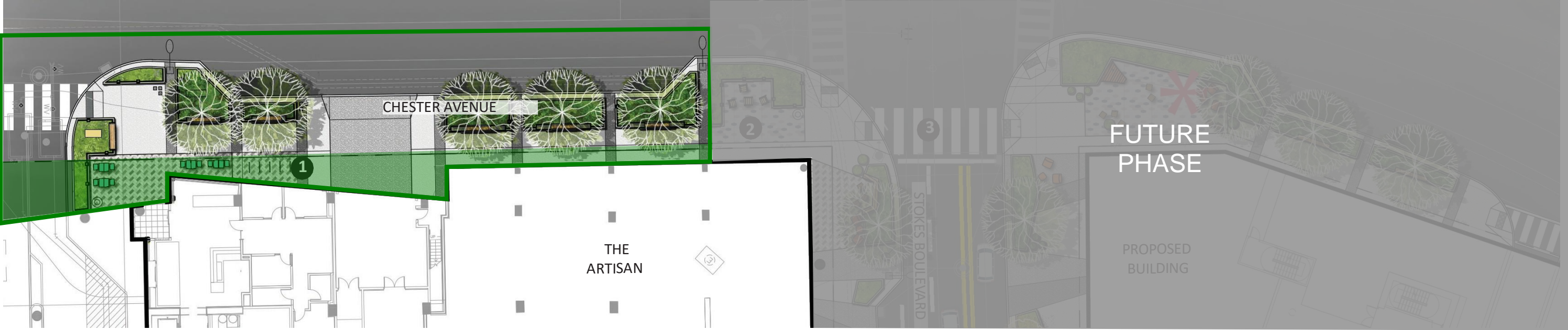
CHESTER AVENUE - MATERIALITY

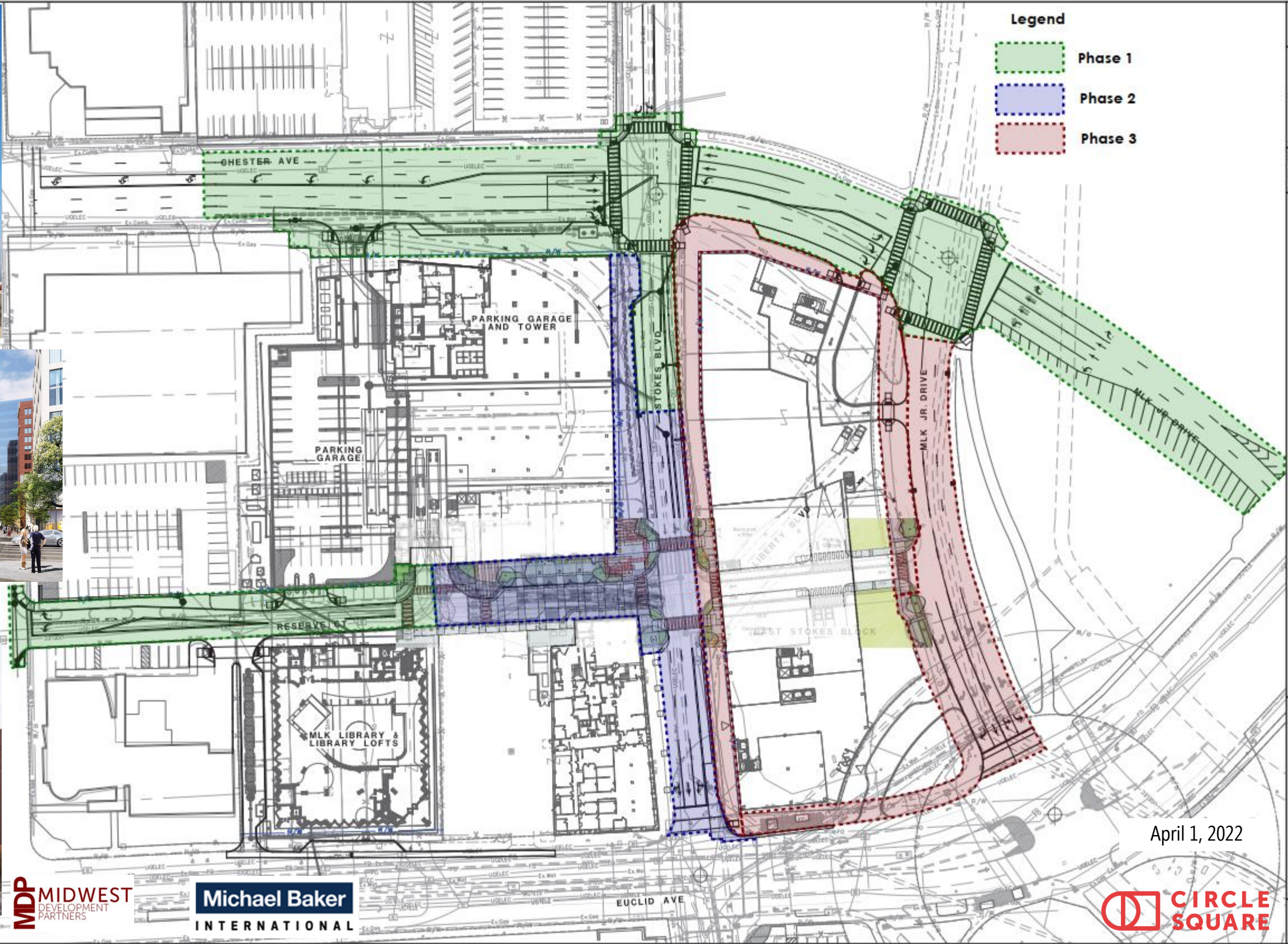
LEGEND

- 1 Integral Colored Concrete
- 2 Specialty Paver "Rug" -- Corners
- 3 Crosswalk



PHASE 1A
Construction Fall 2022



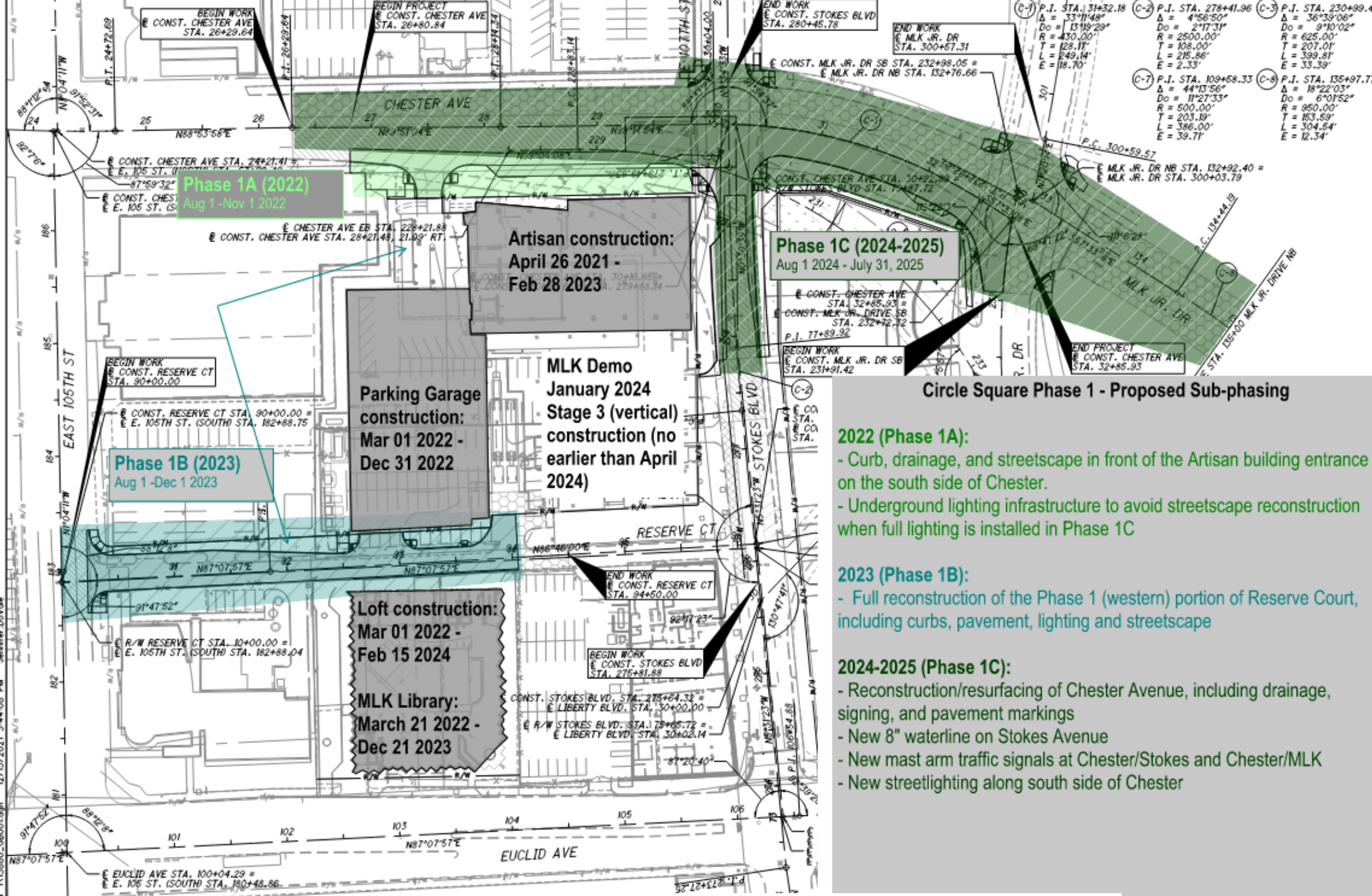


MDP MIDWEST
DEVELOPMENT
PARTNERS

Michael Baker
INTERNATIONAL

CIRCLE SQUARE

CALCULATED: JLD, CHECKED: DAB
HORIZONTAL SCALE IN FEET
0 40 80
N
PROJECT PHASING PLAN
CIRCLE SQUARE



- 2022 (Phase 1A):**
- Curb, drainage, and streetscape in front of the Artisan building entrance on the south side of Chester.
 - Underground lighting infrastructure to avoid streetscape reconstruction when full lighting is installed in Phase 1C
- 2023 (Phase 1B):**
- Full reconstruction of the Phase 1 (western) portion of Reserve Court, including curbs, pavement, lighting and streetscape
- 2024-2025 (Phase 1C):**
- Reconstruction/resurfacing of Chester Avenue, including drainage, signing, and pavement markings
 - New 8" waterline on Stokes Avenue
 - New mast arm traffic signals at Chester/Stokes and Chester/MLK
 - New streetlighting along south side of Chester





Cleveland City Planning Commission

Administrative Approvals



April 1, 2022

Administrative Approvals

April 1, 2022



Ordinance No. 268-2022 (Ward 9/Councilmember Conwell; by departmental request): Authorizing the Director of Public Works to execute a Joint Use Agreement, and other required documents to permit the Friends of Carpatho-Rusyn Cultural Garden of Cleveland to construct improvements at the Carpatho-Rusyn Garden aka Rusin Gardin and to accept funding from Ohio Department of Natural Resources for this purpose.



Ordinance No. 272-2022 (Newburg Heights and Westlake, Ohio; by departmental request):
Determining the method of making the public improvement of replacing the pavement in the employee parking lot and the heavy duty driveway at the Harvard Maintenance and Service Facility and replacing the pavement off the heavy duty driveway at Crown Water Treatment Plant, and related paved areas at those sites; and authorizing the Director of Public Utilities to enter into one or more public improvement contracts for the making of the improvement.



Ordinance No. 273-2022 (Beachwood, Ohio; by departmental request): Determining the method of making the public improvement of rehabilitating the Kinsman Water Tower, including but not limited to, recoating the exterior of the Kinsman Water Tower and making other related site improvements; and authorizing the Director of Public Utilities to enter into one or more public improvement contracts for the making of the improvement.



Ordinance No. 274-2022 (Newburg Heights and Parma, Ohio; by departmental request):
Determining the method of making the public improvement of refurbishing, repairing, or replacing building windows at various Harvard Avenue and Parma buildings; and authorizing the Director of Public Utilities to enter into one or more public improvement contracts for the making of the improvement.



Ordinance No. 275-2022 (Ward 3/Councilmember McCormack; by departmental request):
Determining the method of making the public improvement of removing and replacing three elevators at 1202 Lakeside Avenue; and authorizing the Director of Public Utilities to enter into one or more public improvement contracts for the making of the improvement.



Ordinance No. 282-2022 (Ward 6/Councilmember Griffin):

Changing the Use, Area and Height Districts of parcels of land east of Edgehill Road to the western border of Cleveland Heights. (Map Change 2644)



Ordinance No. 283-2022 (Ward 3/Councilmember McCormack):
Changing the Height District of parcels of land west of Quigley Road between Tremont Park and Clark Avenue. (Map Change 2645)

Cleveland City Planning Commission

Design Review Cases



April 1, 2022

Euclid Corridor Design Review Case



April 1, 2022

EC2022-009 – Proposed Demolition of a 2-Story Apartment Building:
Seeking Final Approval per §341.08 of the Cleveland Codified Ordinances

Project Addresses: 10713-10723 Cedar Avenue

Project Representative: Steve Jennings, LDA Architects

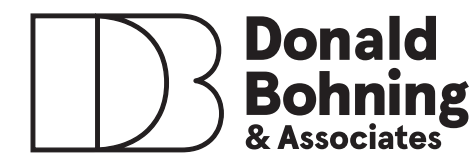
UCI Development | Stokes West

Cleveland, Ohio



EXISTING BUILDING DEMO REVIEW

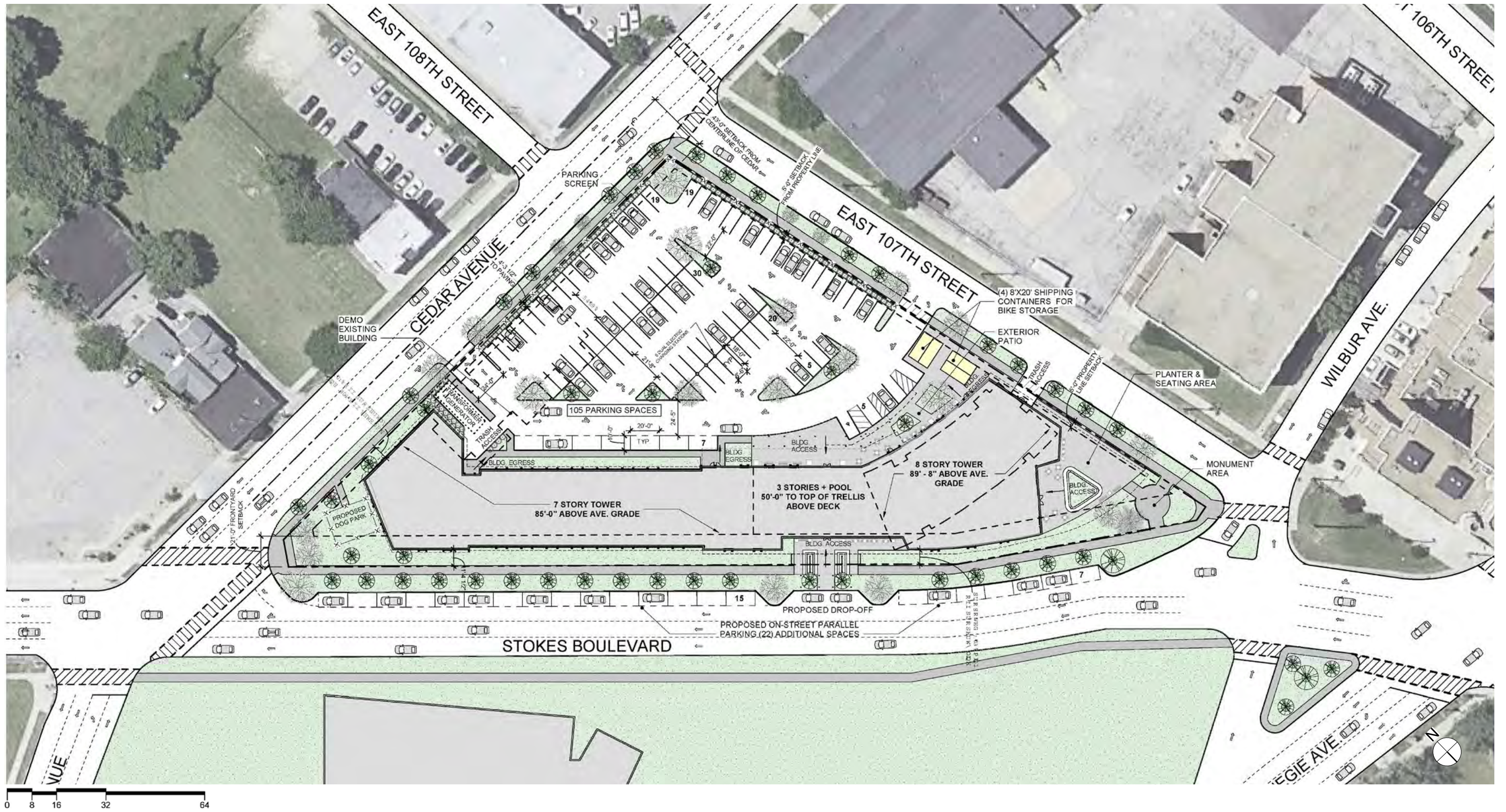
03.31.2022











SITE PLAN | SCALE: 1/64" = 1'-0"



DAMAGED ROOF



EXISTING BUILDING | EXTERIOR





DAMAGED PORCHES



MASONRY TUCKPOINTING / DAMAGED OPENING



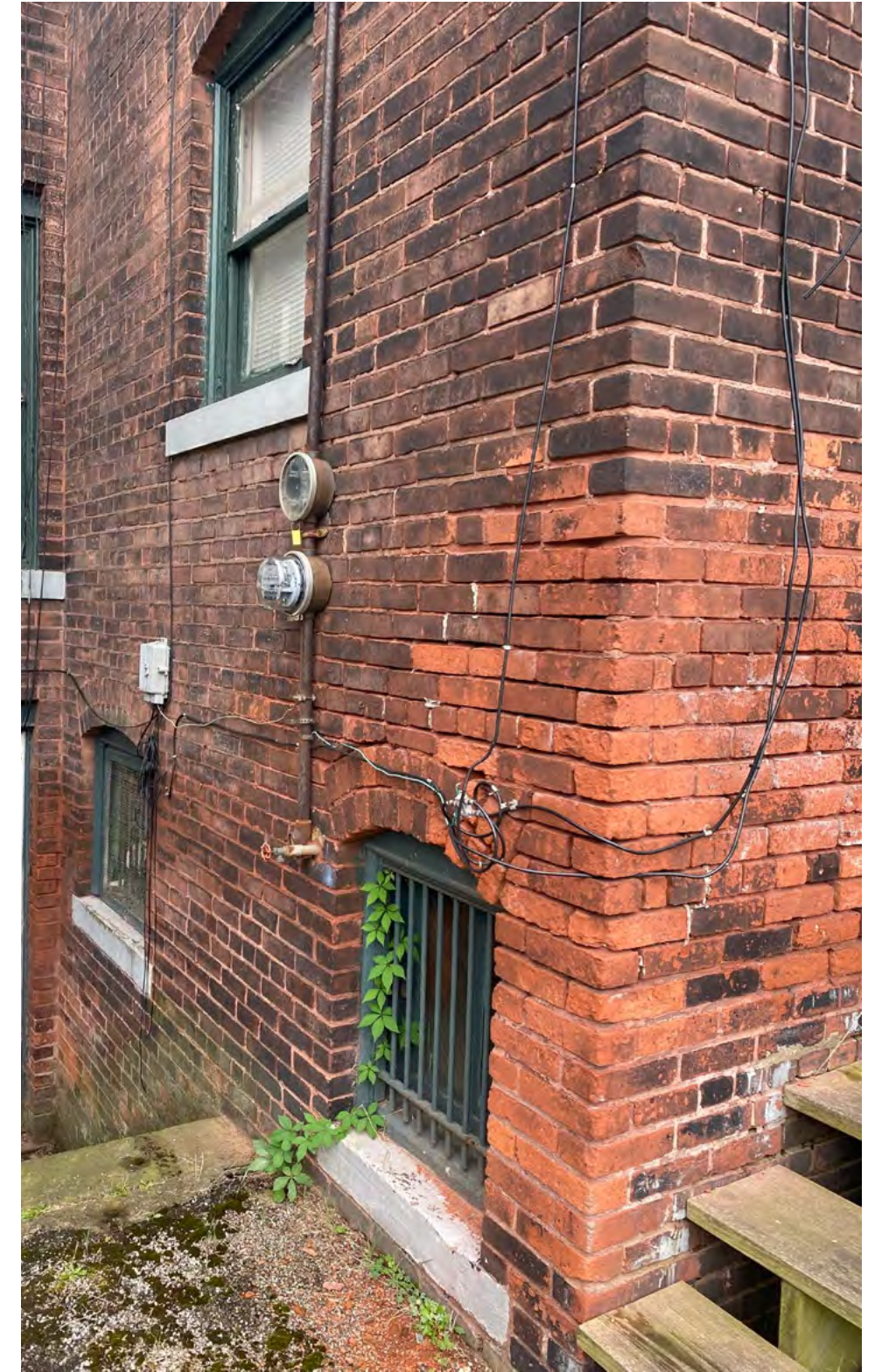
MASONRY TUCKPOINTING / DAMAGED OPENINGS



MASONRY TUCKPOINTING / DAMAGED OPENINGS



MASONRY TUCKPOINTING / DAMAGED OPENINGS



MASONRY TUCKPOINTING / DAMAGED OPENINGS

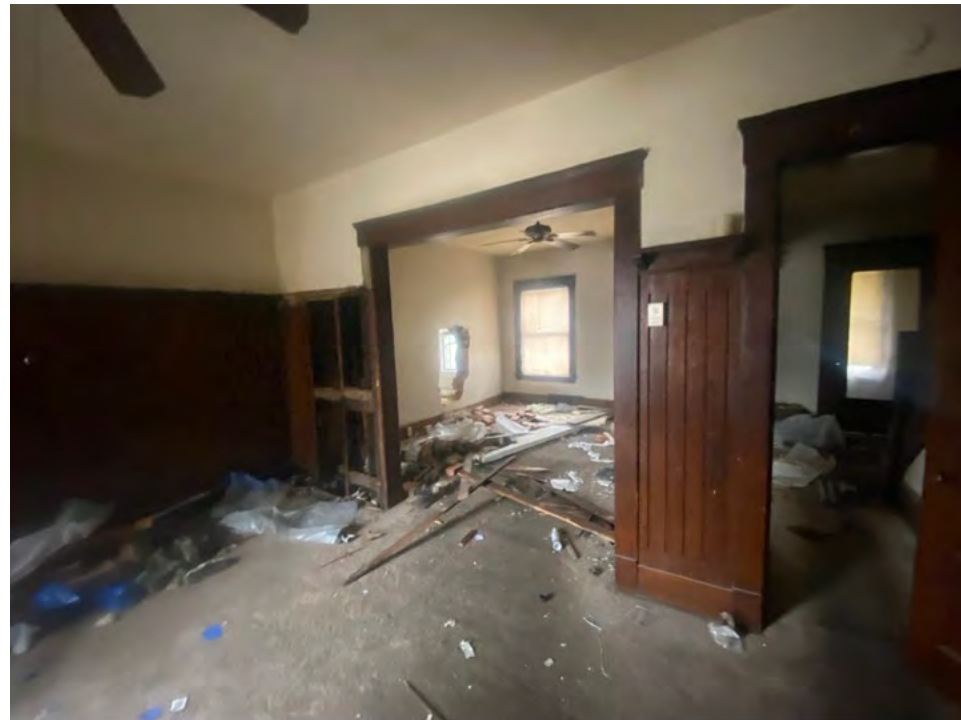
EXISTING BUILDING | EXTERIOR



DAMAGED INTERIOR



DAMAGED INTERIOR / LEAKAGE



DAMAGED INTERIOR / BROKEN WALLS



DAMAGED INTERIOR / BROKEN WALLS



DAMAGED INTERIOR / BROKEN WALLS



DAMAGED INTERIOR / BROKEN WALLS



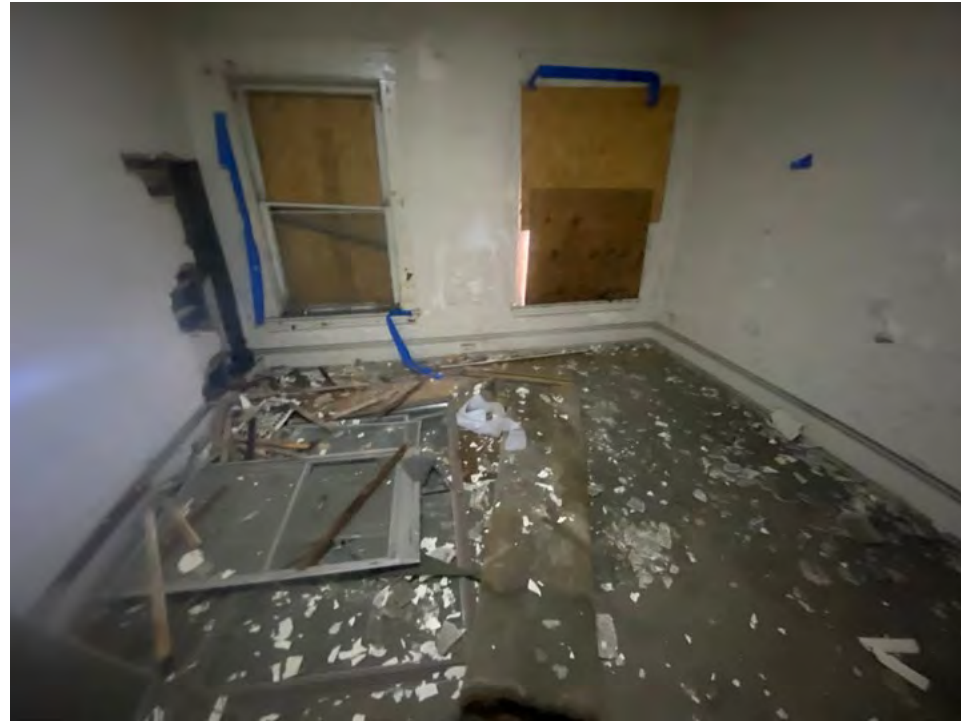
DAMAGED INTERIOR / BROKEN WALLS



DAMAGED INTERIOR / BROKEN WALLS



DAMAGED INTERIOR / FAILING WINDOW OPENINGS



DAMAGED INTERIOR / FAILING WINDOW OPENINGS



DAMAGED INTERIOR / FAILING WINDOW OPENINGS



DAMAGED PLUMBING AND MECHANICAL SYSTEMS



DAMAGED PIPES / LEAKAGE FROM BROKEN WALLS



DAMAGED INTERIOR WALLS / CEILINGS



DAMAGED INTERIOR WALLS / CEILINGS



DAMAGED PIPES / LEAKAGE FROM BROKEN WALLS



DAMAGED PIPES AND MECHANICAL SYSTEM



DAMAGED INTERIOR WALLS / CEILINGS

Euclid Corridor Design Review Case



April 1, 2022

EC2022-010 – UCI Development | Stokes West New Construction:
Seeking Schematic Design Approval

Project Location: NW corner of Cedar Avenue and Stokes Boulevard

Project Representative: Steve Jennings, LDA Architects

UCI Development | Stokes West

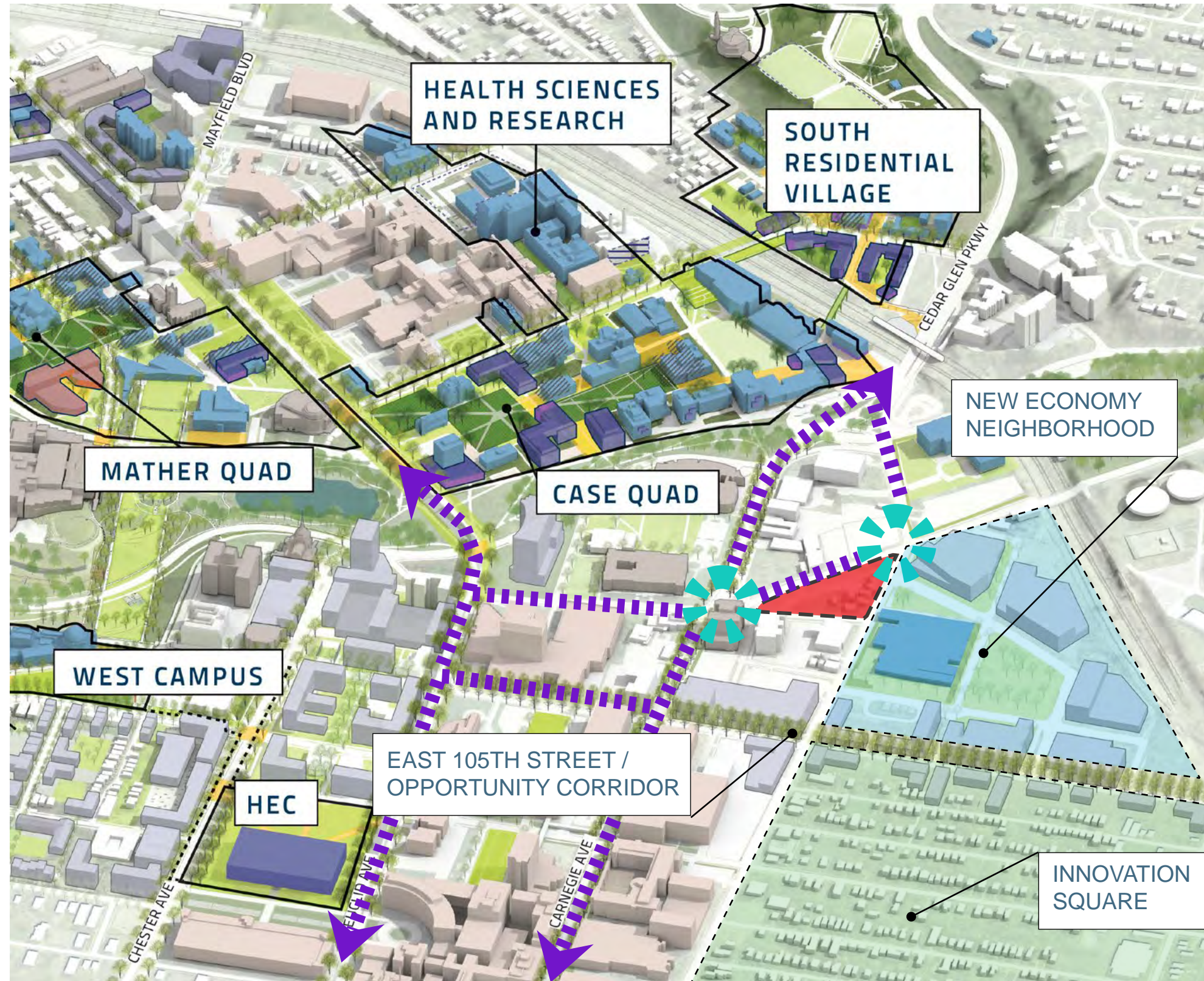
Cleveland, Ohio

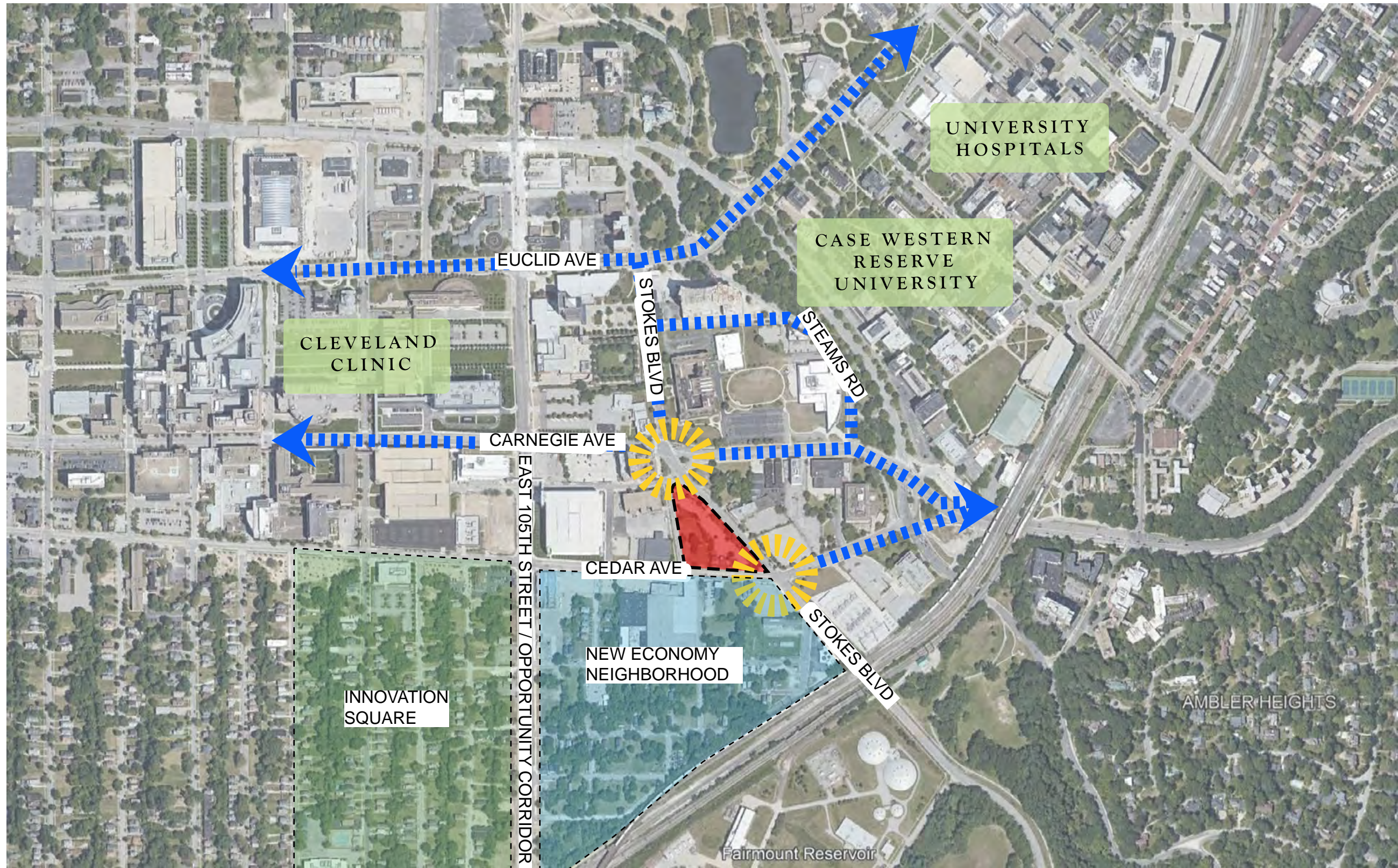


DESIGN REVIEW

03.31.2022



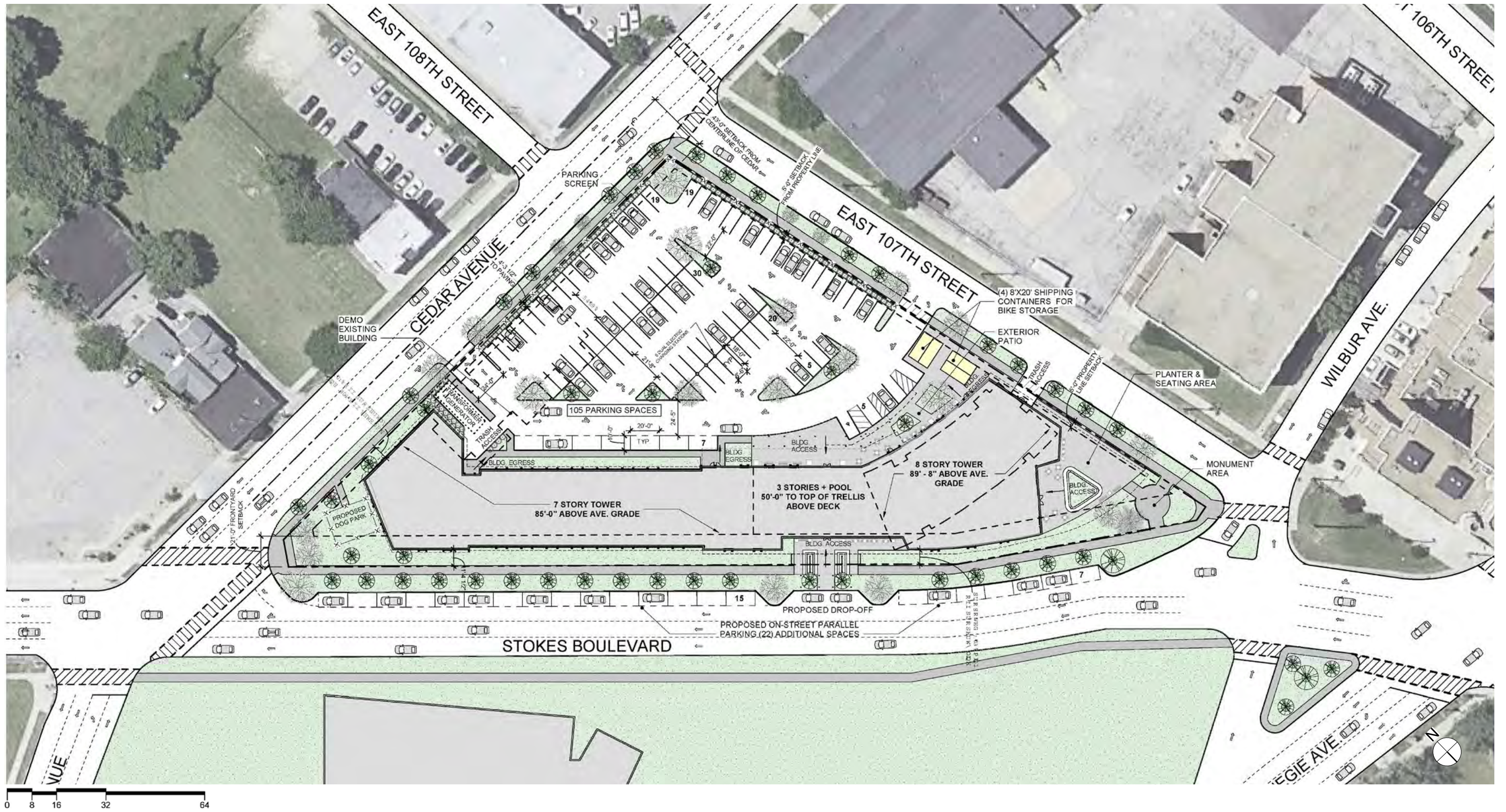












SITE PLAN | SCALE: 1/64" = 1'-0"



RENDERING | STOKES CORNER





RENDERING | CEDAR CORNER





RENDERING | E 107TH ST

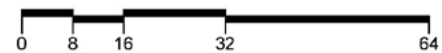
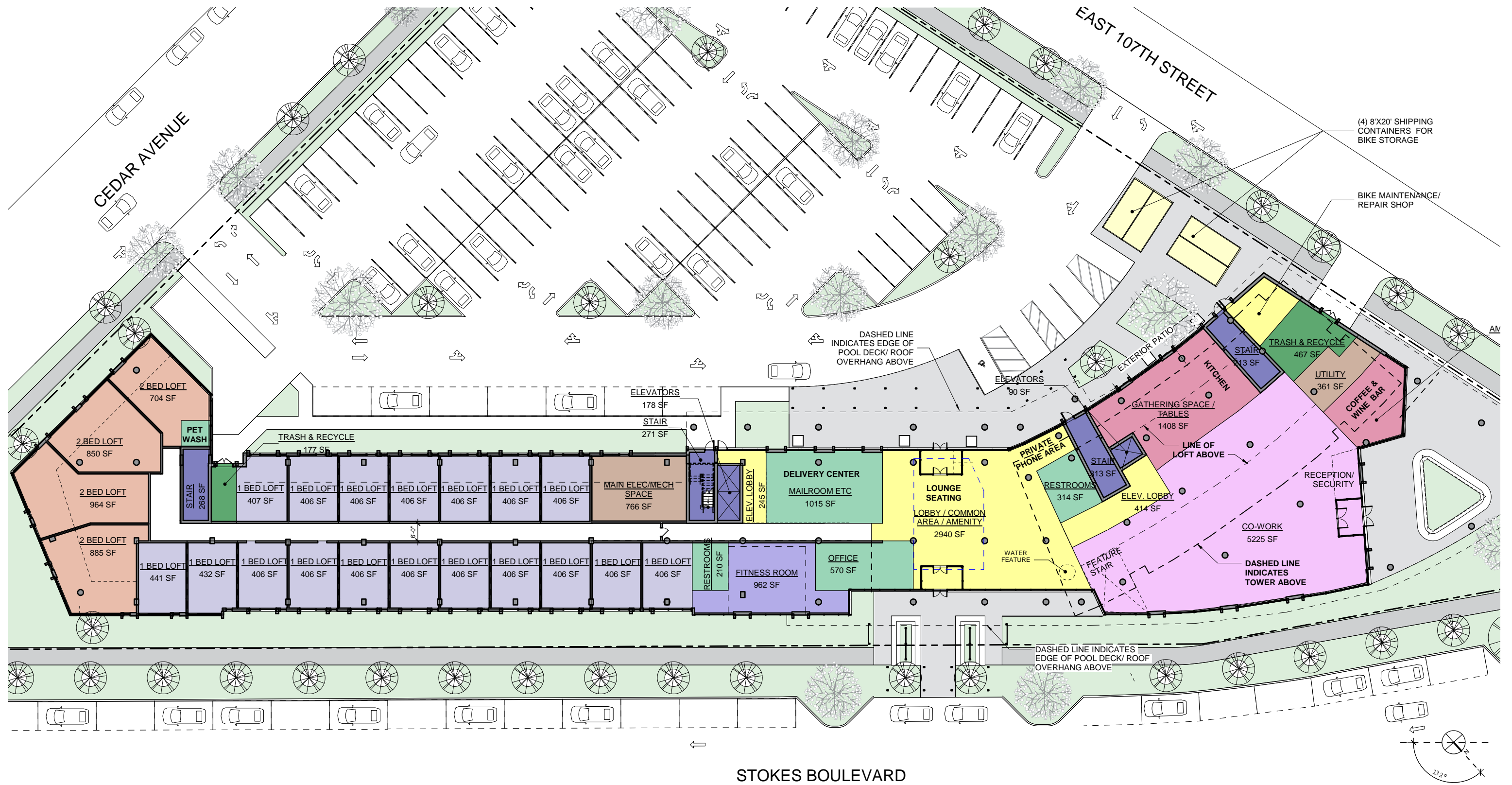




RENDERING | POOL DECK ENLARGMENT

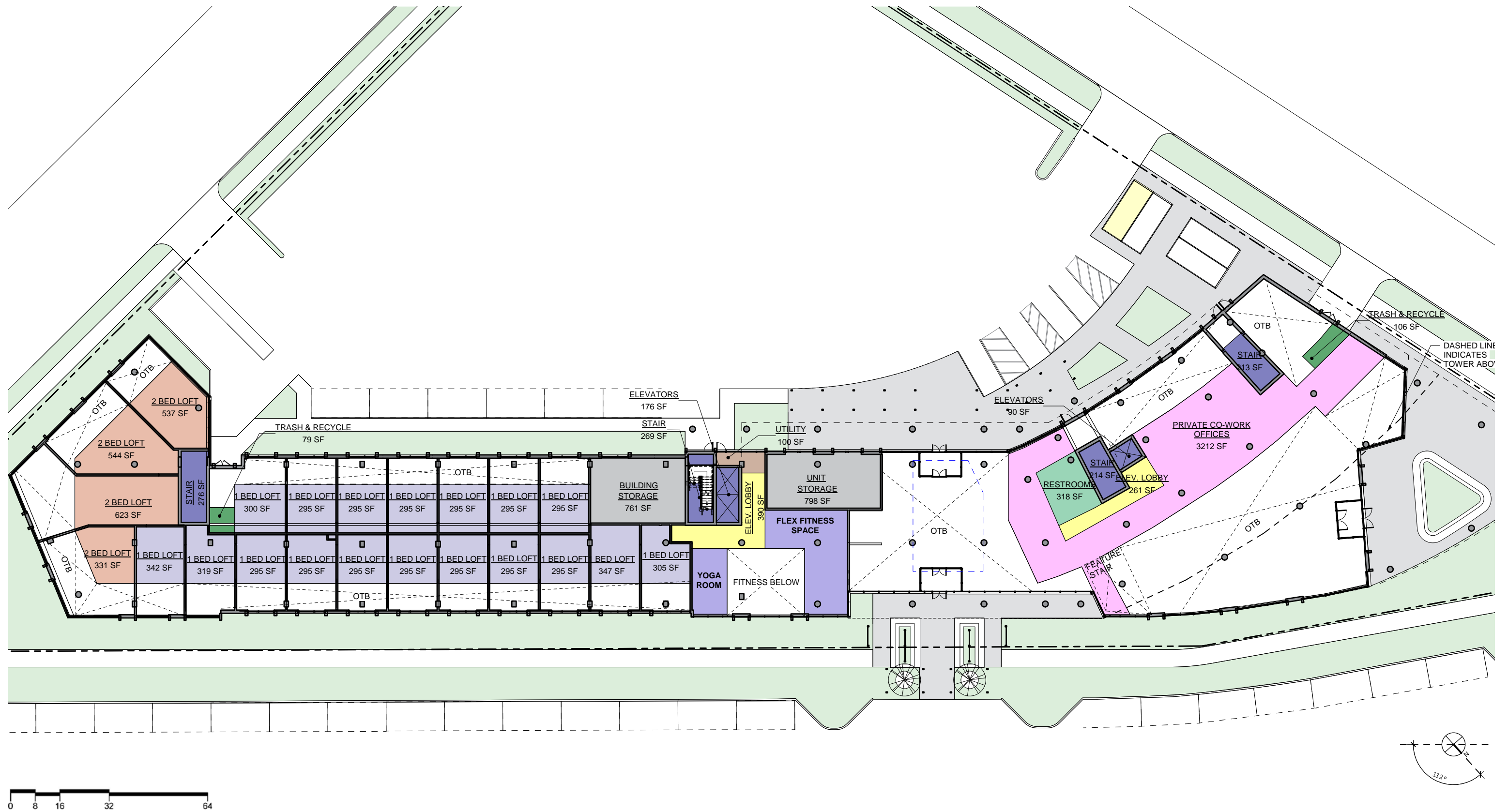


RENDERING | PARKING



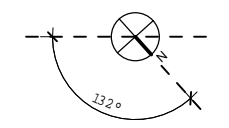
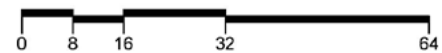
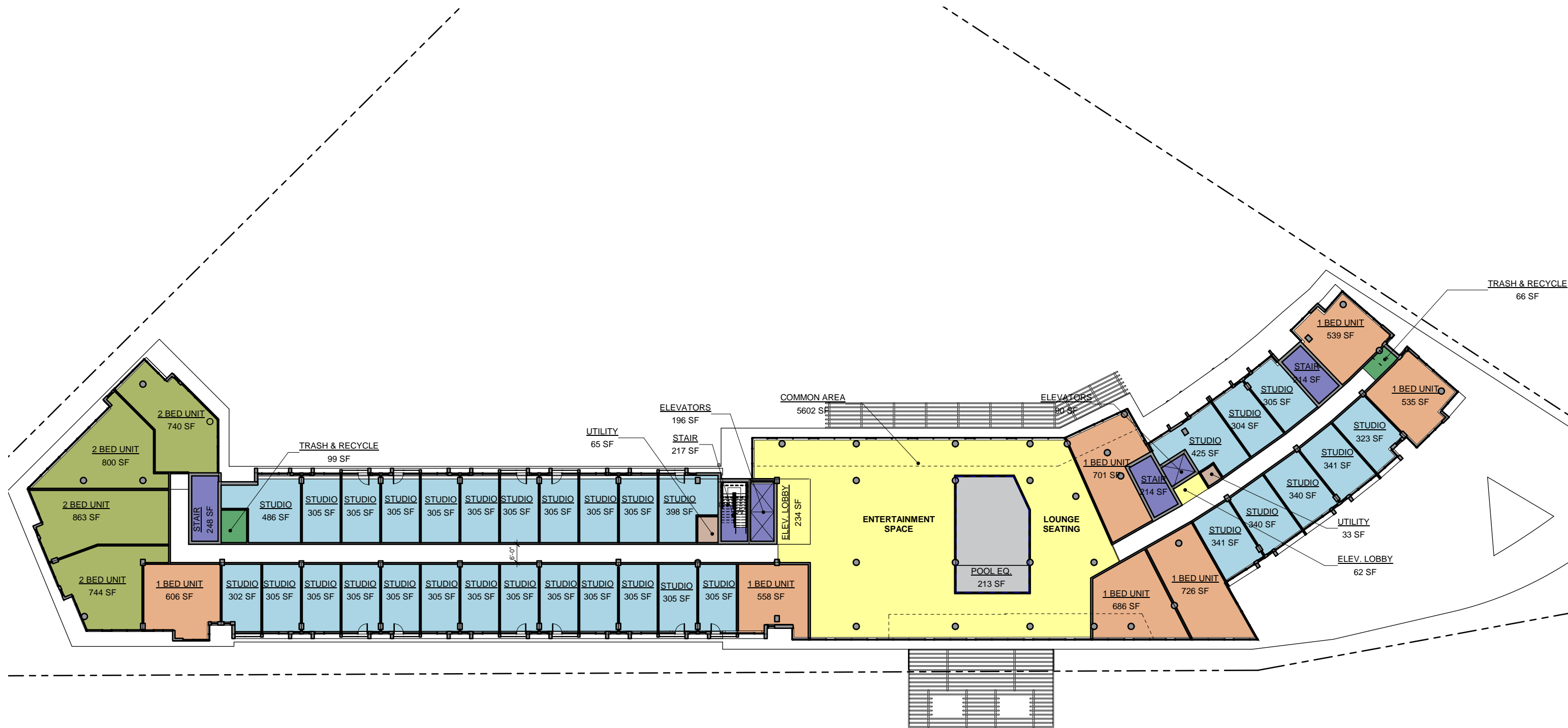
1ST FLOOR PLAN | SCALE: 1/32" = 1'-0"





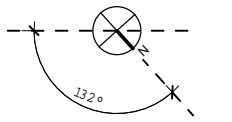
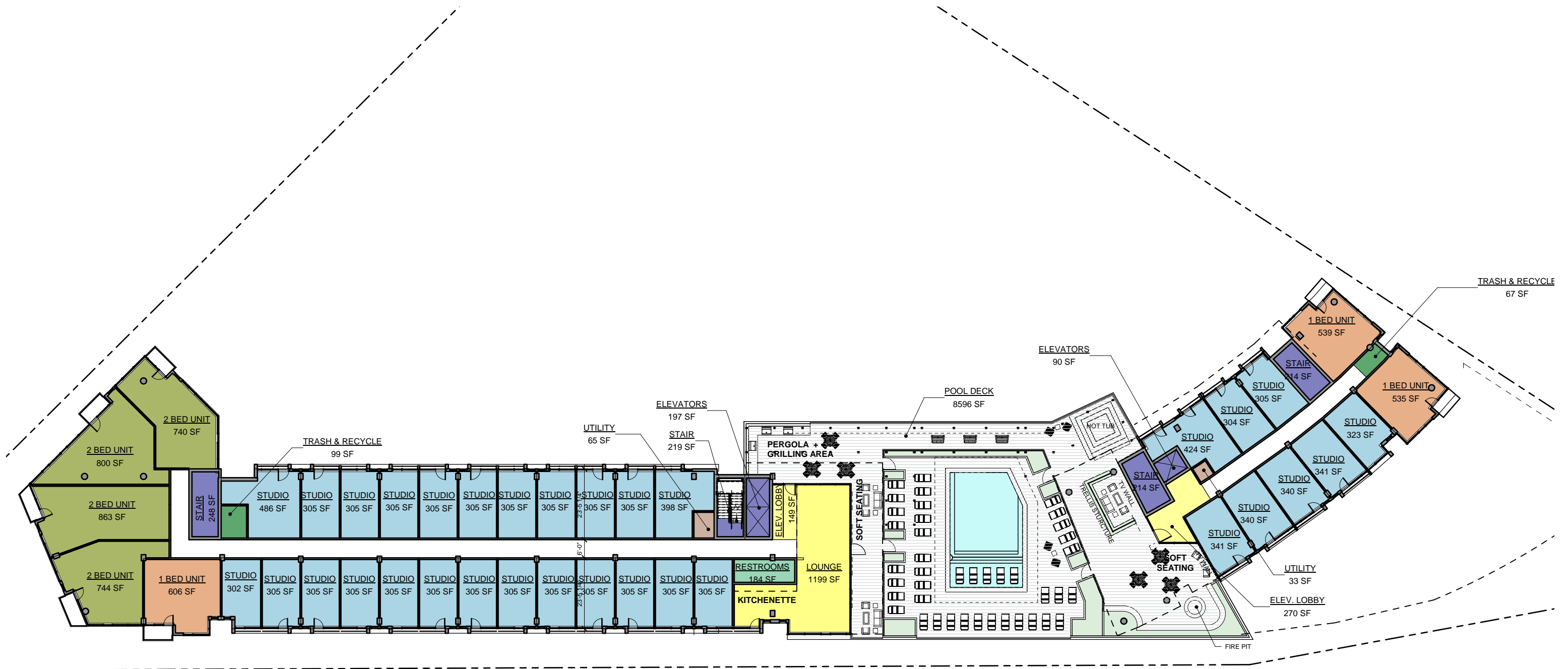
LOFT FLOOR PLAN | SCALE: 1/32" = 1'-0"





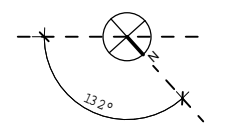
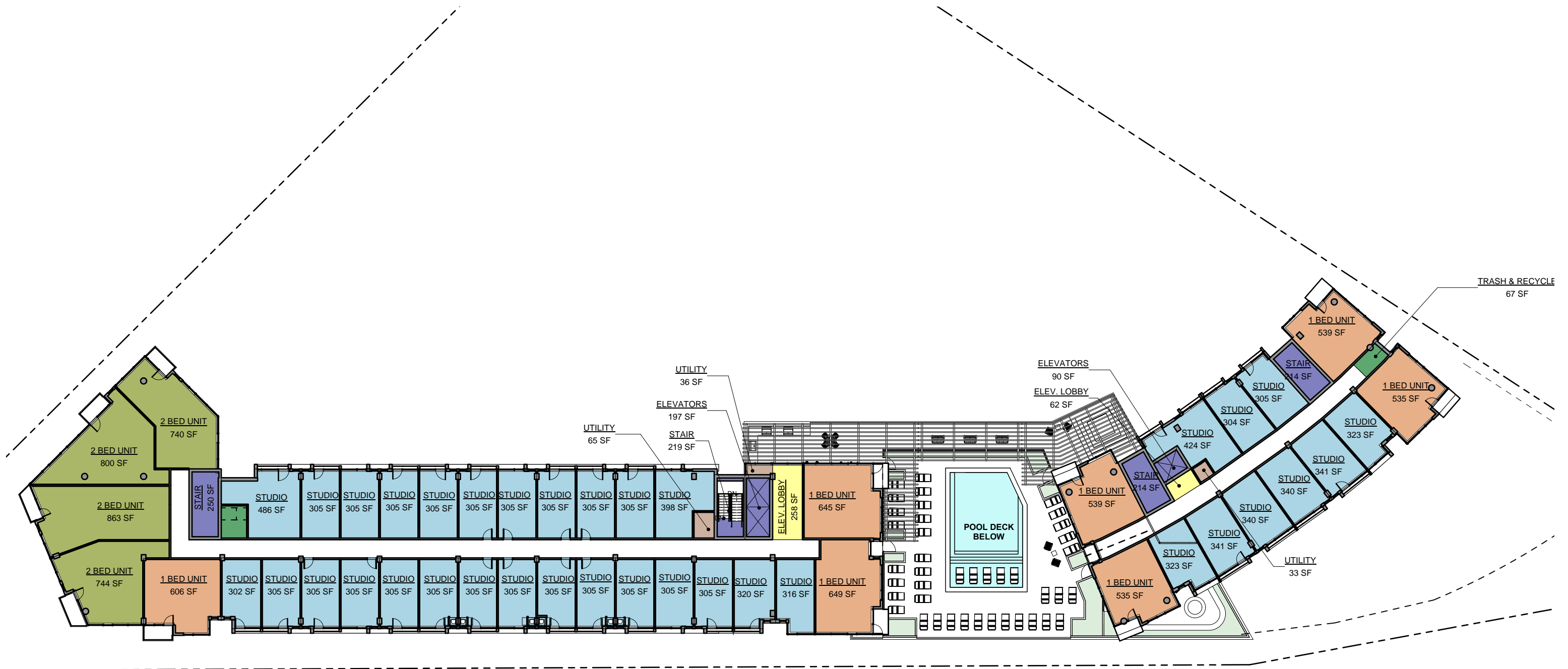
3RD FLOOR PLAN | SCALE: 1/32" = 1'-0"





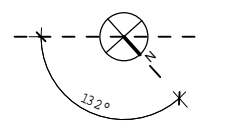
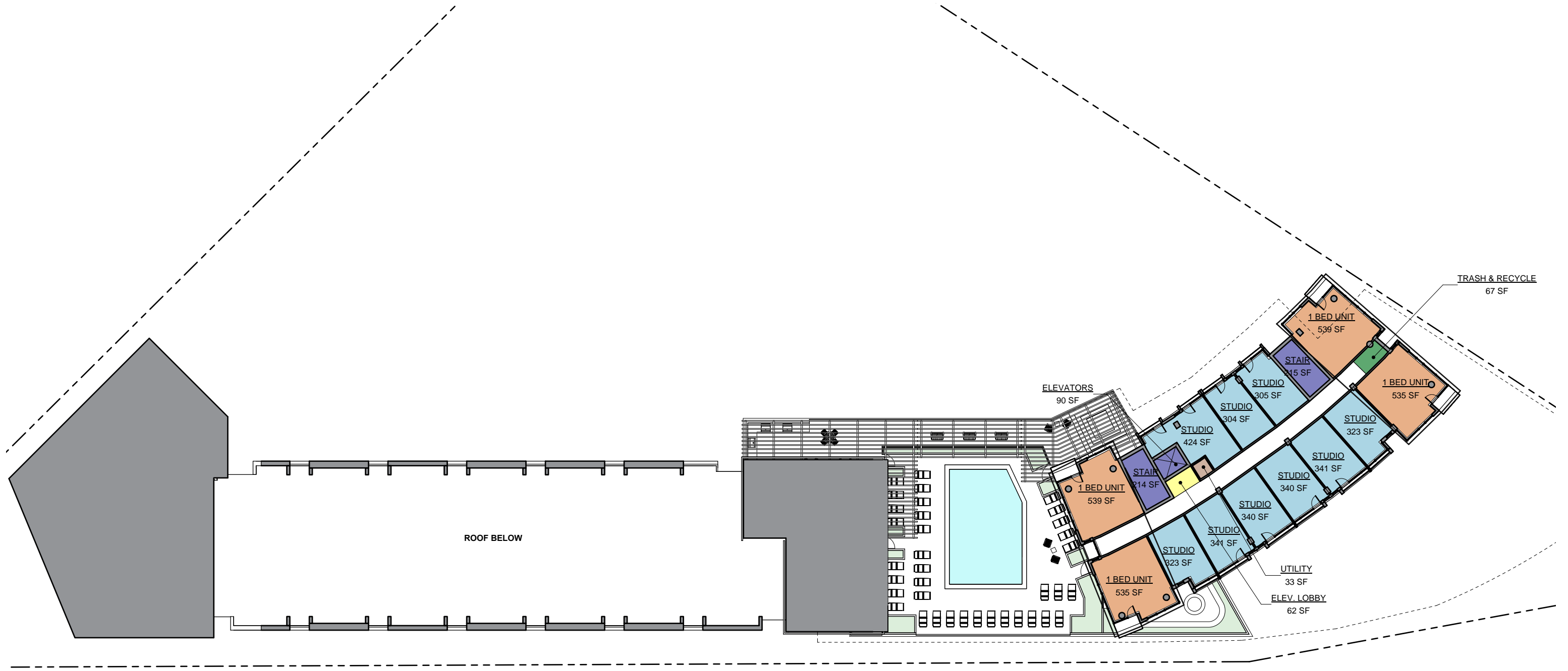
4TH FLOOR PLAN | SCALE: 1/32" = 1'-0"





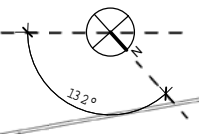
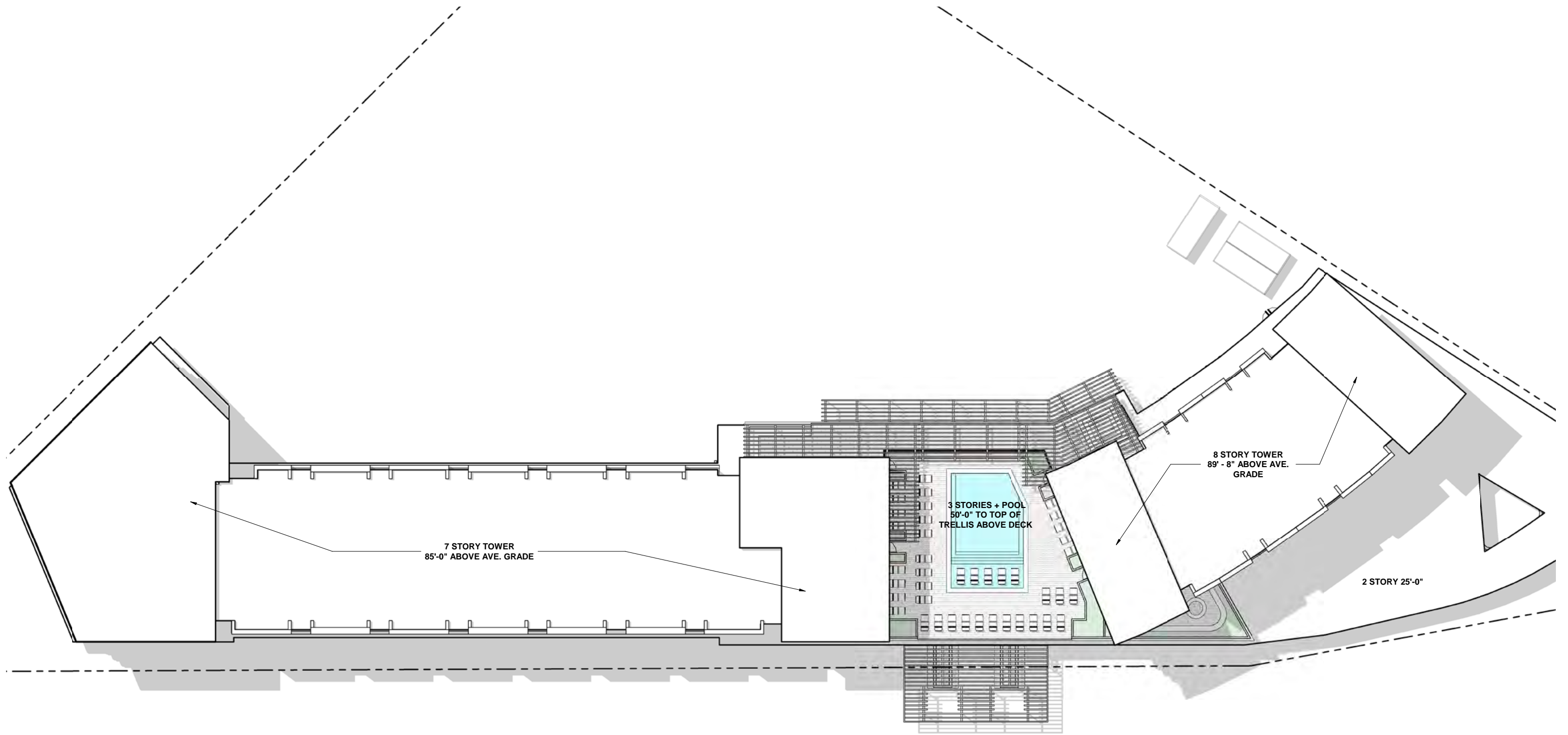
TYPICAL FLOOR PLAN | SCALE: 1/32" = 1'-0"





8TH FLOOR PLAN | SCALE: 1/32" = 1'-0"



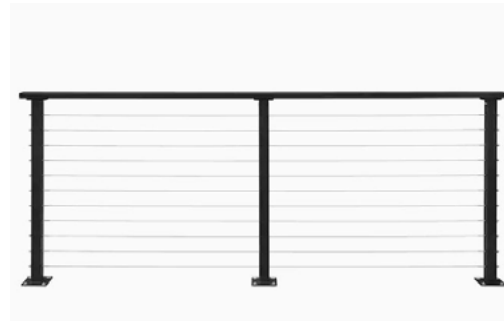


ROOF PLAN | SCALE: 1/32" = 1'-0"





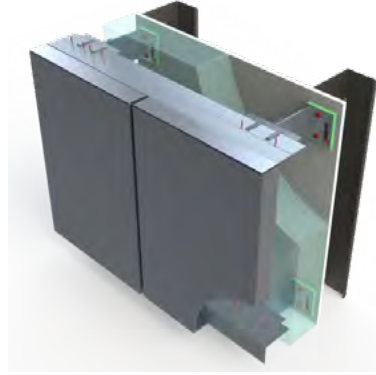
UTILITY OR ECONOMY SIZE BRICK



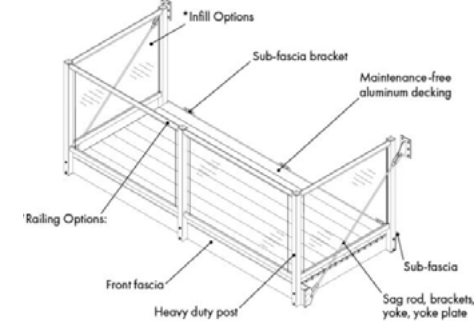
AS&D BALCONY CABLE RAILING



KAWNEER METROVIEW WINDOW WALL



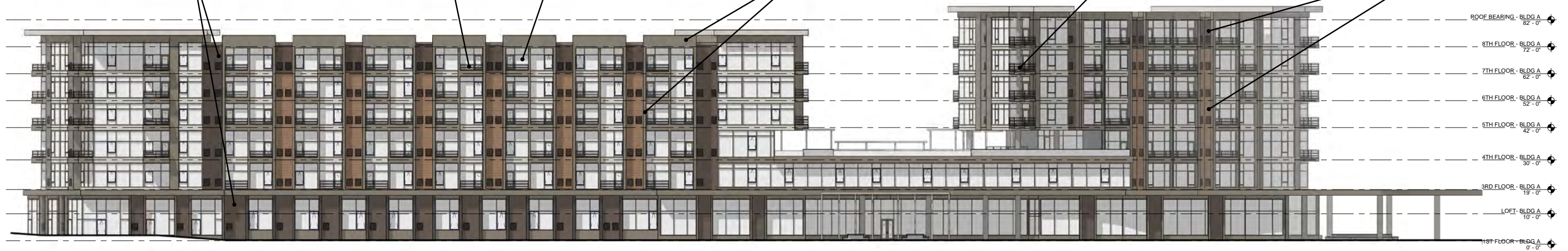
ACM RAINSCREEN



AS&D PREFAB BALCONY SYSTEM



NICHIHA WALL PANEL



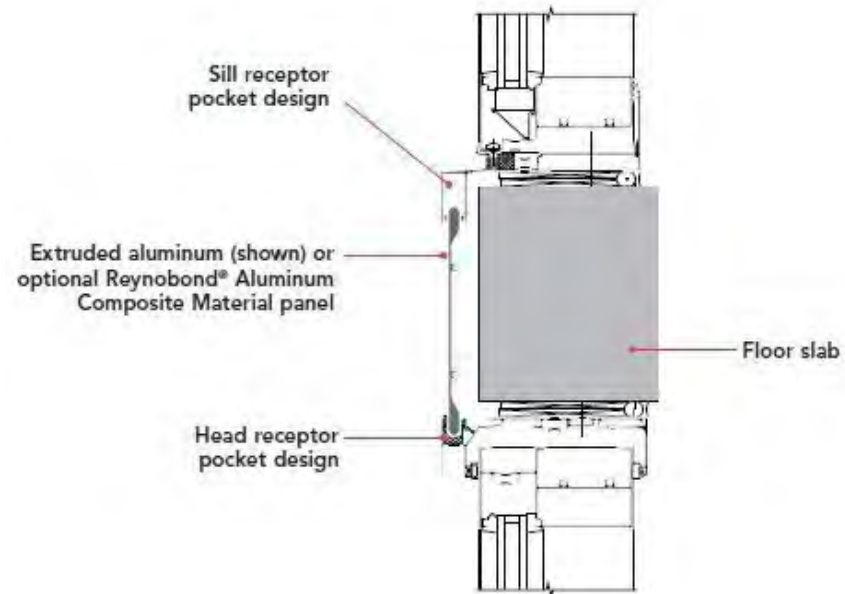
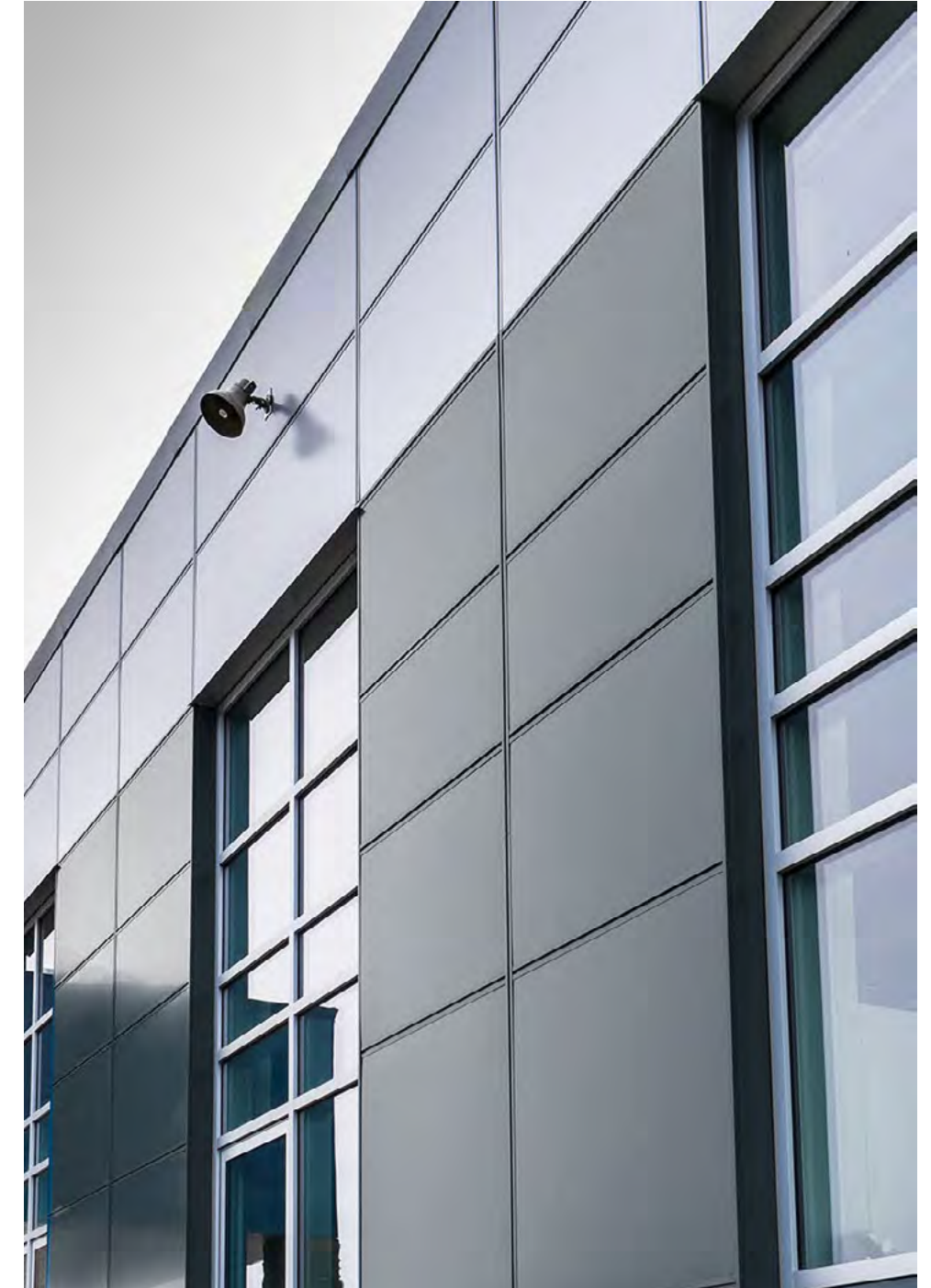
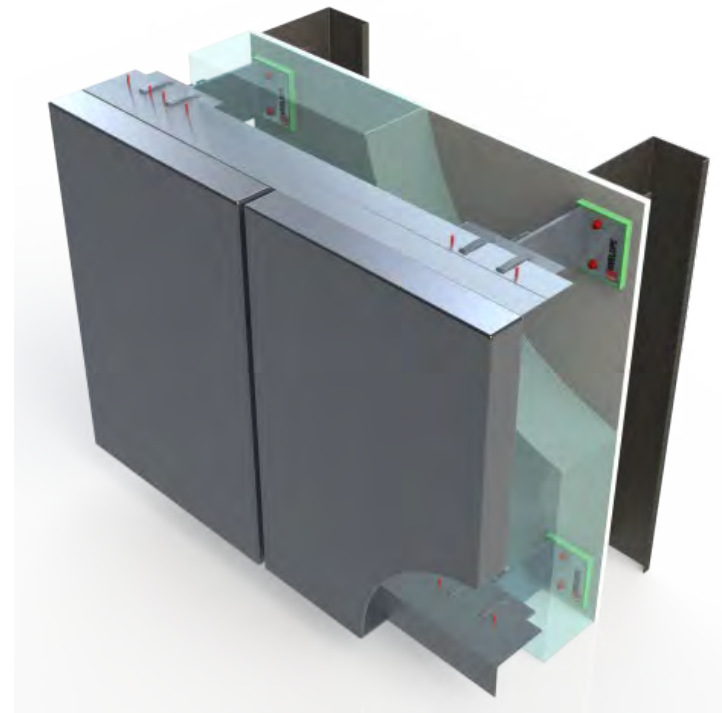
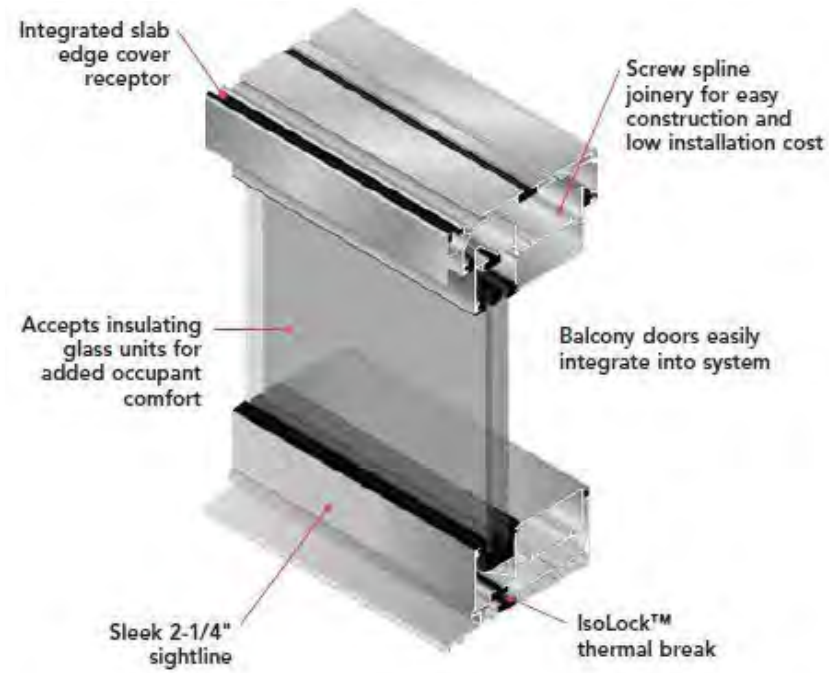
SOUTH ELEVATION



NORTH ELEVATION

EXTERIOR ELEVATIONS & MATERIALITY

MAIN MATERIALS



Cadet Gray⁽¹⁾ (US0986)



Medium Gray Mica⁽¹⁾ (US0975)



Pewter Mica⁽¹⁾ (US0976)



Lead Grey (ES2132)

KAWNEER METROVIEW WINDOW WALL

ACM RAINSCREEN

OPTION 1

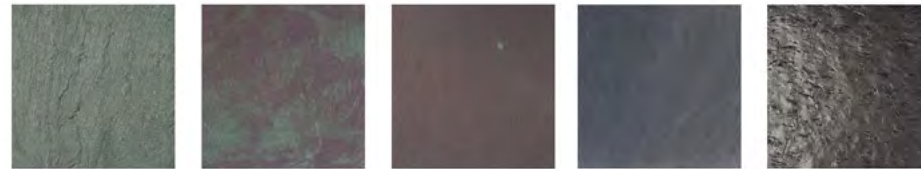


UTILITY OR ECONOMY SIZE BRICK

OPTION 2



OPTION 3



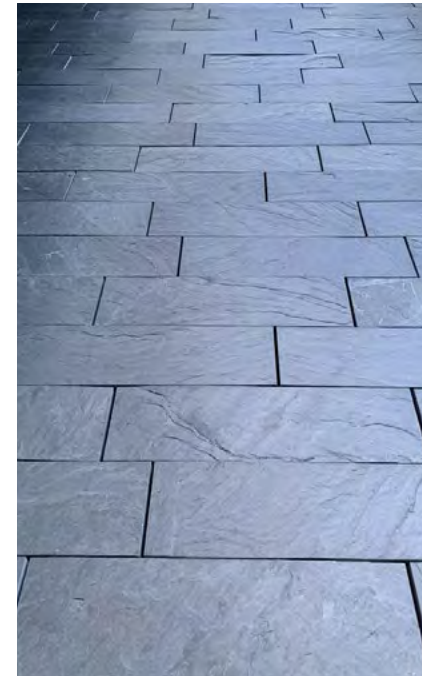
PAC METAL TILES



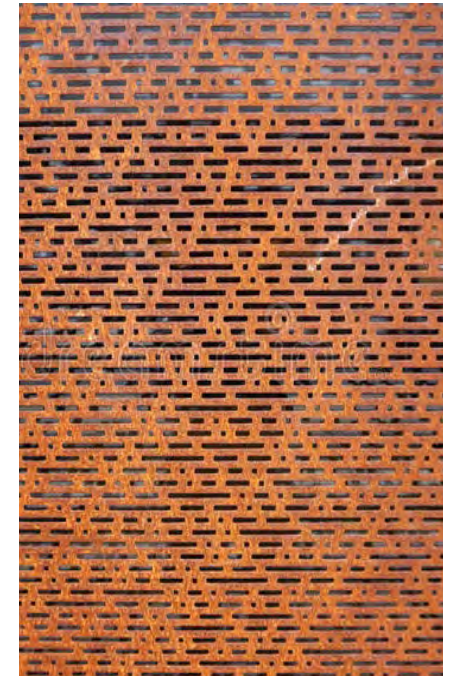
NICHIHA WALL PANEL

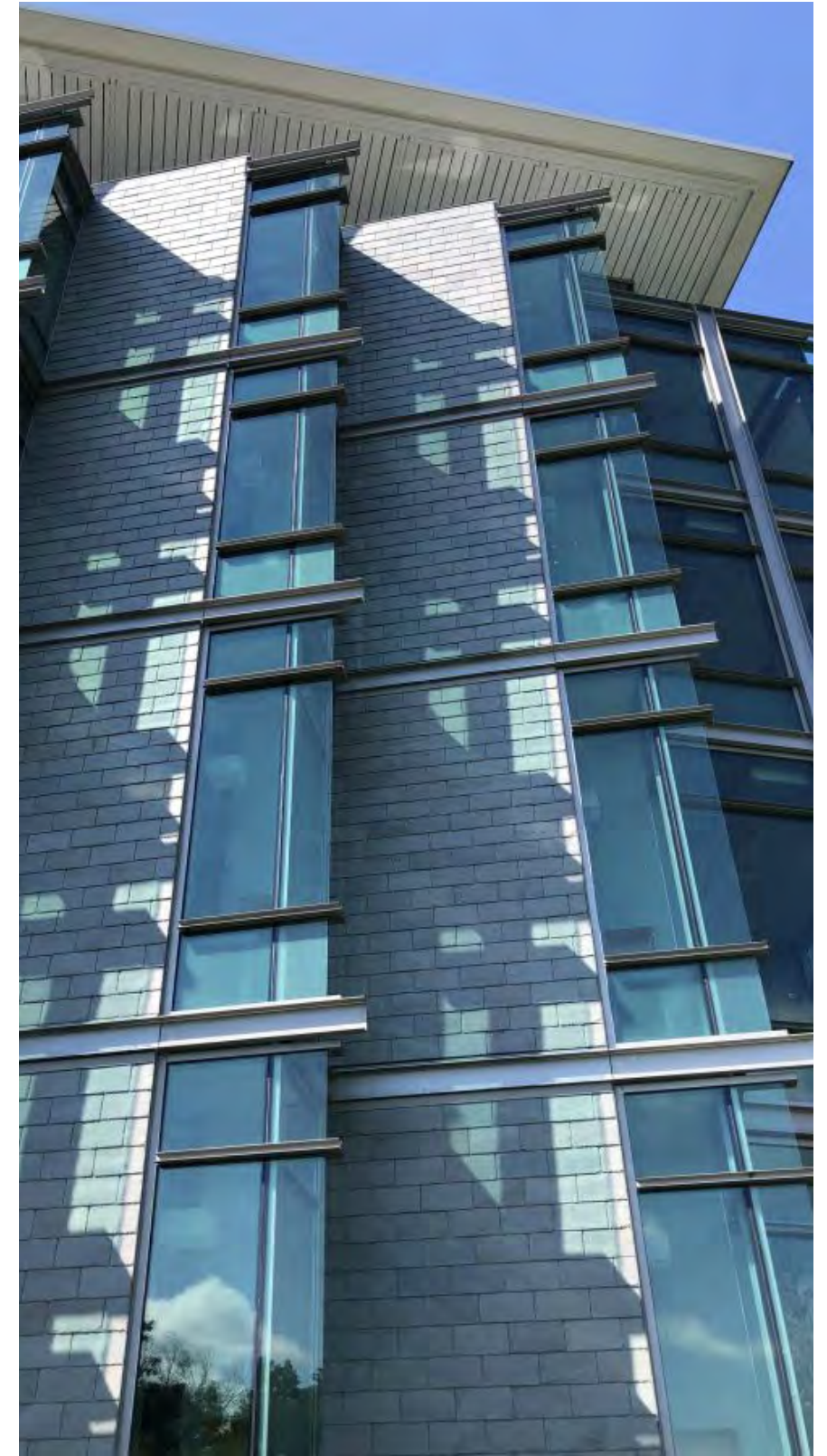


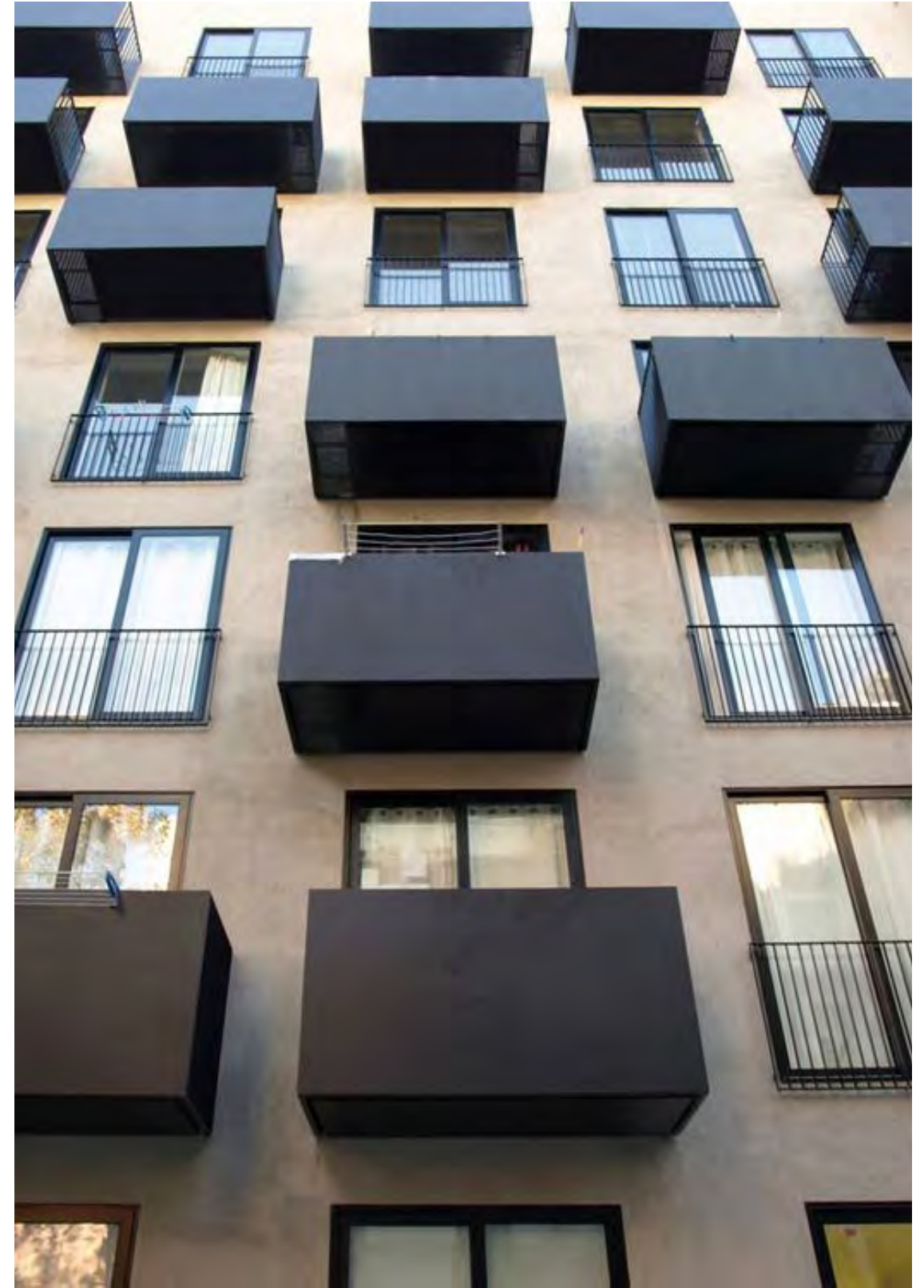
SLATE



CORTEN STEEL















Downtown | Flats Design Review Case



April 1, 2022

DF2021-026 – 55 Public Sq. Ground Floor Façade Renovation:
Seeking Final Approval

Project Address: 55 Public Square

Project Representative: Terry Fields, Berardi Partners

Note: the Planning Commission Tabled this item on October 1, 2021.

GENERAL SCOPE OF WORK STATEMENT

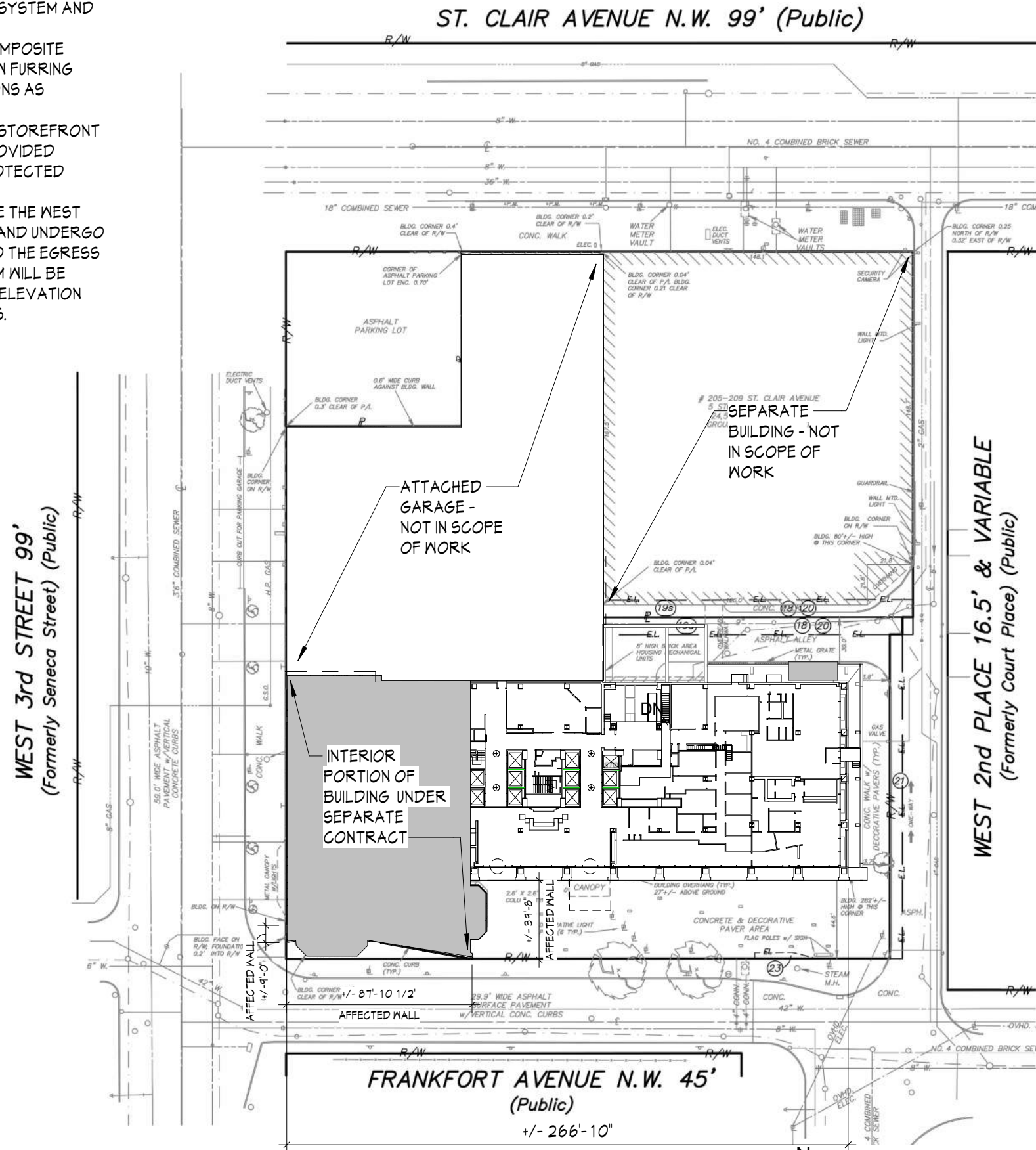
1. THE SCOPE OF WORK FOR THIS REVIEW APPLICATION CONCERNS THE EXTERIOR WALLS OF THE ONE STORY VOLUME LOCATED AT THE SOUTHWEST CORNER OF THE 55 PUBLIC SQUARE BUILDING.
2. THE SOUTH AND EAST WALLS WILL RECEIVE A COMPLETELY NEW EXTERIOR FINISH SYSTEM AND GLAZING AS DESCRIBED HEREIN
3. THE SOUTH WALL WILL BE STRIPPED TO STRUCTURE AND A NEW 4MM ALUMINUM COMPOSITE MATERIAL (ACM) RAINSCREEN CLADDING SYSTEM WILL BE INSTALLED OVER A NEW FURRING SYSTEM WITH CONTINUOUS INSULATION. THE WALL WILL RECEIVE NEW FENESTRATIONS AS GRAPHICALLY DESCRIBED HEREIN.
4. THE EAST WALL WILL RECEIVE A SIMILAR RAINSCREEN TREATMENT ABOVE A NEW STOREFRONT SYSTEM THAT SPANS THE LENGTH OF THE WALL. A NEW CANOPY WILL ALSO BE PROVIDED ALONG THE LENGTH OF THE EAST WALL TO PROVIDE A SOLAR SCREEN AND A PROTECTED ENTRY TO THE RESTAURANT
5. THE REHABILITATION OF THE WEST WALL IS LIMITED TO THE AREA INDICATED, SINCE THE WEST WALL IS COMPRISED PRIMARILY OF AN HISTORIC BRICK FINISH THAT IS TO REMAIN AND UNDERGO RESTORATION WHERE REQUIRED. THE PORTION OF WEST WALL WILL BE LIMITED TO THE EGRESS NICHE THAT HOSTS A PAIR OF EGRESS DOORS. THE NEW ACM RAINSCREEN SYSTEM WILL BE INSTALLED ABOVE THE NEW DOORS, (4) PLANTERS WILL BE ADDED ON THE WEST ELEVATION AS SHOWN, AND (4) EXISTING WINDOWS WILL BE REPLACED WITH SIMILAR WINDOWS.



PHOTOGRAPH 02 - CONTEXT VIEW FROM SOUTH

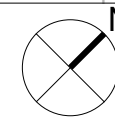
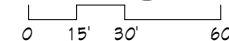


PHOTOGRAPH 01 - CONTEXT VIEW FROM SOUTHWEST



site plan - existing condition

1" = 60'-0"



**K&D - 55
PUBLIC
SQUARE**

LIMITED EXTERIOR
REHABILITATION

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PAGE INDEX

RE-00	SITE PLAN - EXISTING
RE-01	OVERALL GROUND FLOOR REFERENCE PLAN
RE-02	ENLARGED PLAN - EXTERIOR DEMOLITION
RE-03	ELEVATION DEMOLITION
RE-04	OVERALL GROUND FLOOR PLAN
RE-05	PLAN IMPROVEMENTS
RE-06	ELEVATION PROPOSED
RE-07	WALL SECTIONS & DETAILS
RE-08	CANOPY PLAN AND DETAILS
RE-09	DOOR, WINDOW AND STOREFRONT TYPES
RE-10	HISTORIC ELEVATION
RE-11	HISTORIC PHOTOS
RE-12	MATERIALS
RE-13	PERSPECTIVES
RE-14	PERSPECTIVES

**RESTAURANT
EXTERIOR**

DATE: 03/24/2022
PROJECT #: 18104a

**SITE PLAN -
EXISTING**

RE-00

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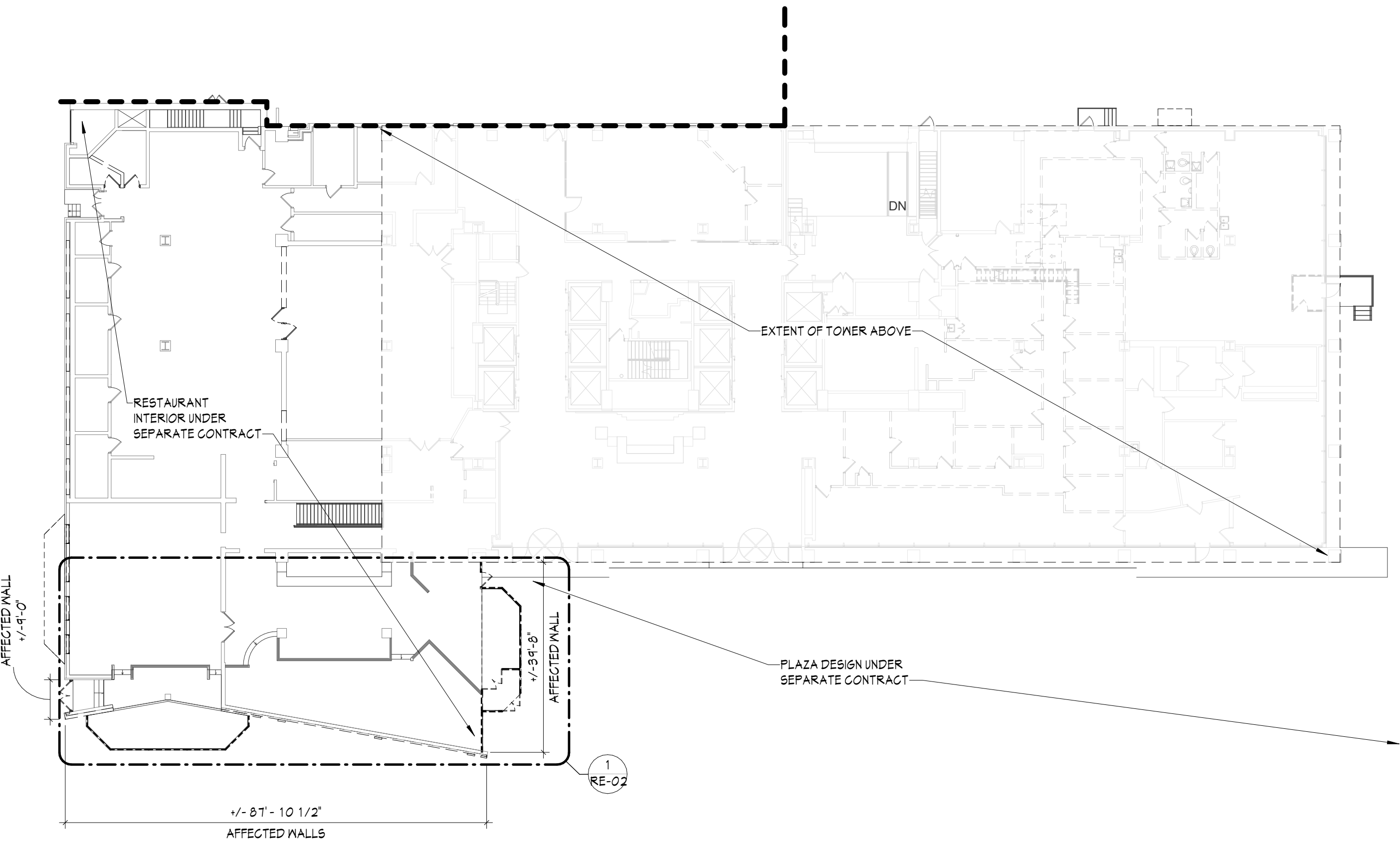
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P 614.221.1110 berardipartners.com

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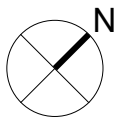
DATE: 03/24/2022
PROJECT #: 18104a

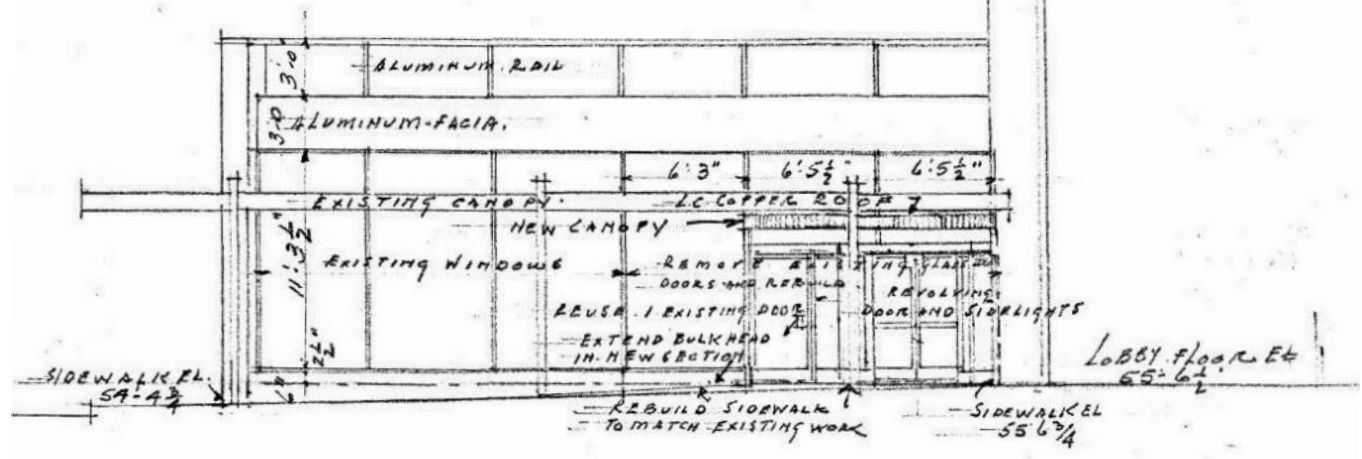
**OVERALL
GROUND FLOOR
REFERENCE
PLAN**

RE-01

restaurant exterior - plan demolition - overall

1" = 20'-0" 0 5' 10' 20'





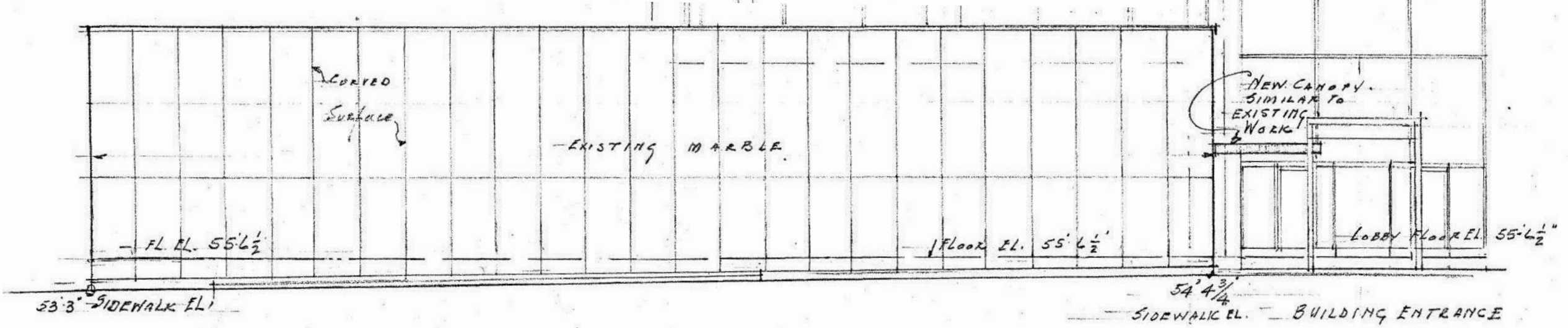
1. THE DRAWINGS/IMAGES CONTAINED ON THIS SHEET ARE FROM RECORD DRAWINGS DATED 2 MARCH 1959 RELATED TO THE STOFFER CORPORATION'S PLANS FOR THE RESTAURANT
2. THESE DRAWINGS WERE PART OF ONGOING AND ULTIMATELY APPROVED REVISIONS TO THE BUILDING WHILE UNDER CONSTRUCTION
3. THE DRAWINGS ARE NOT TO SCALE AND HAVE BEEN REDUCED FROM THE ORIGINAL SCALE TO INCLUDE THEM ON THIS SHEET
4. THEY ARE INCLUDED AS A MATTER OF HISTORICAL INTEREST AND AS A MATTER OF REFERENCE

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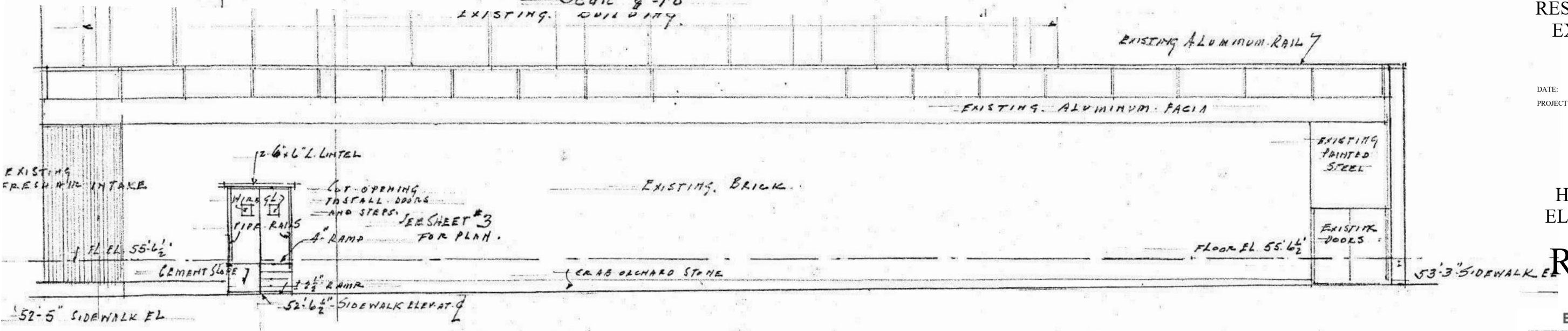
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EAST ELEVATION
 Scale 1/8" = 1'-0"



SOUTH ELEVATION
 Scale 1/8" = 1'-0"



WEST ELEVATION
 Scale 1/8" = 1'-0"

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DATE: 03/24/2022
 PROJECT #: 18104a

**HISTORIC
 ELEVATION**

RE-10

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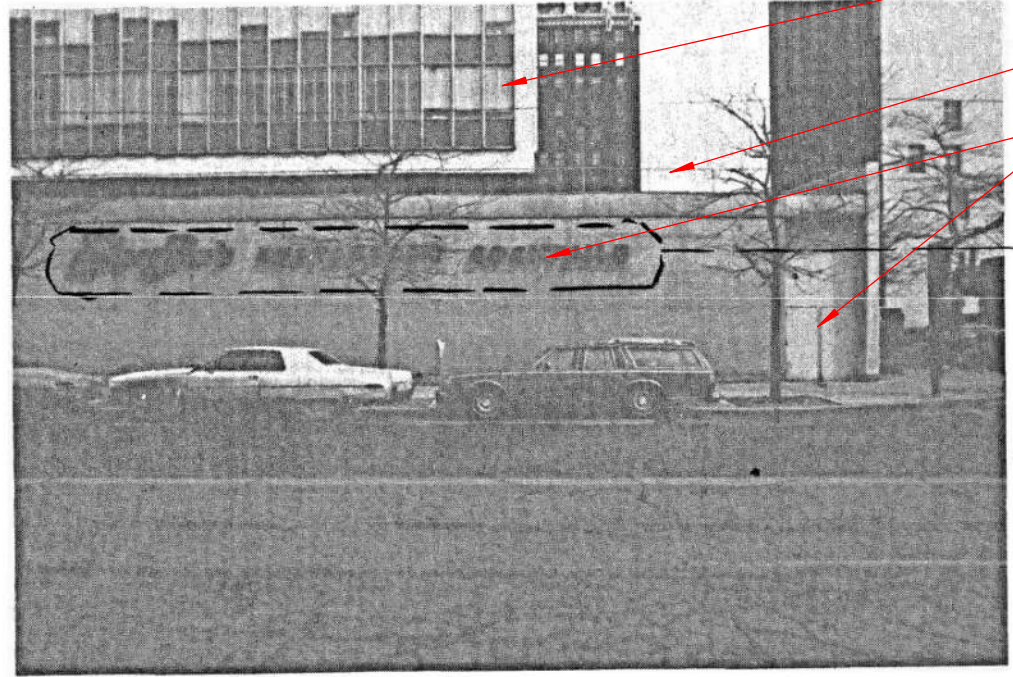
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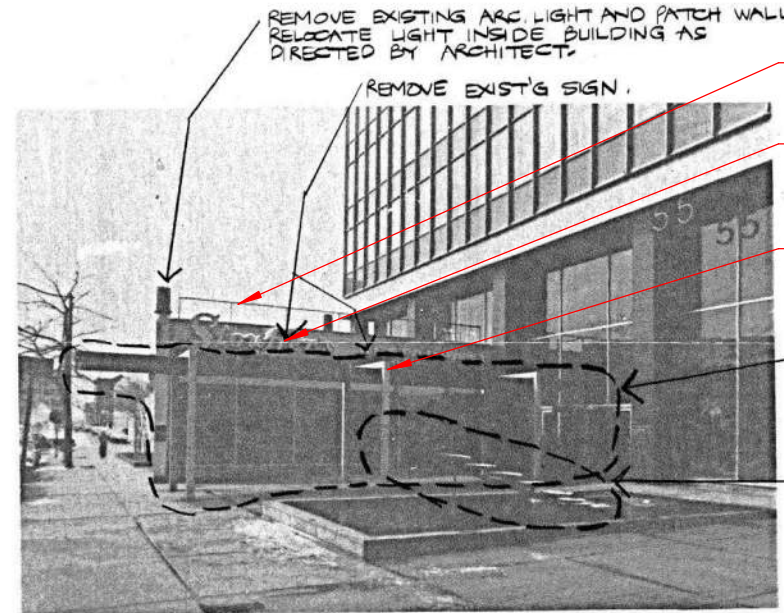
1. THE IMAGES DEPICTED ON THIS SHEET HAVE BEEN EXTRACTED FROM A SET OF DOCUMENTS DATED 1978
2. THE DOCUMENTS APPEAR TO BE RELATED TO A RENOVATION PROPOSED FOR THE SUBJECT RESTAURANT
3. THEY ARE INCLUDED HEREIN TO ILLUSTRATE THE FOLLOWING ELEMENTS:
 - A. THE CANOPY AT THE EAST THAT EXISTED FROM C. 1960 TO C. 1980 - APPARENTLY DEMOLISHED AS PART OF THIS RESTORATION
 - B. THE RAILINGS ALONG THE EAST AND WEST WALLS AT ROOF LEVEL FROM THE 1959 DOCUMENTS ARE STILL VISIBLE AND ARE NOT SLATED FOR DEMOLITION. THIS APPEARS TO CONFIRM THAT THE RAILINGS WERE HISTORIC ELEMENTS, BUT IT IS UNKNOWN WHEN THEY WERE REMOVED
 - C. AS A CONFIRMATION THAT THE ATRIUMS AT THE EAST AND SOUTH WALLS SLATED FOR DEMOLITION ARE NOT TO BE CONSIDERED HISTORIC ELEMENTS, AND THAT THE SINGLE CANOPY ON THE WEST WALL IS ALSO NOT AN HISTORIC ELEMENT

NOTE:
OBSERVE THAT THE HANDWRITTEN NOTES IN BLACK ARE ORIGINAL TO THE PHOTOGRAPHS INCLUDED IN THE 1978 PROPOSAL
THE RED NOTES ARE ADDED AS PART OF THIS CURRENT SET AS OBSERVATION



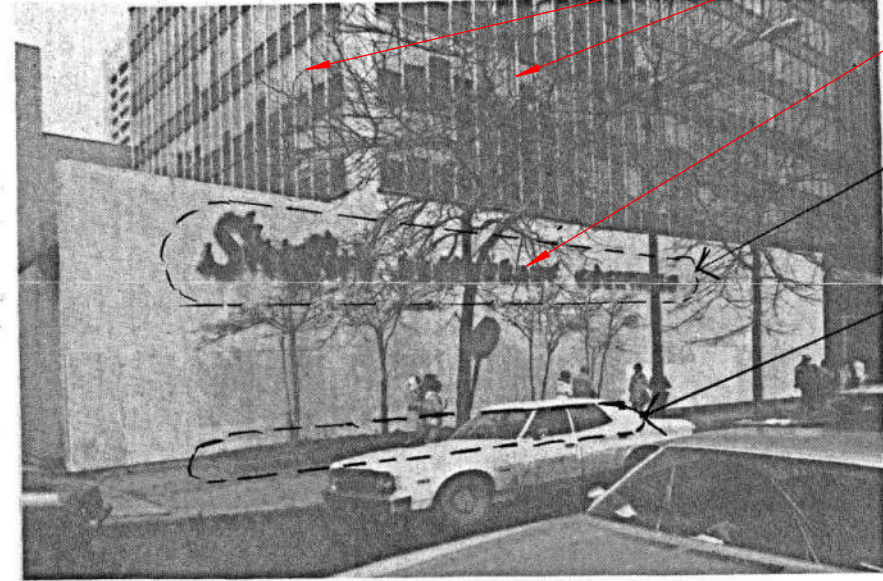
- APPARENT WINDOW SHADES SUGGESTS NO FILM IN PLACE
- RAILING IN PLACE AT ROOF EDGE
- SIGNAGE
- EXISTING EMERGENCY EGRESS
- REMOVE EXIST'G SIGN PATCH WALL TO MATCH EXISTING

3 WEST ELEVATION
AS NO SCALE



- REMOVE EXISTING ARC LIGHT AND PATCH WALL RELOCATE LIGHT INSIDE BUILDING AS DIRECTED BY ARCHITECT.
- REMOVE EXIST'G SIGN.
- RAILING IN PLACE AT ROOF EDGE
- SIGNAGE
- CANOPY AND SUPPORTING STRUCTURE SLATED FOR DEMOLITION
- REMOVE EXIST'G CANOPY AND SUPPORTING STRUCTURE, PATCH SIDEWALK TO MATCH EXIST'G AS REQUIRED.
- REMOVE EXIST'G FOUNTAIN SCULPTURE AND RELATED PLUMBING EQUIPMENT.

2 EAST ELEVATION
AS NO SCALE



- APPARENT WINDOW SHADES SUGGESTS NO WINDOW FILM IN PLACE
- THE SIGNAGE APPEARS TO RANGE IN HEIGHT FROM 12" - 30"
- REMOVE EXIST'G SIGN - PATCH WALL TO MATCH EXIST'G.
- REMOVE EXIST'G PLANT'G BED & CURB.

1 SOUTH ELEVATION
AS NO SCALE

**RESTAURANT
EXTERIOR**

DATE: 03/24/2022
PROJECT #: 18104a

**HISTORIC
PHOTOS**

RE-11

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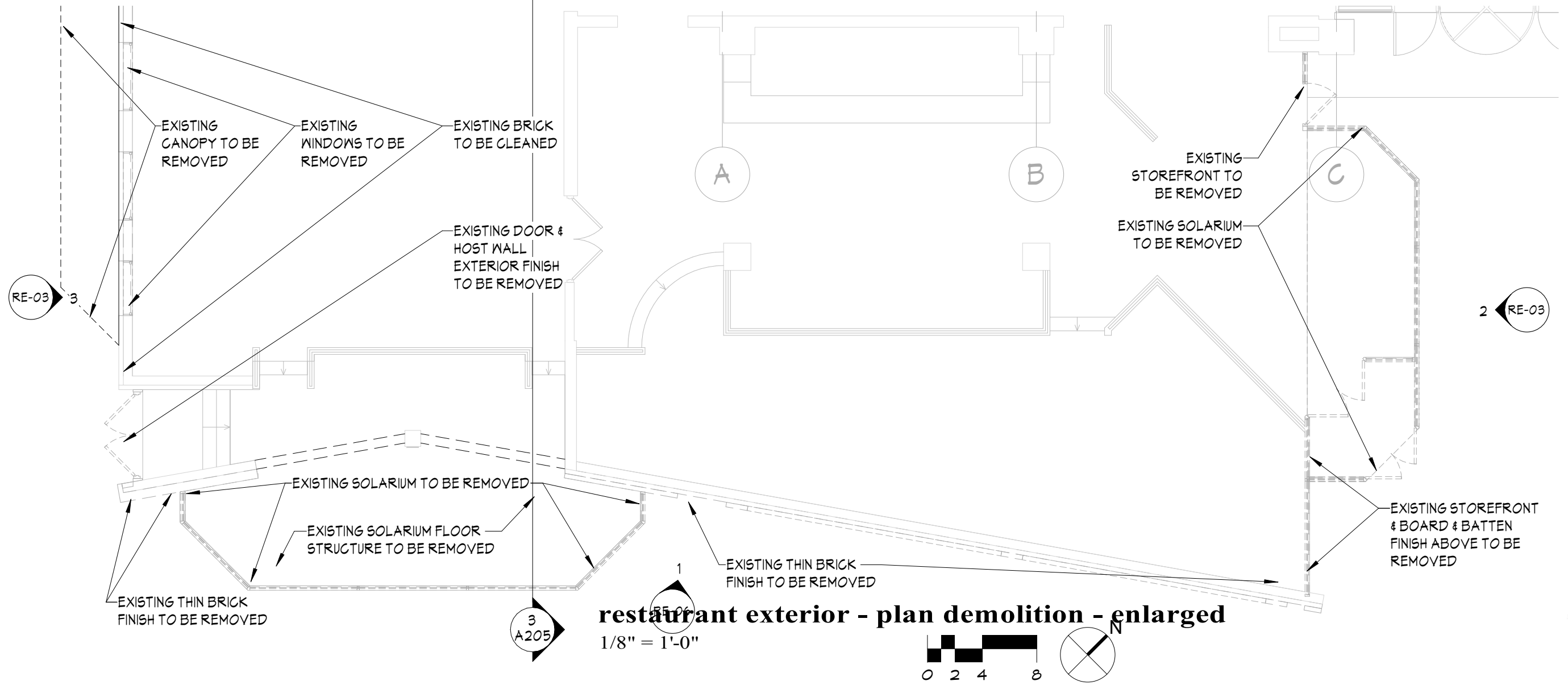
EXTERIOR PHOTOGRAPH #3 - EXISTING CONDITIONS



EXTERIOR PHOTOGRAPH #2 - EXISTING CONDITIONS



EXTERIOR PHOTOGRAPH #1 - EXISTING CONDITIONS



restaurant exterior - plan demolition - enlarged

1/8" = 1'-0"



**RESTAURANT
EXTERIOR**

DATE: 03/24/2022
PROJECT #: 18104a

**ENLARGED
PLAN -
EXTERIOR
DEMOLITION**

RE-02

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3/21/2022 12:34:51 PM

CODED NOTES - DEMOLITION

- 1 REMOVE SOLARIUM IN ITS ENTIRETY
- 2 REMOVE EXTERIOR LIGHTING FIXTURES INDICATED
- 3 REMOVE EXISTING PARAPET CAP FLASHING
- 4 REMOVE EXISTING THIN BRICK FINISH AND ALL PROJECTIONS
- 5 REMOVE PORTIONS OF WALL INDICATED IN PLANS AND ELEVATIONS
- 6 REMOVE EXISTING STOREFRONT SYSTEM
- 7 REMOVE BOARD & BATTEN FINISH AND SUPPORTING WALL
- 8 EXISTING BRICK REMAINS
- 9 REMOVE EXISTING CANOPY
- 10 EXISTING WINDOW TO BE REMOVED
- 11 REMOVE EXISTING DOOR AND FRAME ASSEMBLY
- 12 REMOVE EXISTING WALL FINISH DOWN TO SUBSTRATE

demolition legend

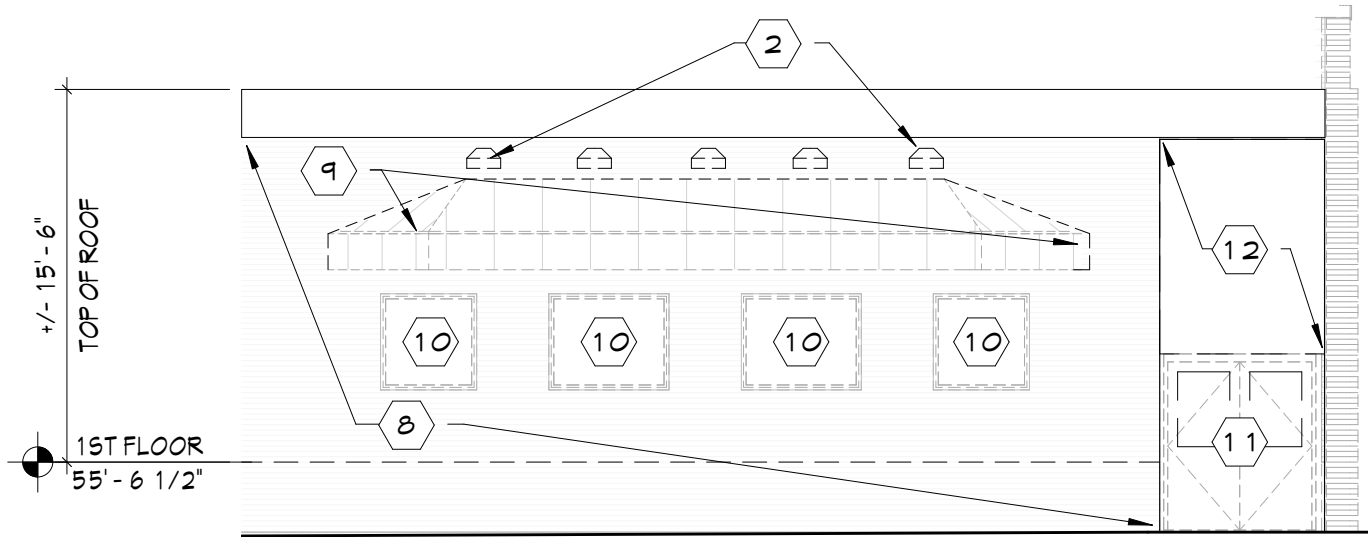
- EXISTING WALL OR ELEMENT TO REMAIN
- - - EXISTING WALL OR ELEMENT TO BE REMOVED

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REHABILITATION

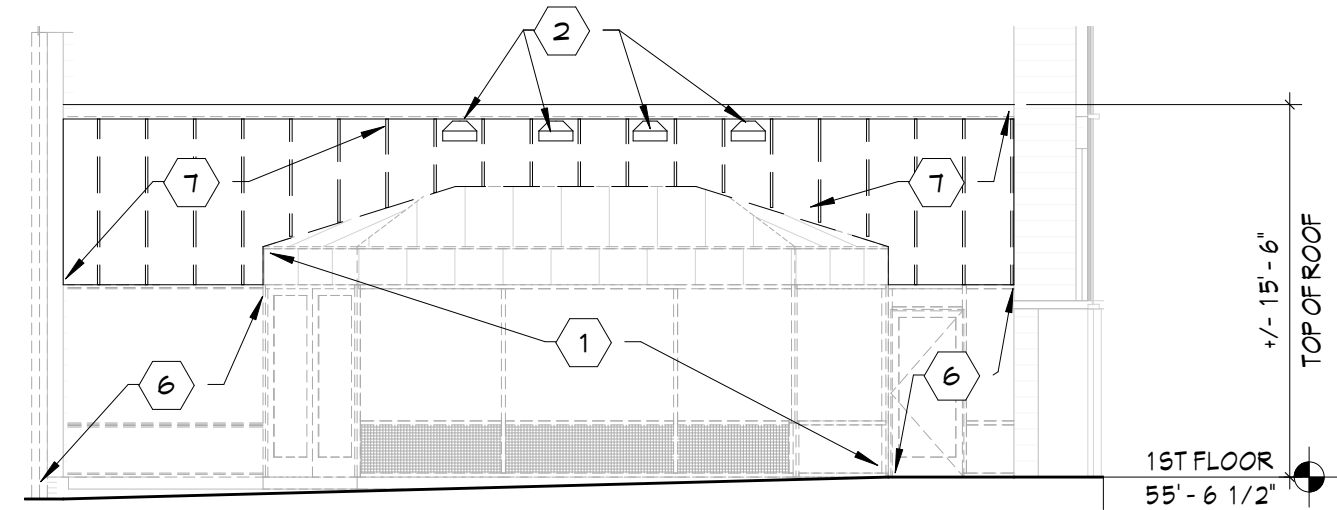
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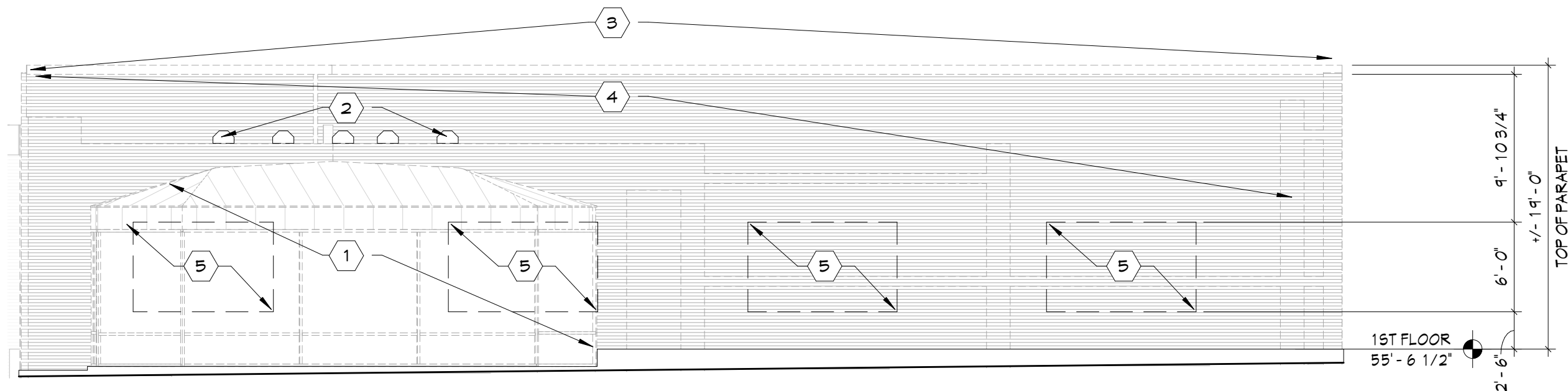
west elevation - demolition

1/8" = 1'-0"



east elevation - demolition

1/8" = 1'-0"



south elevation - demolition

1/8" = 1'-0"



**RESTAURANT
EXTERIOR**

DATE: 03/24/2022
PROJECT #: 18104a

**ELEVATION
DEMOLITION**

RE-03

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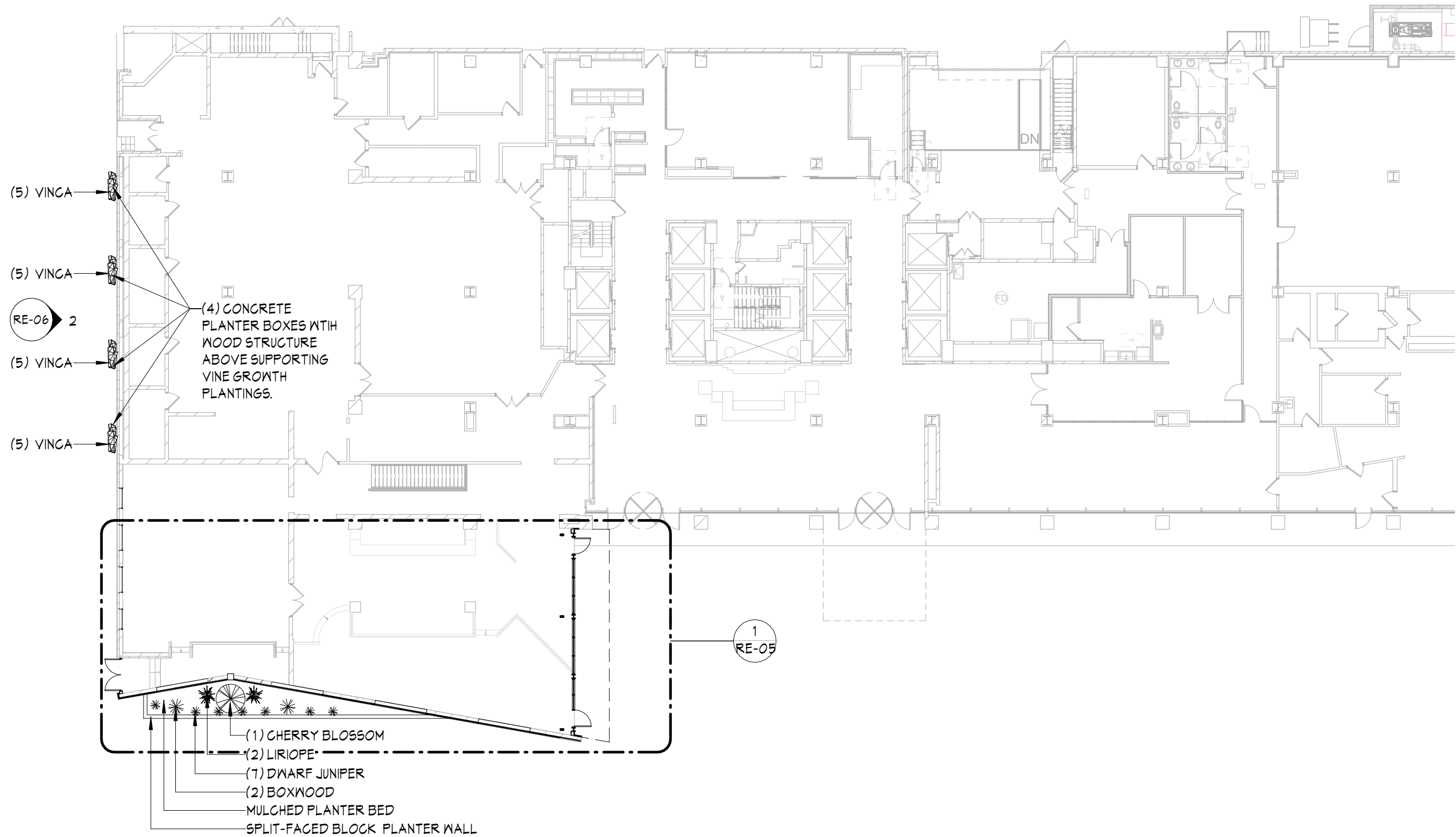
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EXTERIOR**

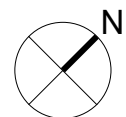
DATE: 03/24/2022
PROJECT #: 18104a

**OVERALL
GROUND FLOOR
PLAN**

RE-04

restaurant exterior plan proposed - overall




1" = 20'-0" 0 5' 10' 20'



**general notes:
restaurant improvements**

1. THE RESTAURANT EXTERIOR WALLS ARE TO RECEIVE THE SYSTEMS AND FINISHES DEPICTED HEREIN
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6. ALL FINAL DOOR & STOREFRONT FINISH DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO ORDERING

plan legend

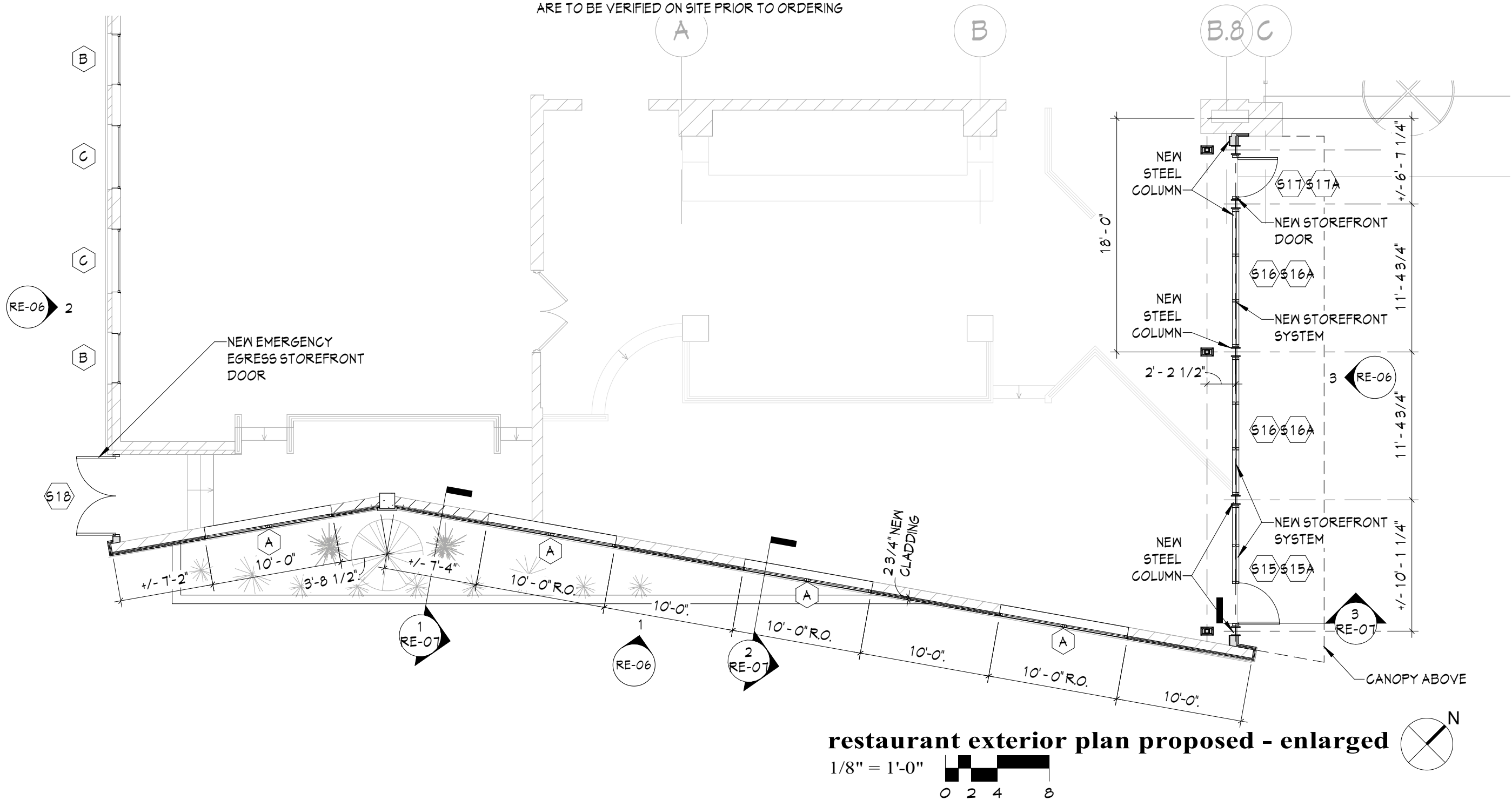
-  EXISTING WALL
-  EXISTING MASONRY WALL
-  NEW WALL

**K&D - 55
PUBLIC
SQUARE**

LIMITED EXTERIOR
REHABILITATION

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**RESTAURANT
EXTERIOR**

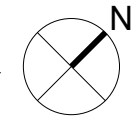
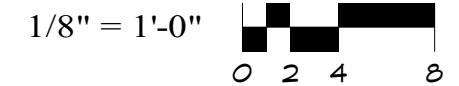
DATE: 03/24/2022
PROJECT #: 18104a

**PLAN
IMPROVEMENTS**

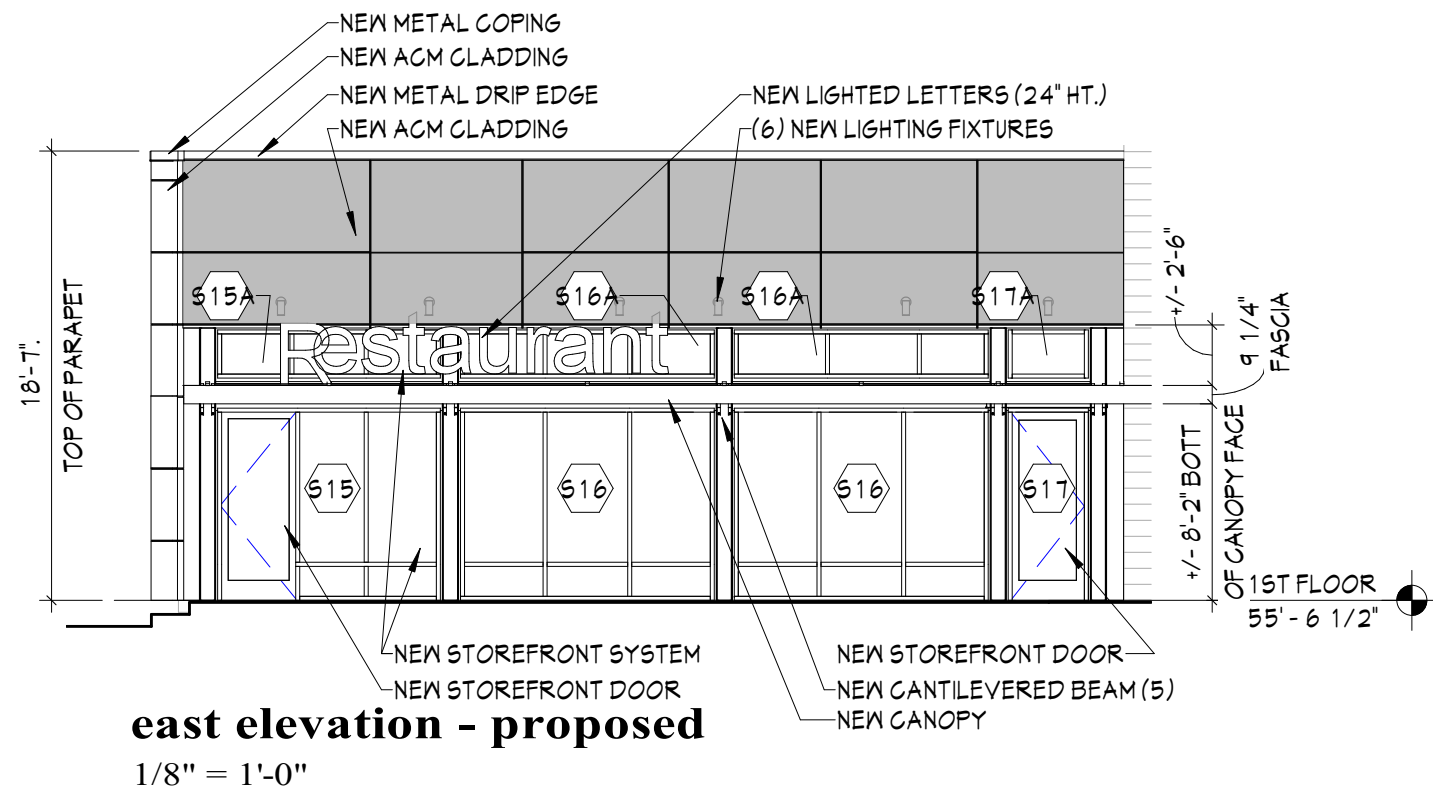
RE-05

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restaurant exterior plan proposed - enlarged



3/21/2022 12:34:56 PM



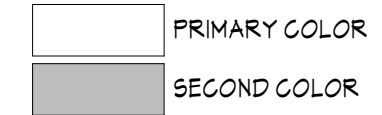
general notes:

restaurant improvements

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CLADDING PANEL LEGEND

ALL COLORS TO BE SELECTED FROM MANUFACTURER'S STOCK PALETTE

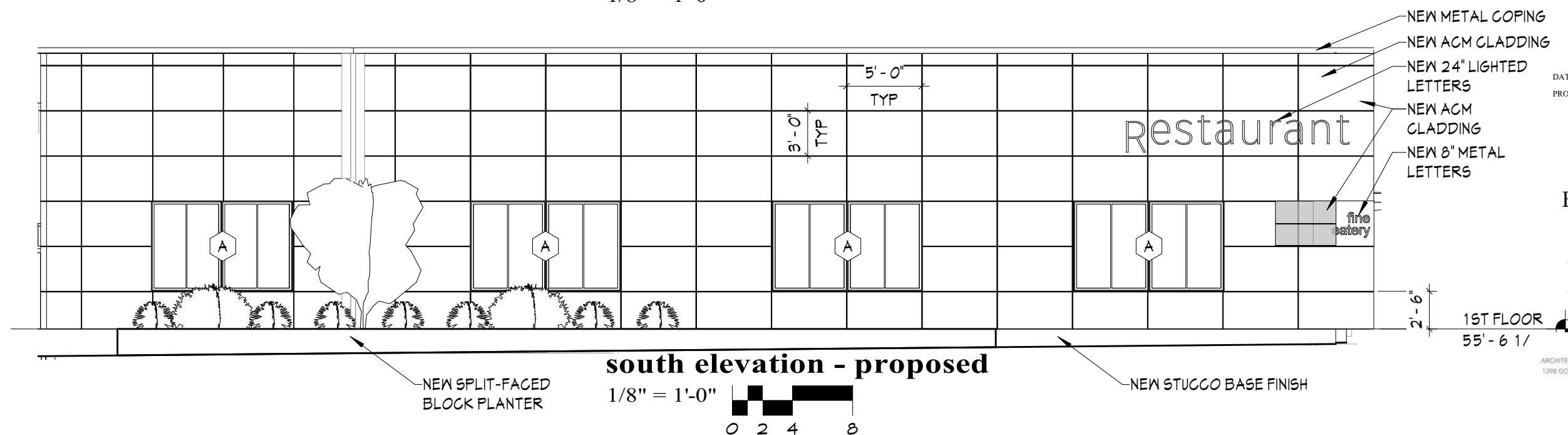
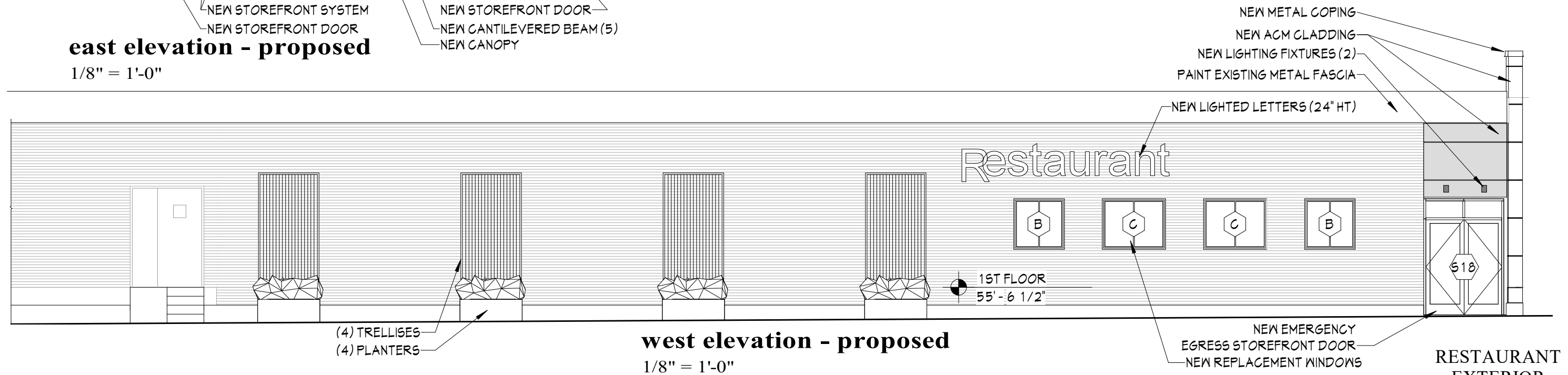


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RESTAURANT EXTERIOR

DATE: 03/24/2022
 PROJECT #: 18104a

ELEVATION PROPOSED

RE-06

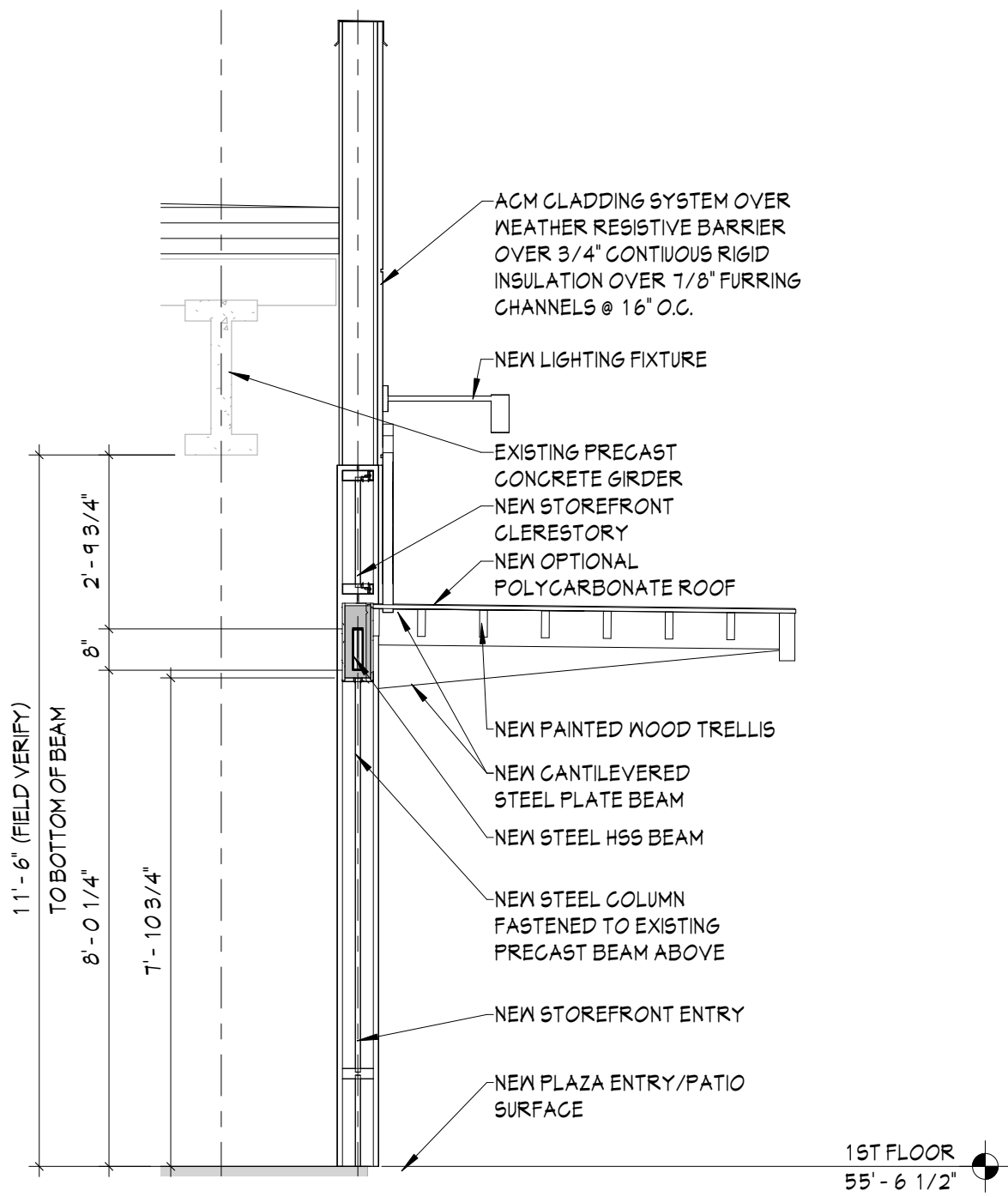
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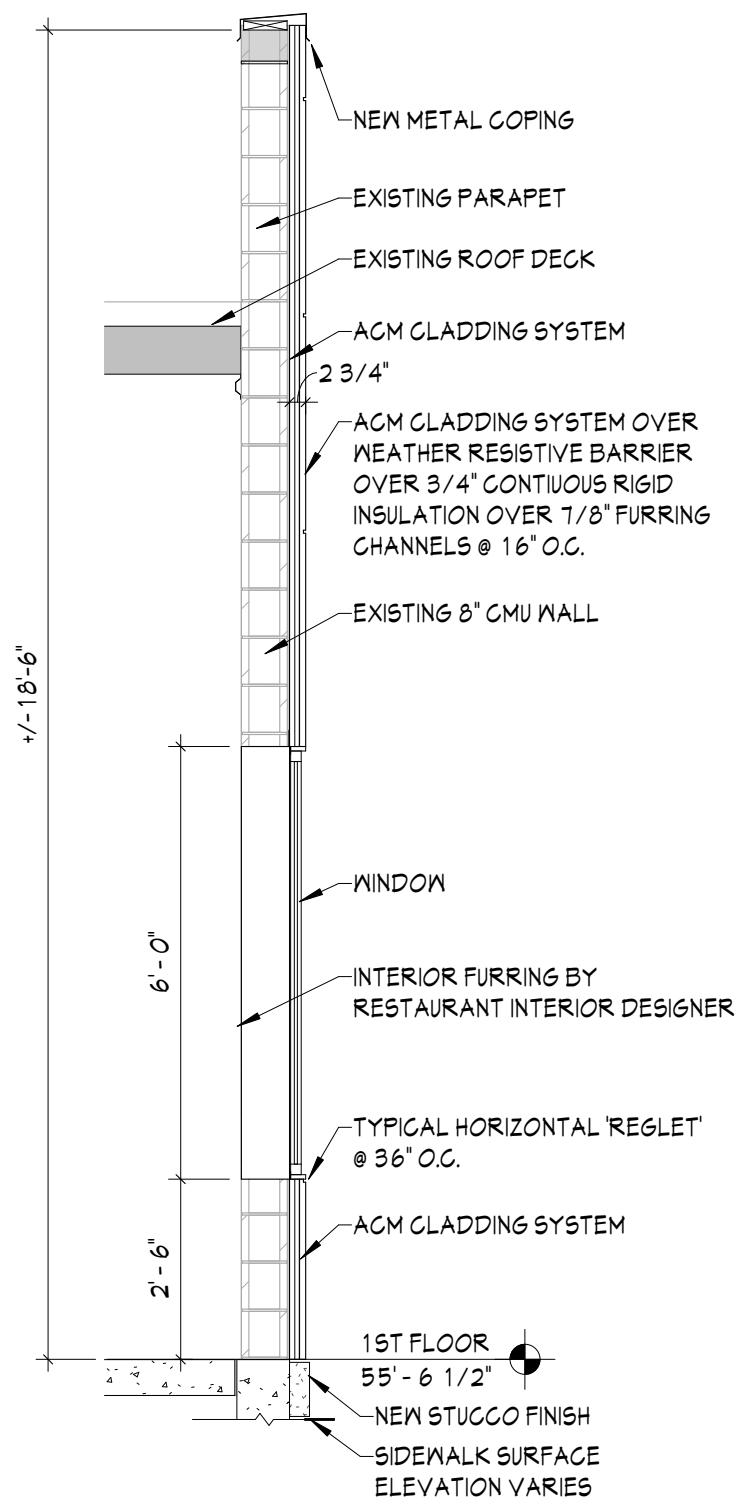
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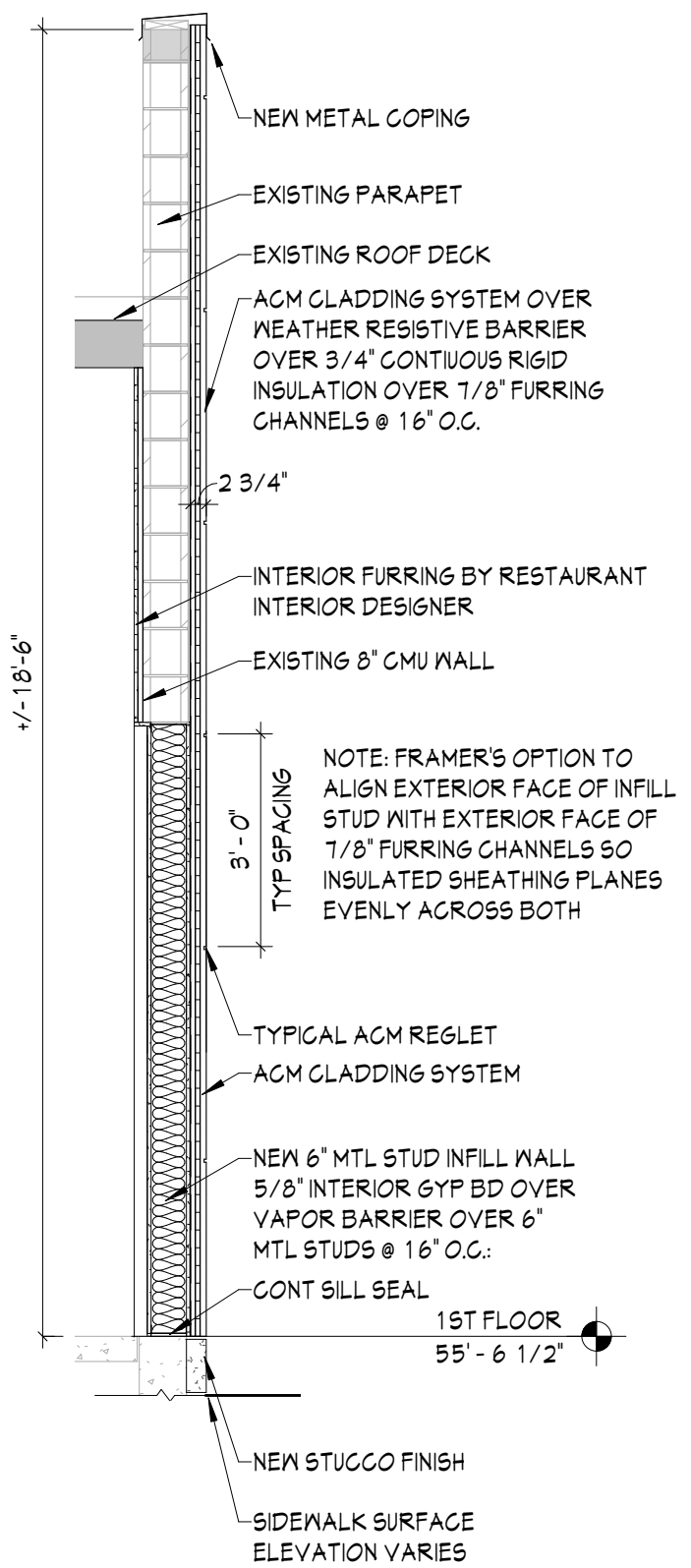
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3
wall section
3/8" = 1'-0"



2
wall section
3/8" = 1'-0"



1
wall section
3/8" = 1'-0"

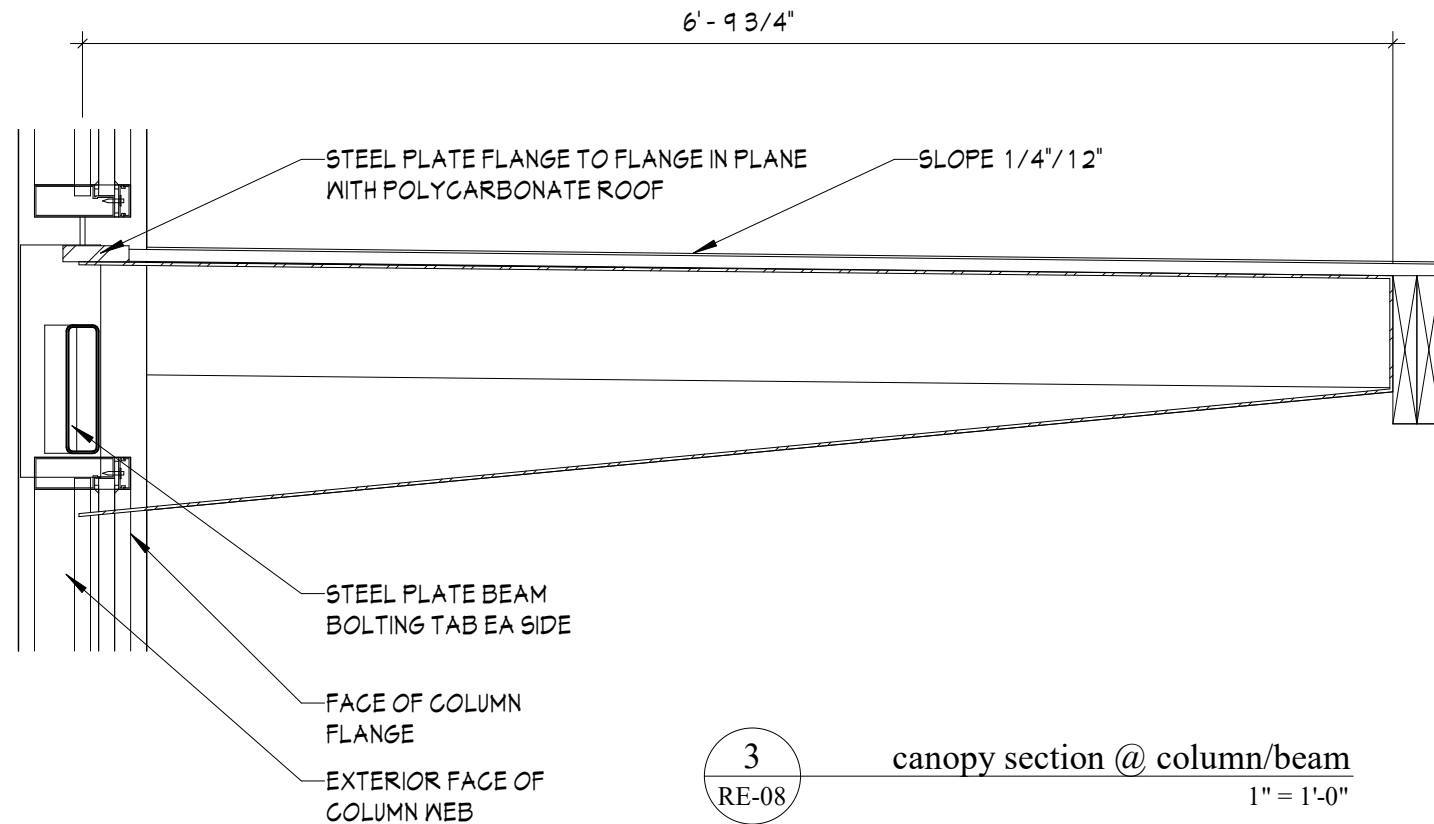
**RESTAURANT
EXTERIOR**

DATE: 03/24/2022
PROJECT #: 18104a

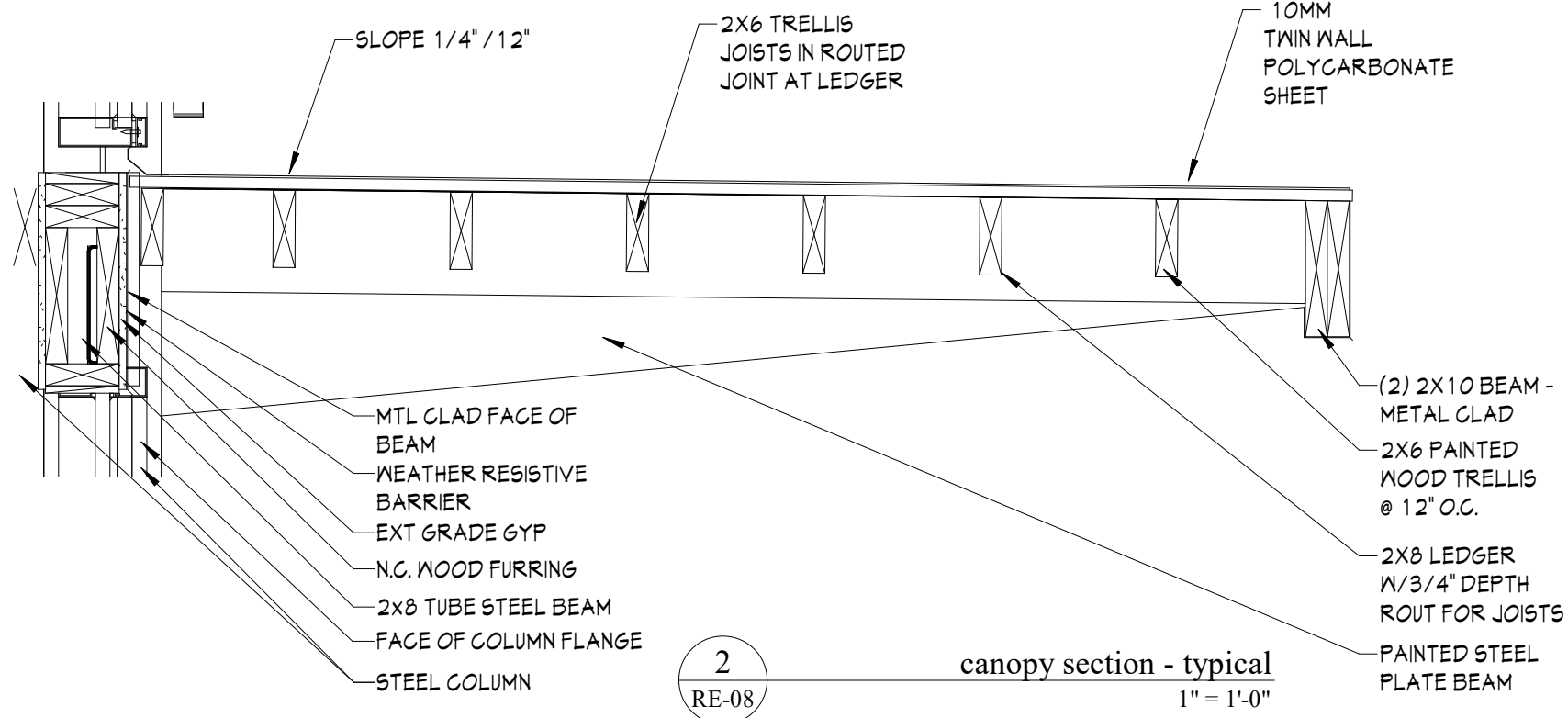
**WALL
SECTIONS &
DETAILS**

RE-07

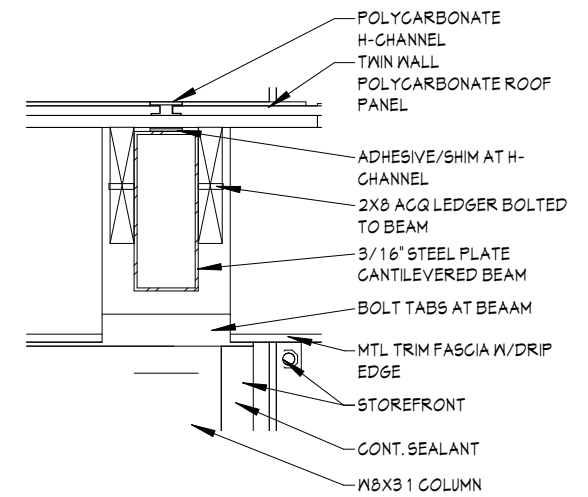
3/21/2022 12:34:59 PM



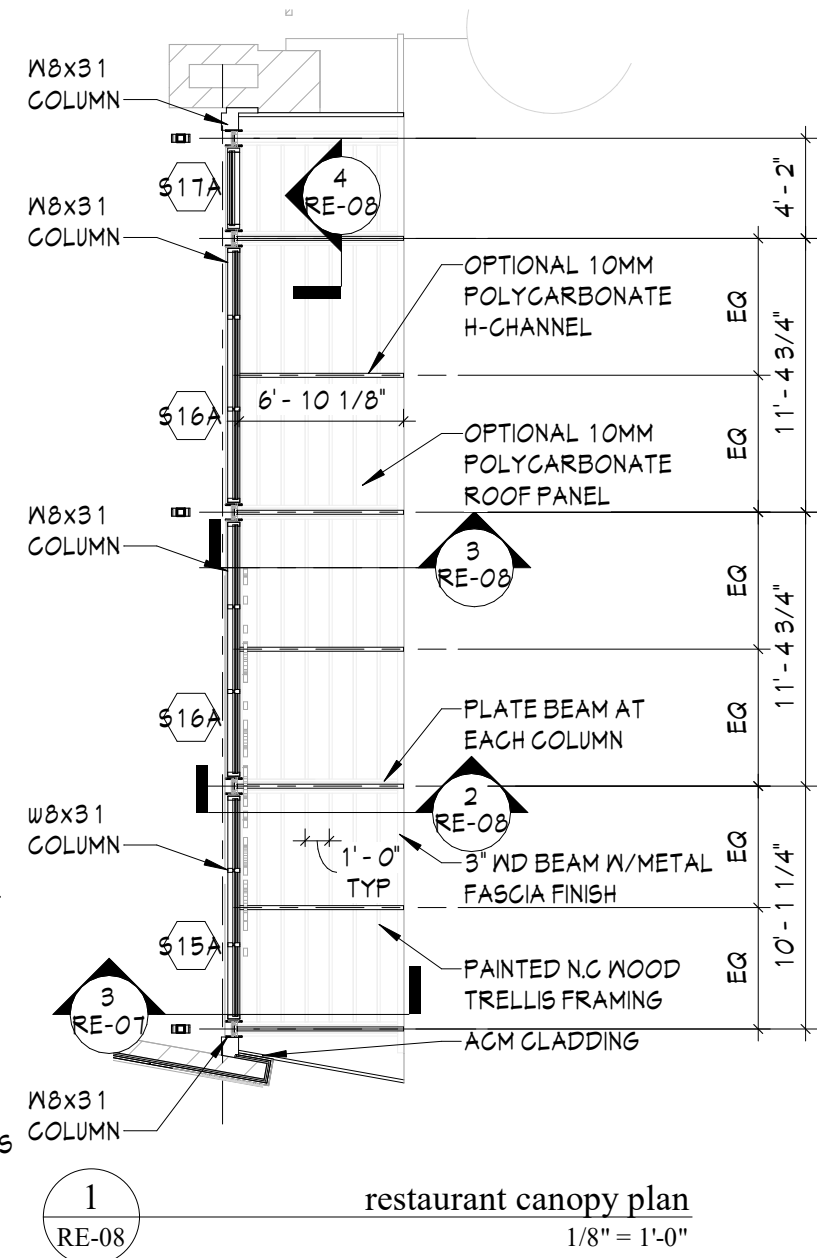
3 canopy section @ column/beam
1" = 1'-0"



2 canopy section - typical
1" = 1'-0"



4 plate beam - section
1" = 1'-0"



1 restaurant canopy plan
1/8" = 1'-0"

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**RESTAURANT
EXTERIOR**

DATE: 03/24/2022
PROJECT #: 18104a

**CANOPY PLAN
AND DETAILS**

RE-08

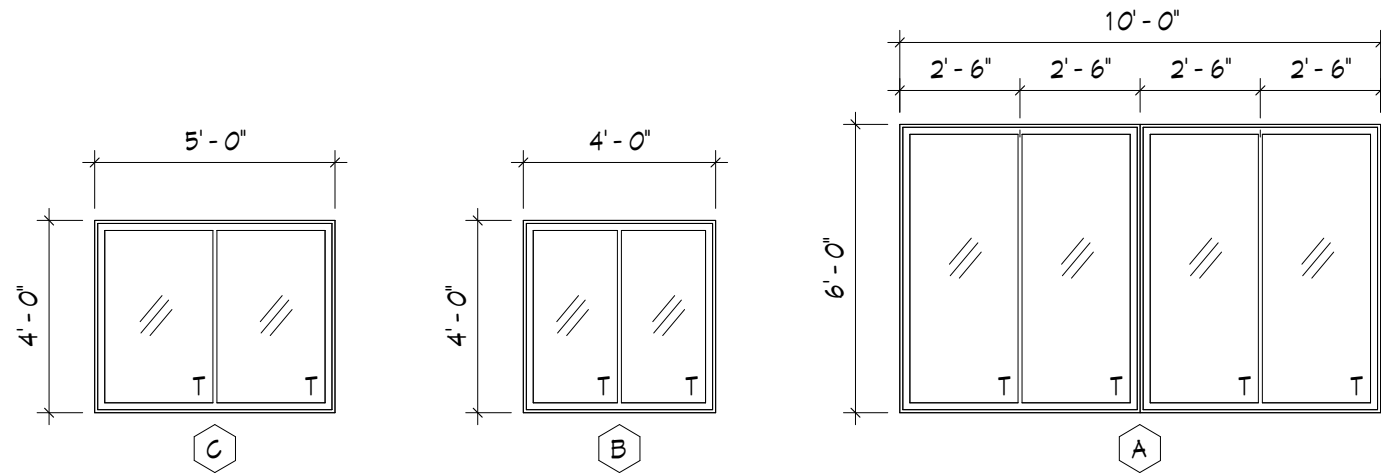
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3/21/2022 12:35:02 PM

general notes:

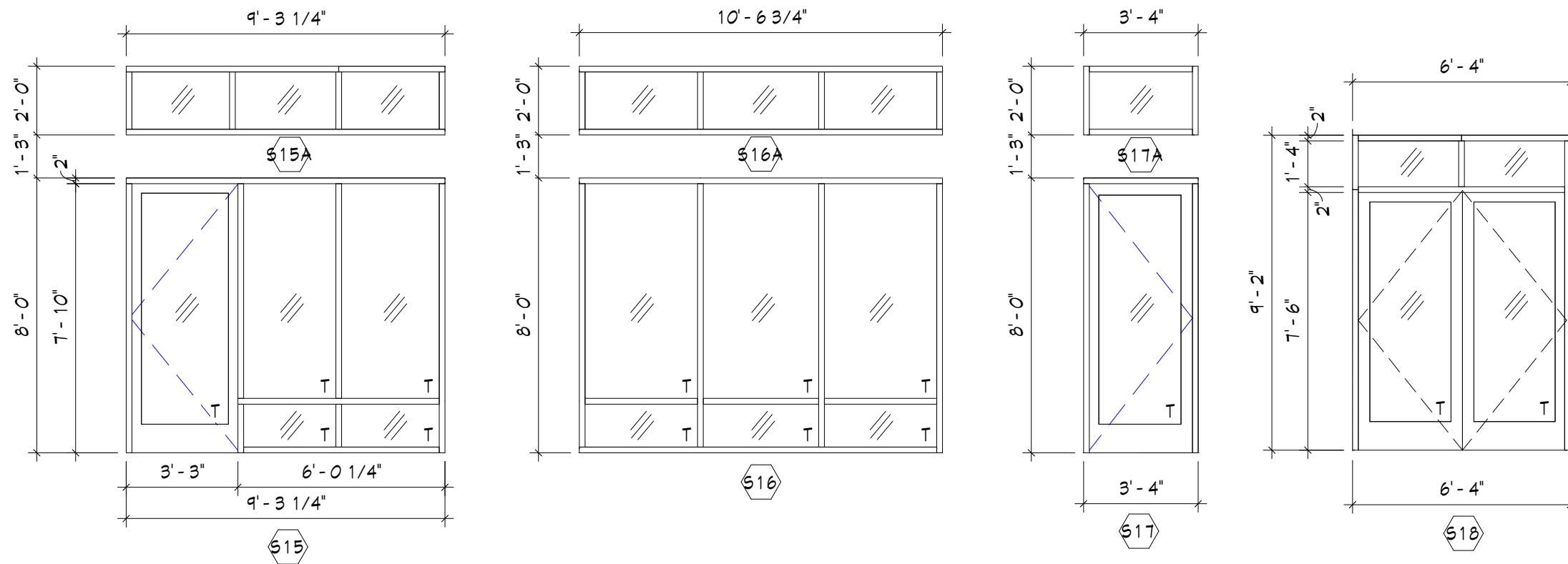
restaurant improvements

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window elevations

1/4" = 1'-0"



storefront elevations

1/4" = 1'-0"

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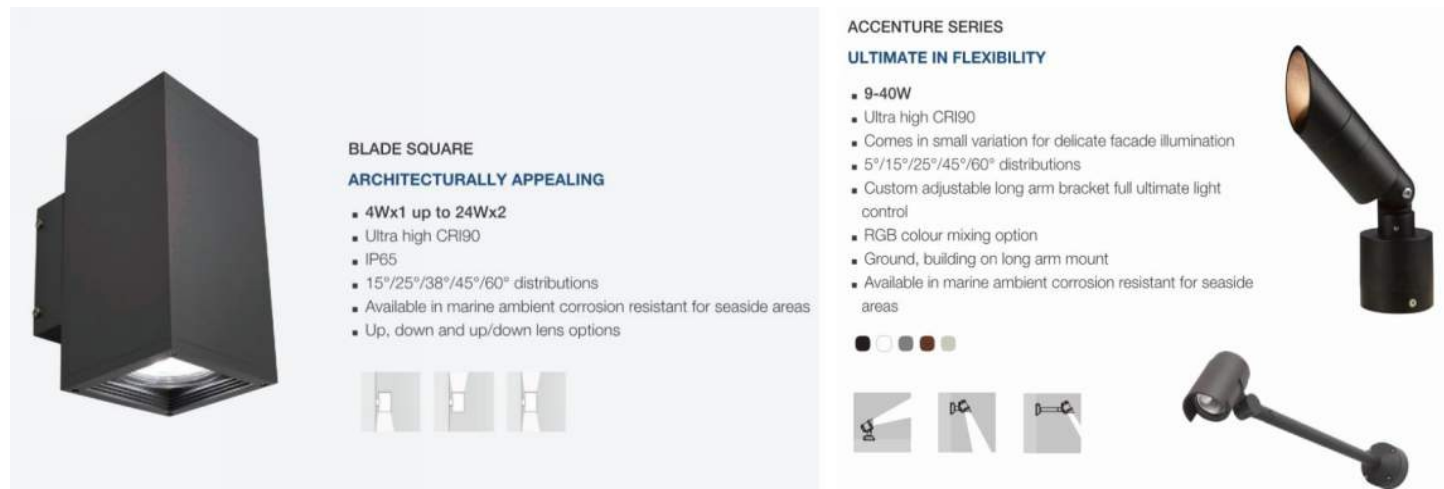
DATE: 03/24/2022
PROJECT #: 18104a

**DOOR, WINDOW
AND
STOREFRONT
TYPES**

RE-09

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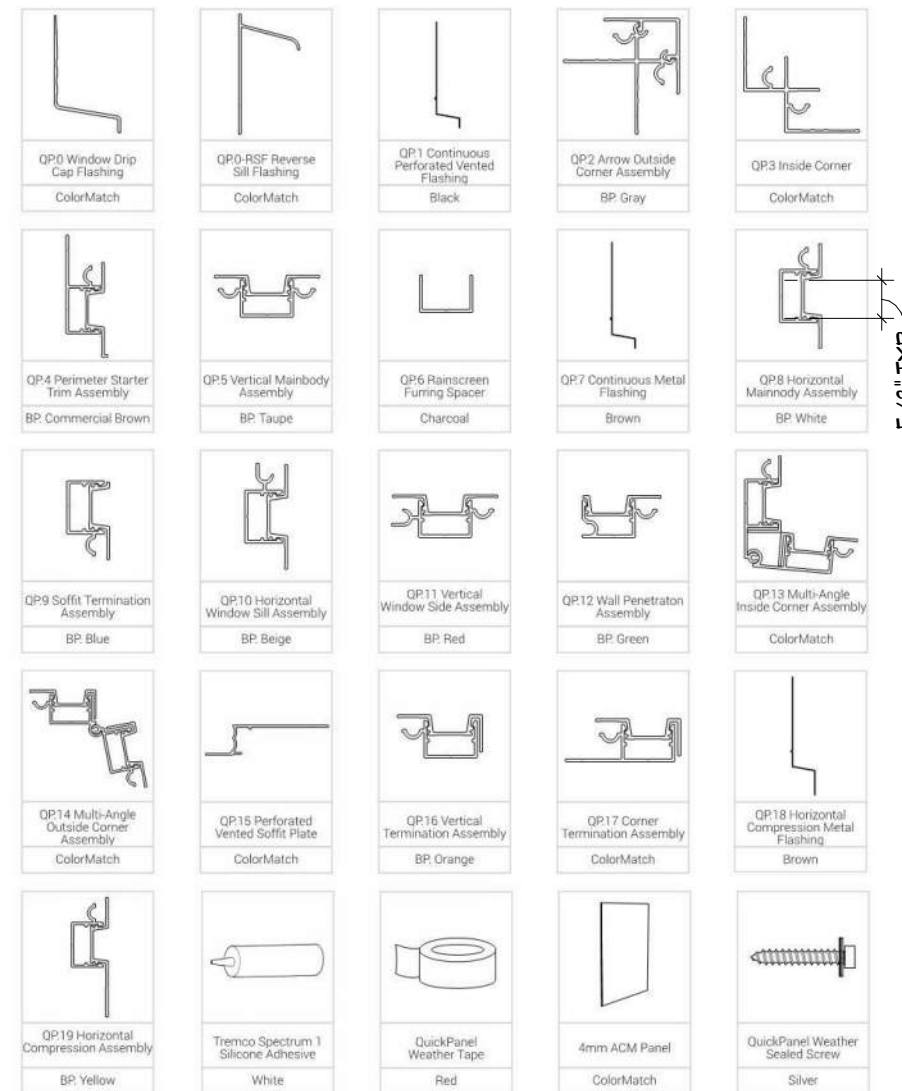
LIGHT FIXTURES

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GENERAL MATERIAL BENEFITS

Color Name	Color Type	Color Name	Color Type
Bone White	Solid	Anodic Clear Mica	Mica
Cadet Gray	Solid	Champagne Mica	Mica
Charcoal	Solid	Champagne Metallic	Metallic
Classic Black	Solid	Medium Grey Mica	Mica
Classic Bronze	Solid	Pewter Metallic	Metallic
Regal White	Solid	Pewter Mica	Mica
RVW White	Solid	Silver Metallic	Metallic
		Silversmith Mica	Mica

PRODUCT COLOR SELECTIONS



KIT OF PARTS PROFILES

**RESTAURANT
EXTERIOR**

DATE: 03/24/2022
PROJECT #: 18104a

**MATERIALS
RE-12**

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PERSPECTIVE 2

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PERSPECTIVE 1

RESTAURANT
EXTERIOR

DATE: 03/24/2022
PROJECT #: 18104a

PERSPECTIVES

RE-13

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PERSPECTIVE 4

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PERSPECTIVE 3

RESTAURANT
EXTERIOR

DATE: 03/24/2022
PROJECT #: 18104a

PERSPECTIVES

RE-14

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PERSPECTIVE 5

RESTAURANT
EXTERIOR

DATE: 3/24/2022
PROJECT #: 18104

PERSPECTIVES

RE-15

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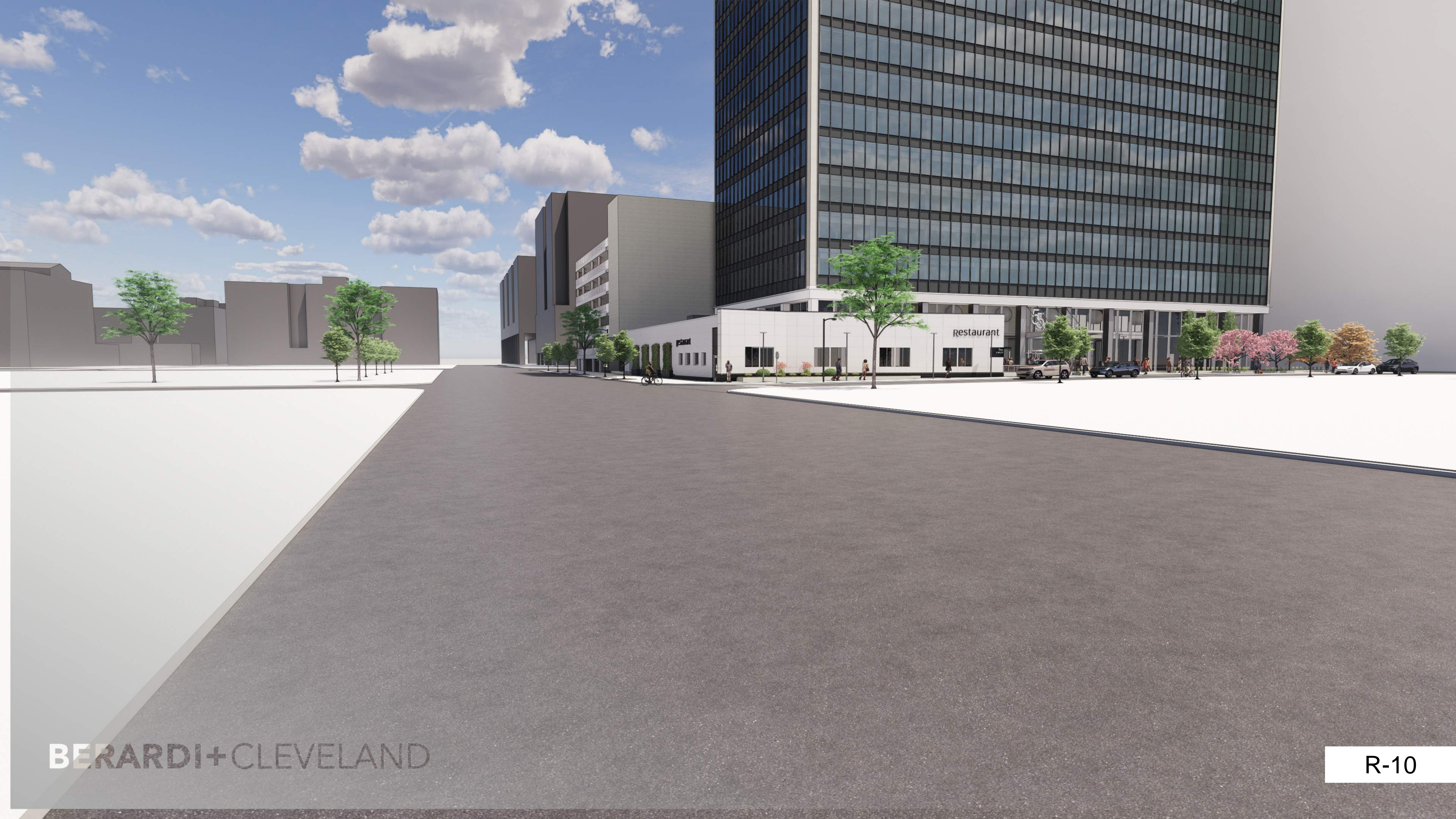


















Restaurant

Cleveland City Planning Commission

Special Presentations – public Art



April 1, 2022



April 1, 2022

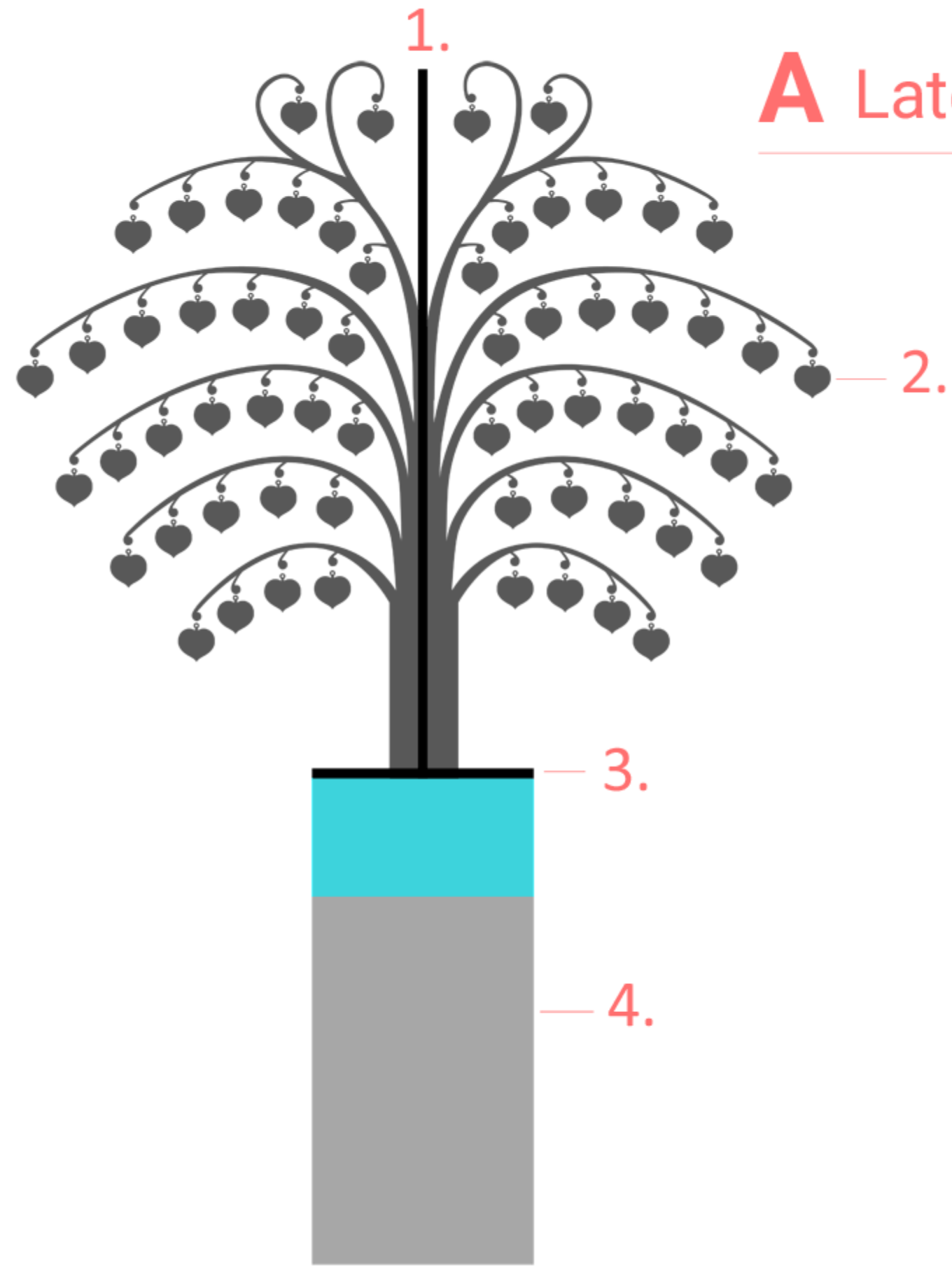
Tree of Hope and Joy Sculpture: Seeking Final Approval

Location: East 105th Street and Ashbury Park/Plaza

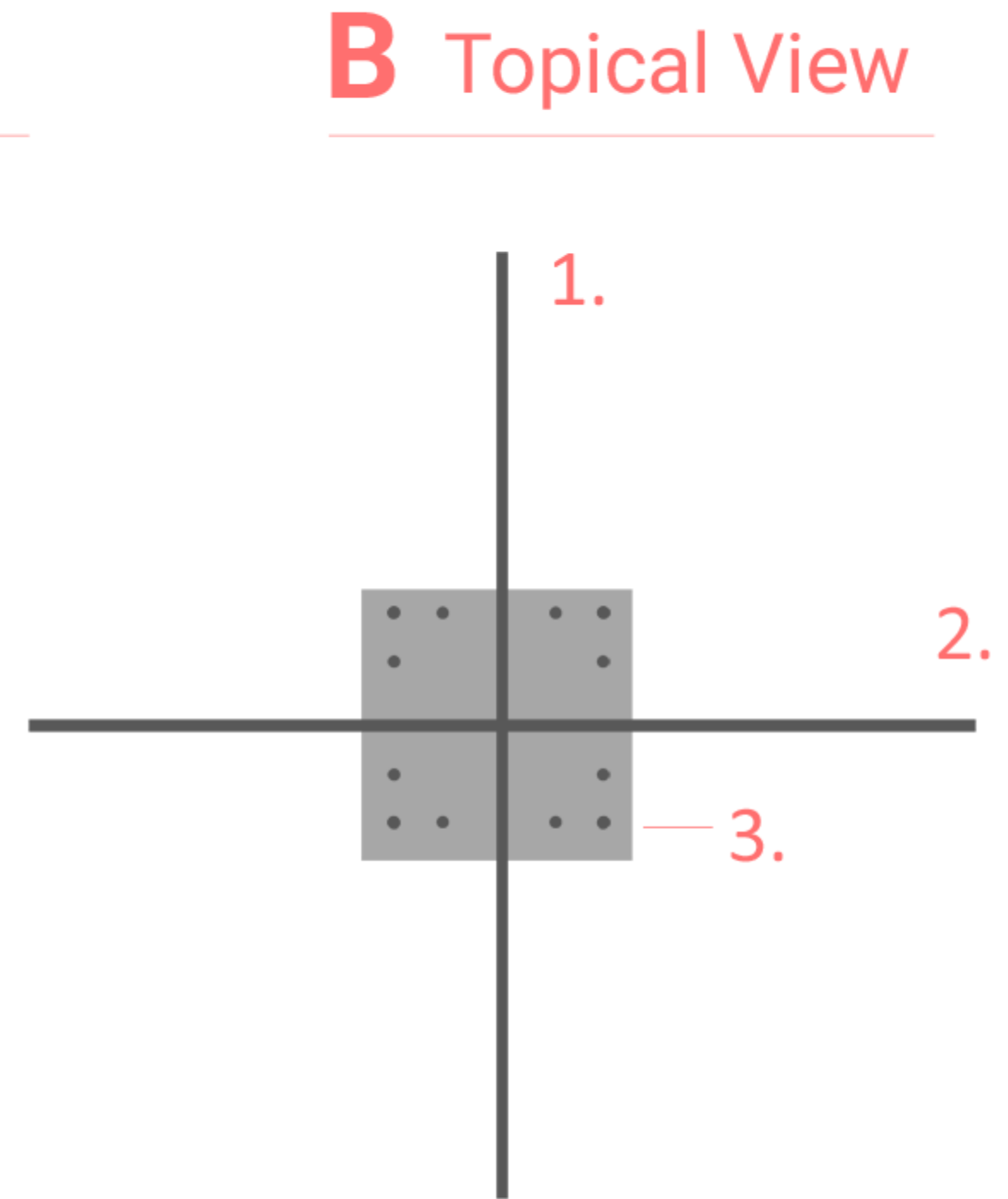
Presenters: Tarra Petras, Staff Coordinator

Vince Reddy, LAND Studio

2022 Glenville Tree Re-Design



A Lateral View



B Topical View

2022 Glenville Tree Re-Design

COVID-19 has had a substantial impact on supply chain and material cost across industries. This project has been likewise impacted. As a result, the previously accepted concept for the Tree of Hope and Joy has required a redesign. This 2022 update proposes that the tree can be created within budget while still allowing for a striking piece of art to be added to the community. The new design assumes that the tree and its leaves will be formed from sheet metal (stainless steel) with a weather resistant color finish.

A) LATERAL VIEW

The metal tree is **6.5 feet tall x 7 feet wide**. It will be bolted to a **2 foot x 2 foot x 5 foot** concrete base that will be sunk vertically into the ground at a depth of **4 feet - 4.5 feet** at the installation site. In total, it will have 124 laser engraved leaves.

1. The tree will be constructed from 4 forms cut from sheet metal and welded together at a perpendicular center axis.
2. Each form will consist of 7 branches that in total will hold 31 leaves per form. Each leaf is **4 inches by 4 inches** and will be connected to each branch by a **single welded steel jump ring**.
3. The completed tree will be welded to a 2 foot x 2 foot sheet of metal with pre-cut bolt holes for attachment to the concrete base.
4. The concrete base will be sunk at least $\frac{3}{4}$ of its total height into the ground at the installation site. The concrete base will be constructed locally to reduce transportation costs.

B) TOPICAL VIEW

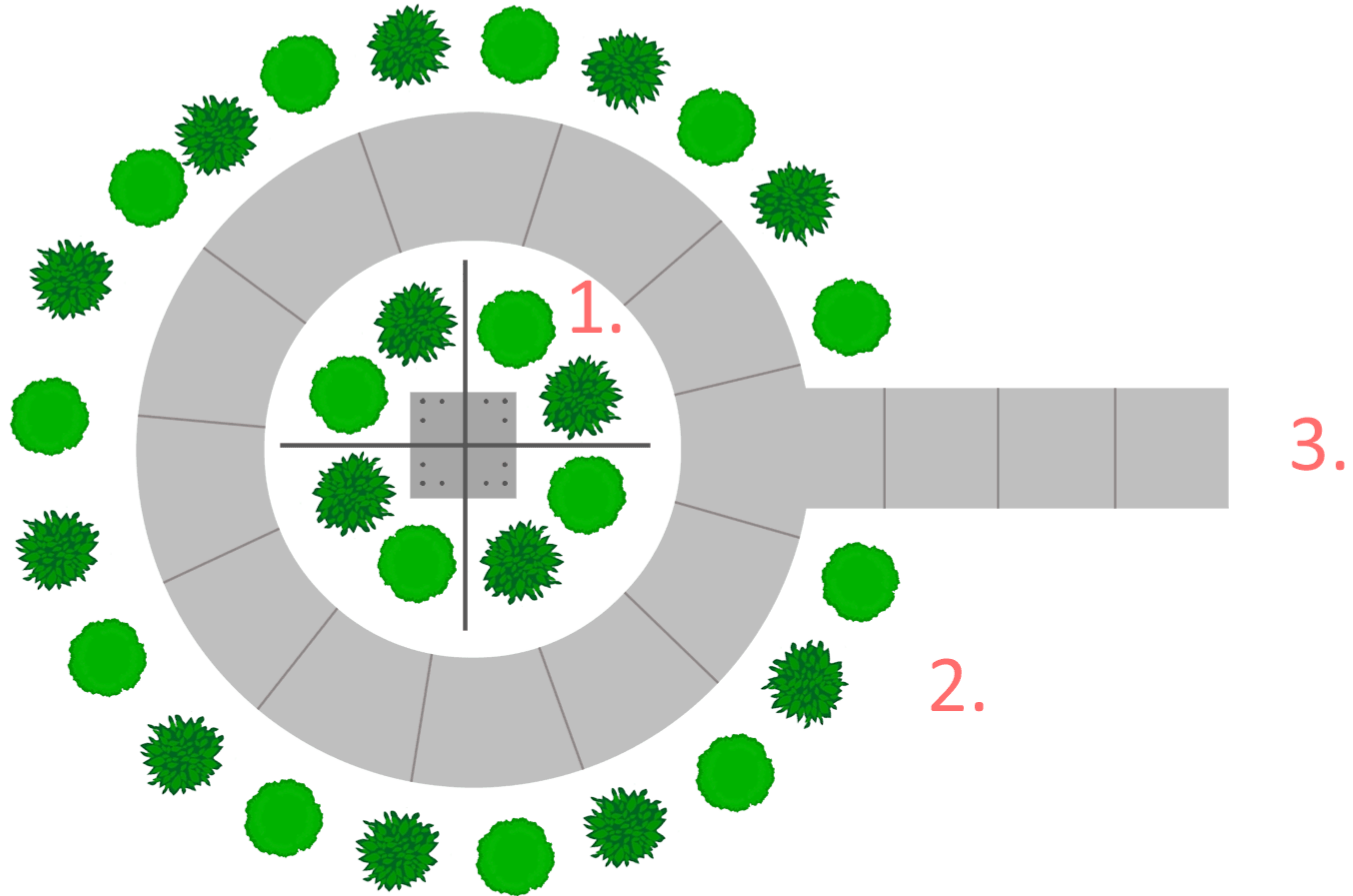
The four sheet metal forms intersect at a center axis. The completed tree will be welded to a sheet metal base that will be bolted to a concrete the concrete base.

1. Sheet metal form at Y axis
2. Sheet metal form at X axis
3. Sheet metal base with bolt hole positions

2022 Glenville Tree Re-Design

Proposed Walking Path

Topical View



2022 Glenville Tree Re-Design

In a March 25, 2022 meeting with the City Planning Commission, it was proposed that a walkway should be positioned around the tree to allow community members to be able to approach the tree and read the messages that are inscribed on it.

Proposed Walking Path

1. The tree will be positioned at the center of a designated area that currently has existing plantings. Existing plants can be arranged around the tree as illustrated. Using existing plants will help to control cost. Interior plants will act as a suggested parameter so that people have enough access to view the tree's leaves but they are discouraged from climbing on it or accessing its base.
2. A circular walkway made from concrete slab (or a less costly, but durable material) will be arranged in a circular pattern around the tree. Again existing plants can be reused to create an aesthetic arrangement.
3. A straight pathway will lead to and from the tree to the plaza proper. (Pointing North)

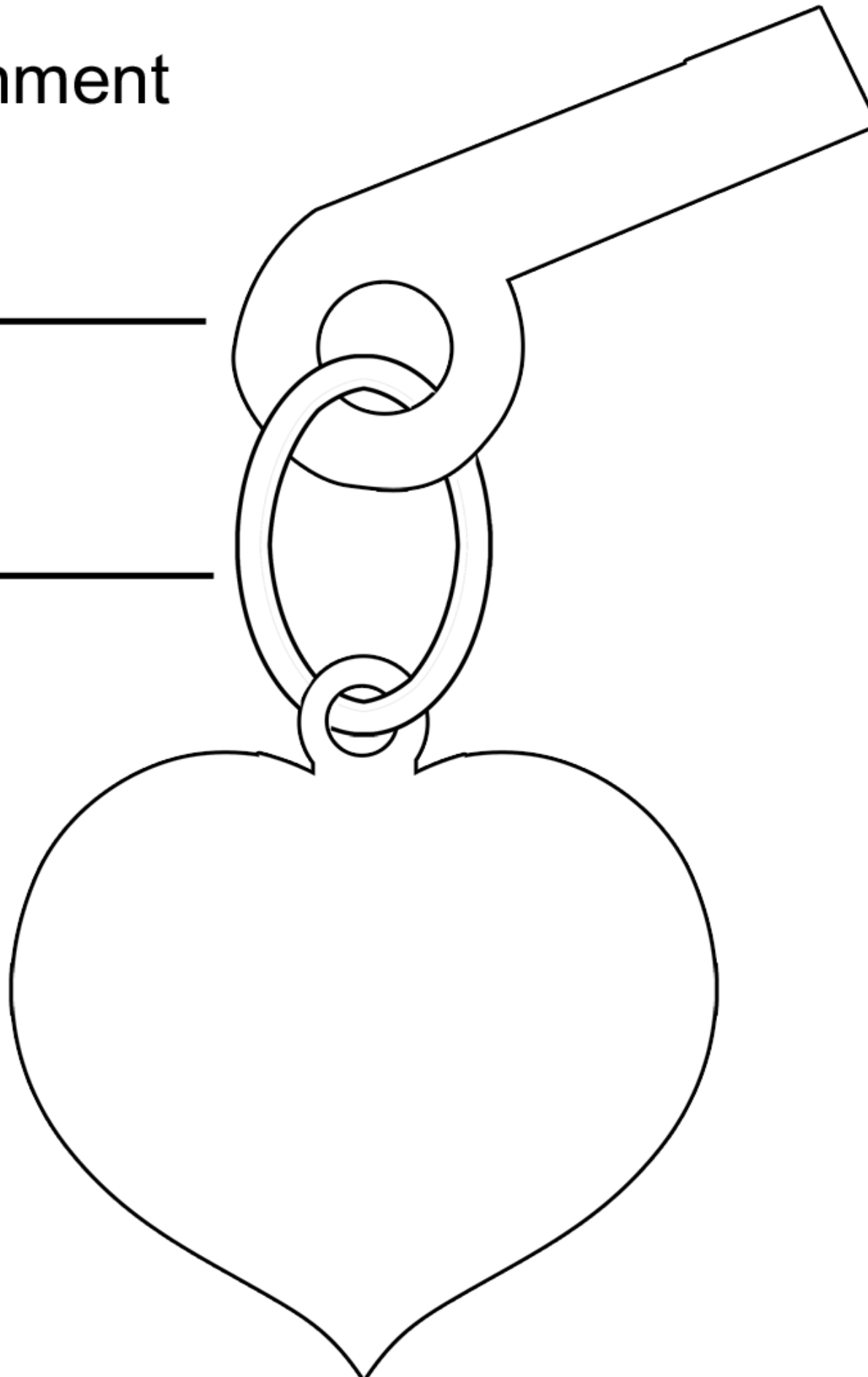
2022 Glenville Tree Re-Design

Leaf and Branch Attachment

Branch "bud" —————

Welded steel jumpring —————

Heart shaped leaf —————



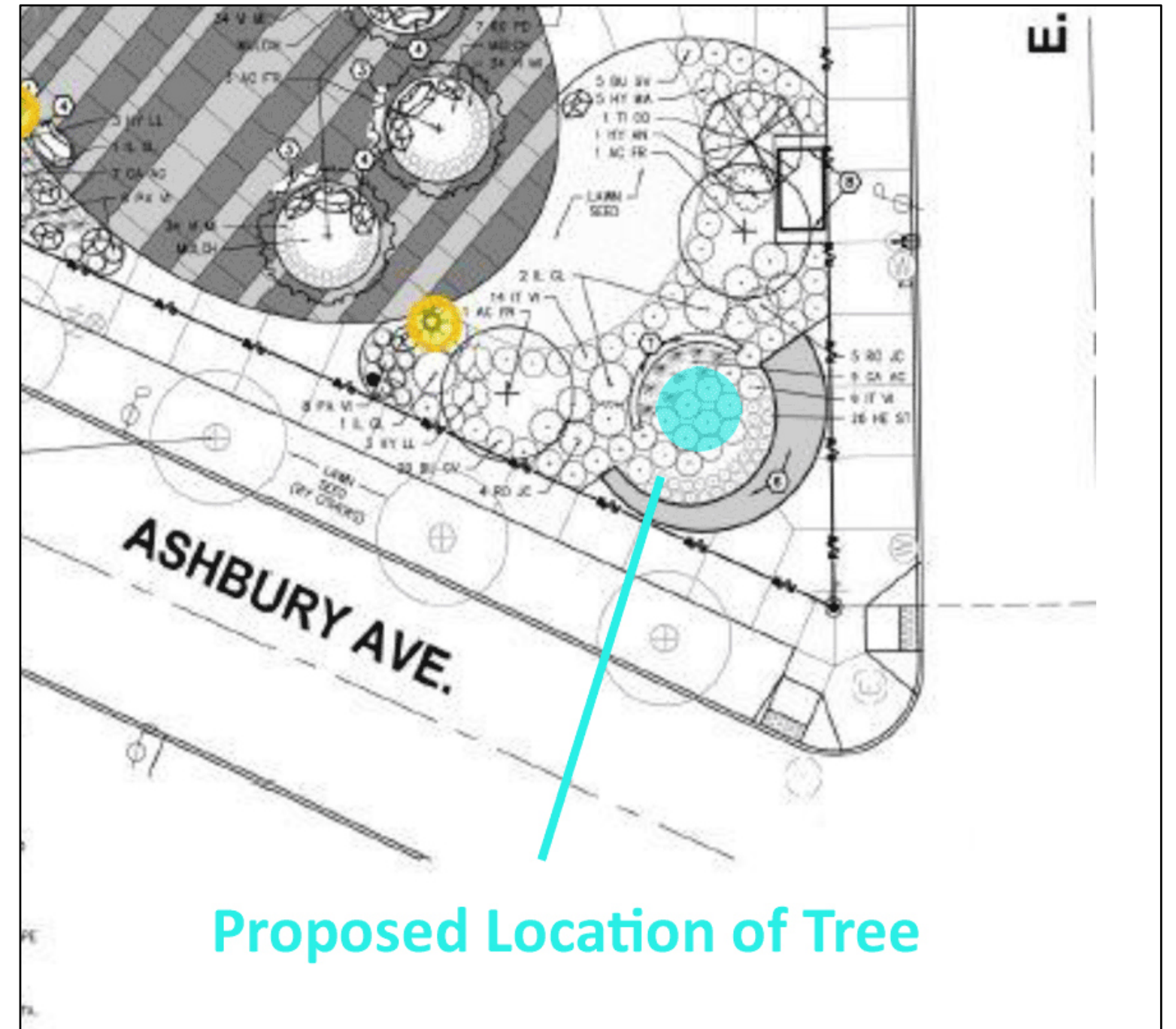
2022 Glenville Tree Re-Design - On Site Illustration



The completed 6.5 foot tall by 7 foot wide stainless steel tree will be finished in colored Polyurea coating. This is a simplified rendering, but the tree's "trunk" will be shades of bronze, while the leaves will be gold with black engraved messages.

Each face of the heart-shaped leaves will feature a word or phrase that inspires Hope or Joy, while the back will be inscribed with the name of the person who submitted it.

2022 Glenville Tree Re-Design - On Site Illustrations



2022 Glenville Tree Re-Design - Expenses & Payments

Invoices Paid By Cleveland to Project

ID	DATE SUBMITTED	DESCRIPTION	REQUESTED	AMOUNT PAID
1	04/14/2021	40% down to start contract	\$6,400.00	\$6,400.00
2	08/16/2021	REJECTED - More info needed - Resubmit	\$3,200.00	\$0.00
3	02/28/2022	Design approval	\$3,200.00	\$0.00
TOTAL PAID			\$6,400.00	

Project Expenses to Date

ID	DATE SUBMITTED	DESCRIPTION	AMOUNT PAID
1	04/10/2021	Concept drawings for 3D artist (Sequoia / 3 hours)	\$375.00
2	05/21/2021	Paid artist for Zbrush 3D render (previous design)	\$1,500.00
3	06/25/2021	White Cloud - materials test	\$140.00
4	08/06/2021	Paid artist for Zbrush 3D render (previous design)	\$500.00
5	02/06/2022	Updated concept drawings (Sequoia / 2.5 hours)	313
TOTAL SPENT			\$2,828.00

2022 Contractor Quotes

1	Feb-22	White Cloud 2022 quote for rendering tree.	\$12,000.00
2	Mar-22	Landscaper quote for creating pathway around tree (tentative).	TBD

[Link to 2022 Price Quote](#)



April 1, 2022

DF2022-019 – Pat Perry Foundry Mural: Seeking Final Approval

Address: 1831 Columbus Road

Presenter: Joe Lanzilotta, LAND Studio



PAT PERRY MURAL at **THE FOUNDRY**

03.23.2022

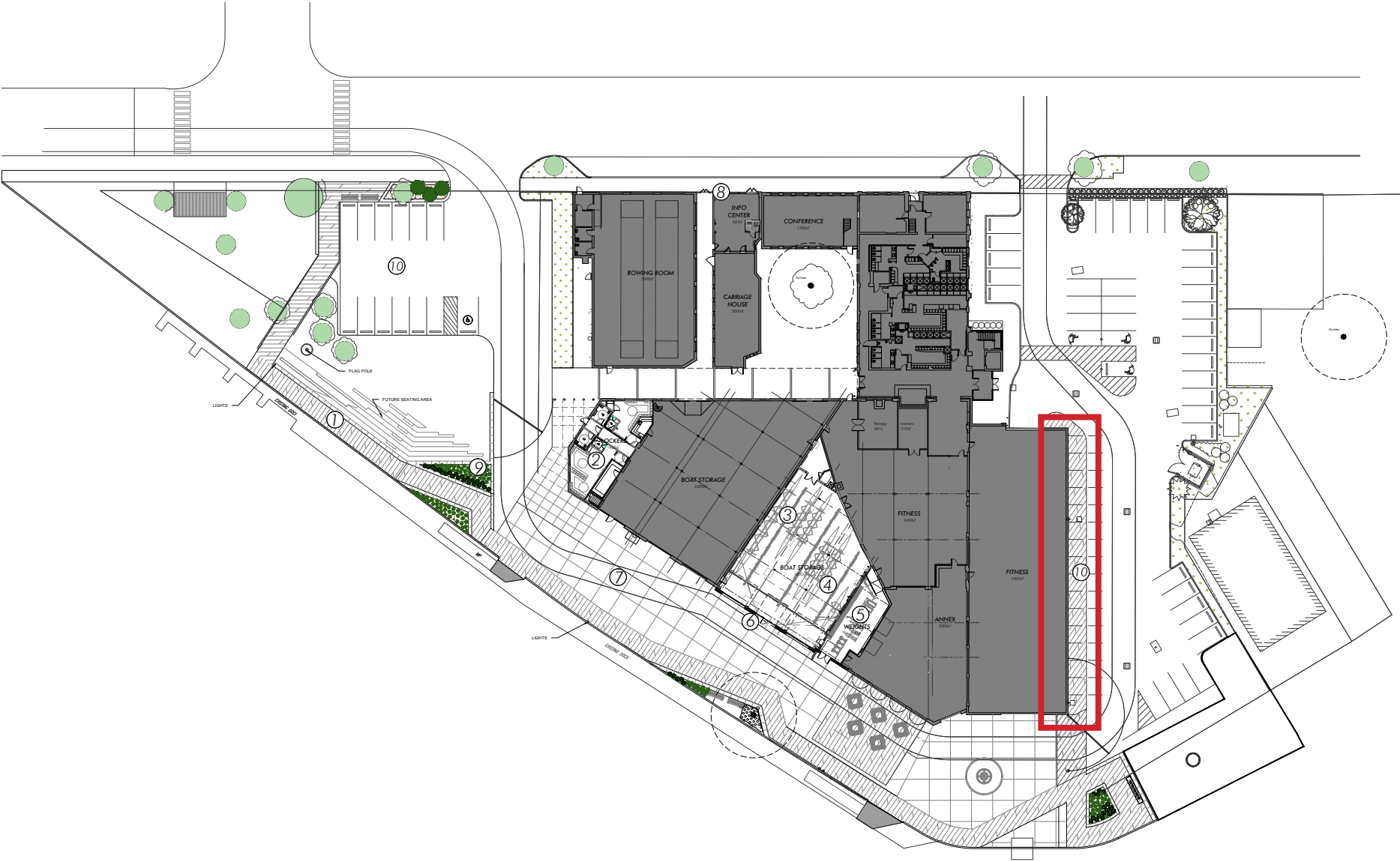
Produced by LAND studio for The Foundry

L | A | N | D studio

Location | Big House



Location | Big House



Pat Perry | Detroit

Narrative

Abstracted Realism

Subtle Color Palette

Real meets Fantastic

[Pat Perry Website](#)

Pat Perry (b. Michigan, 1991) is an American visual artist primarily painting, drawing, photographing, and installing large-scale outdoor mural installations.

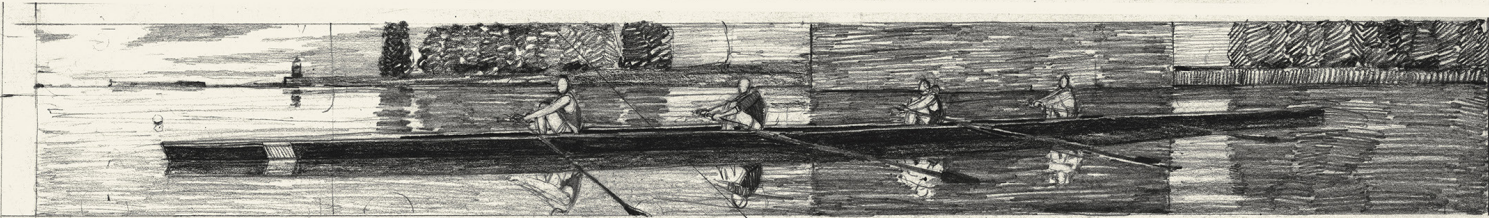
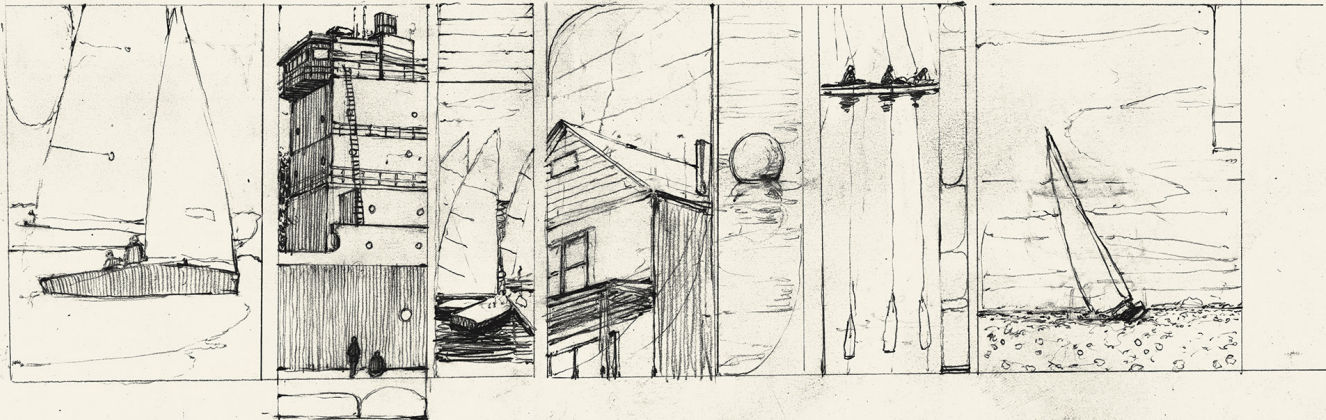
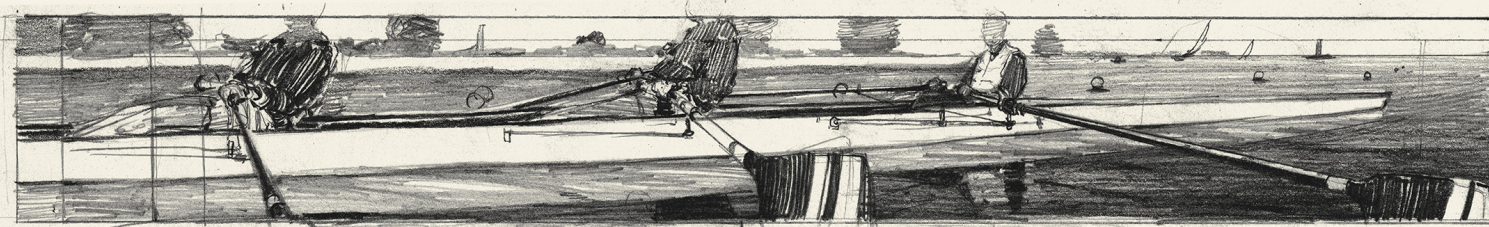
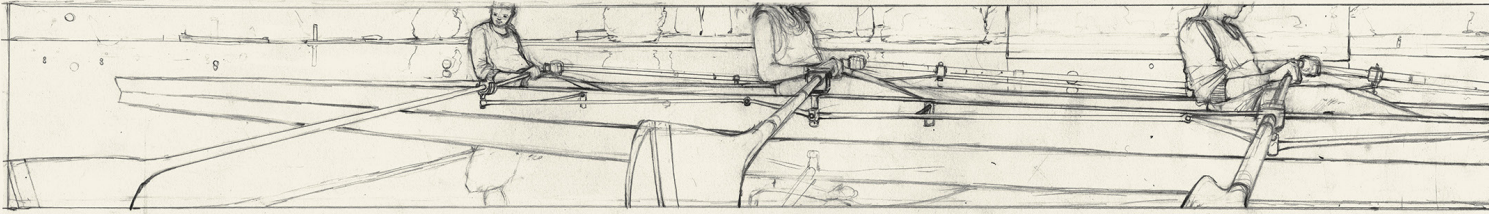
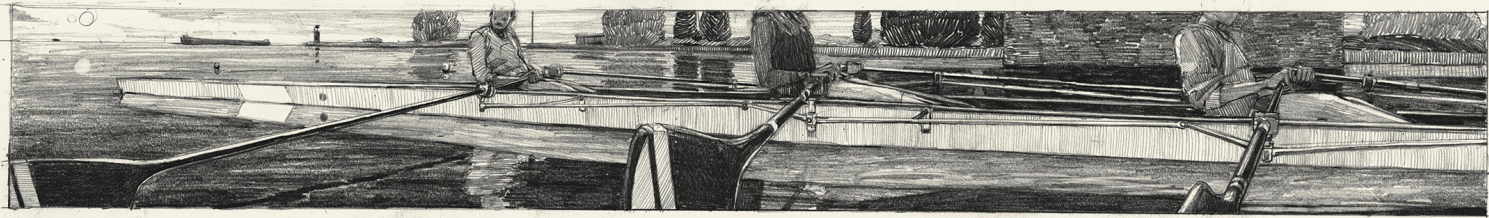
Throughout the 2010's, a series of sketchbooks and photos documenting years of traveling itinerantly around the United States, accidentally became some of Perry's most well-known works. Simultaneously, his large-scale works and posters have called attention to various social causes through collaborations with groups such as the Beehive Design Collective, AptArts, No More Deaths, and the UN High Commissioner For Refugees.

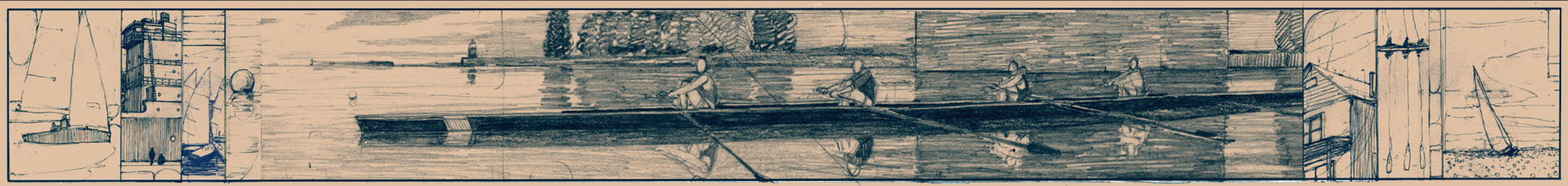
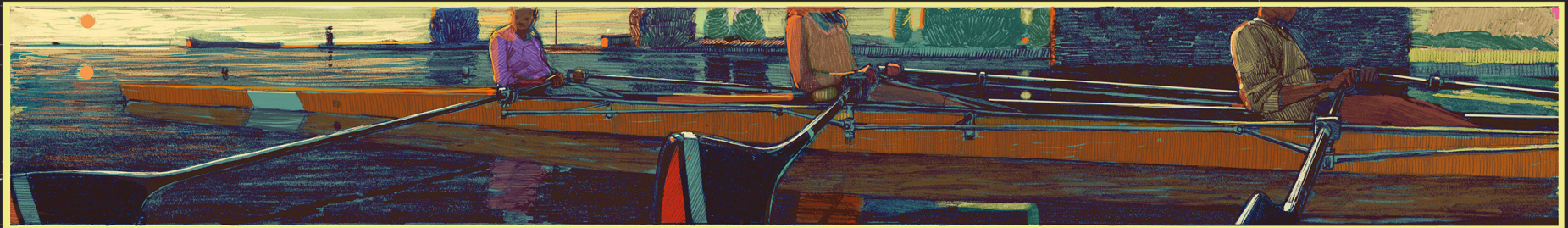
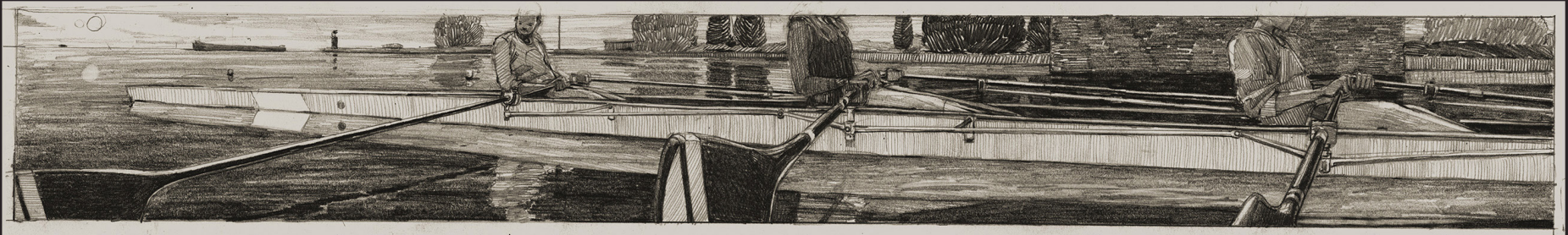
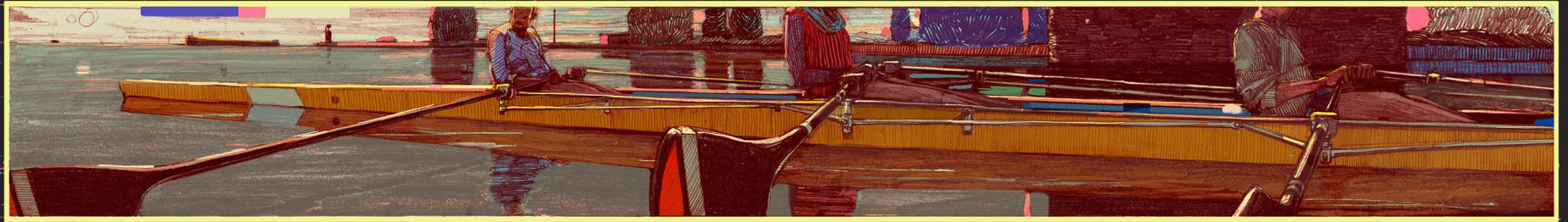
In 2018, Perry's largest body of paintings debuted as a solo exhibition titled, National Lilypond Songs at UICA in Grand Rapids, Michigan. In early 2020, several of the works were exhibited alongside new works in a solo exhibition titled, Song and Dance at Takashi Murakami's Hidari Zingaro gallery in Tokyo.

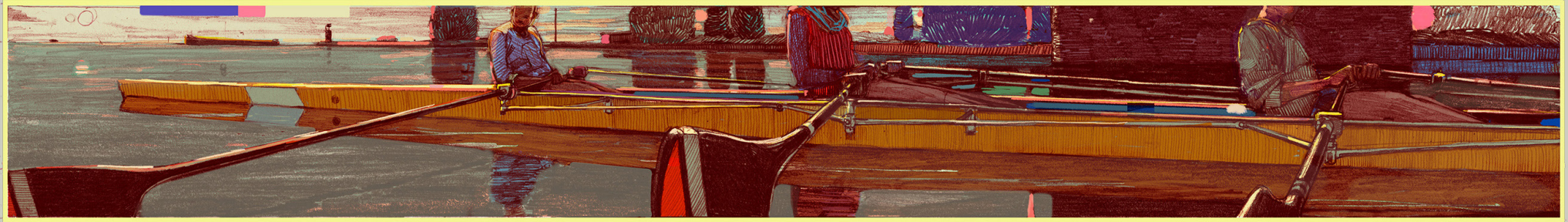
Perry's ongoing series of Recital works use a fictional group of performers to animate social and emotional effects of 21st century technologies, as well as knowledge limits of individual meaning-making. The works include paintings, drawings, and installations of life-size performers on interstate medians and roadsides throughout the Midwest. Pat works and lives in a small downtown neighborhood on Detroit's East Side.

SKETCH

ONE



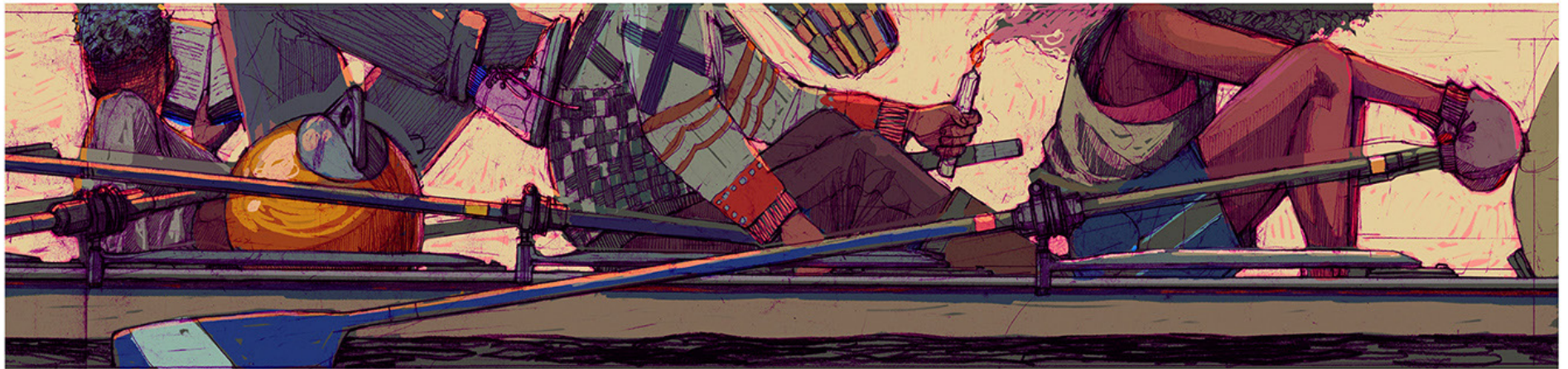
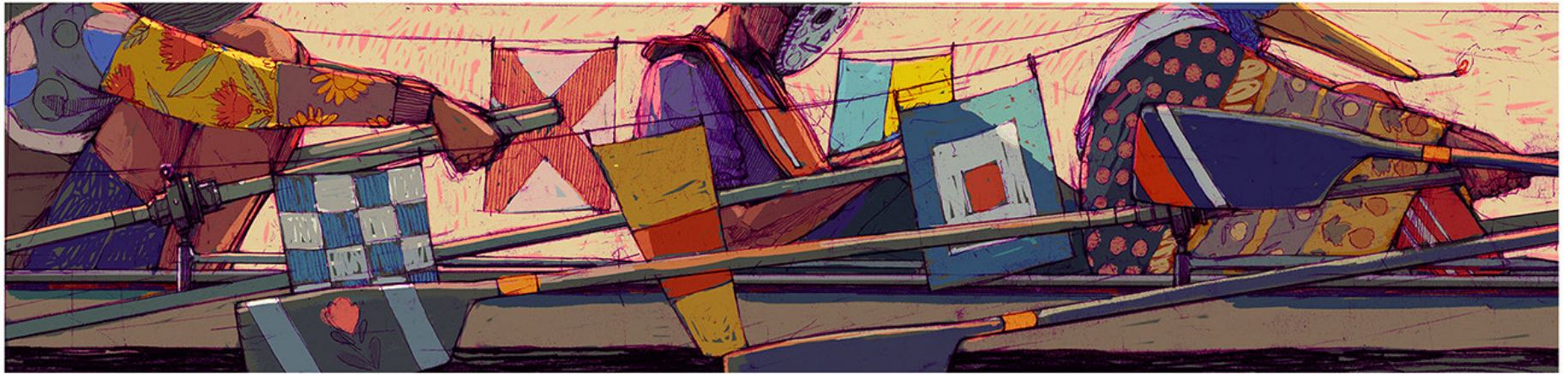








SKETCH TWO





Near West Design Review Case



April 1, 2022

NW2022-008 – Driftwood Apartment Building New Construction:

Seeking Schematic Design Approval

Project Address: 1111 Fairfield Avenue

Project Representative: Aaron Taylor, J Roc Development

Ward 3 - Councilmember McCormack



SPA: Tremont



DRIFTWOOD
1111 FAIRFIELD AVENUE

DESIGN REVIEW
EAO.03.22.2022



OVERVIEW

A.2	CONTENT
A.3	OVERVIEW
A.4	LOCATION MAP
A.5	VICINITY MAP

OVERVIEW

A.6	SURVEY
A.7	SITE REQUIREMENTS
A.8	EXISTING SITE CONDITIONS
A.9	SITE CONTEXT
A.10	SITE CONTEXT
A.11	PROPOSED SITE PLAN
A.12	BUILDING SUMMARY

ARCHITECTURAL DRAWINGS

A.13	LOWER LEVEL FLOOR PLAN
A.14	GROUND FLOOR PLAN
A.15	SECOND FLOOR PLAN
A.16	THIRD FLOOR PLAN
A.17	FOURTH FLOOR PLAN
A.18	ROOF PLAN
A.19	RENDERED VIEWS
A.20	RENDERED VIEWS
A.21	RENDERED VIEWS
A.22	RENDERED VIEWS
A.23	RENDERED VIEWS
A.24	RENDERED VIEWS
A.25	RENDERED VIEWS
A.26	RENDERED VIEWS
A.27	RENDERED VIEWS
A.28	EXTERIOR MATERIALS
A.29	BUILDING ELEVATIONS
A.30	BUILDING ELEVATIONS
A.31	GROUND FLOOR PROGRAM DIAGRAM

PROJECT INFORMATION

PROPERTY: 1111 FAIRFIELD AVE. CLEVELAND, OH
RE: DESIGN REVIEW SUBMISSION
SUBMISSION DATE: 03/22/2022

ARCHITECT: EVIDENT ARCHITECTURE OFFICE
CONTACT: Jason Warberg
jason@evidentoffice.com
503-799-8671

LANDSCAPE: TBD
CONTACT:

CIVIL: OSBORN ENGINEERING
CONTACT: David Watkins
216-861-2020

OWNER: 1209 FAIRFIELD LLC
CONTACT: Kyle Konczos
kyle@jrocdevelopment.com
216-469-3243

CONTENT

ZONING SUMMARY

PROPERTY INFORMATION

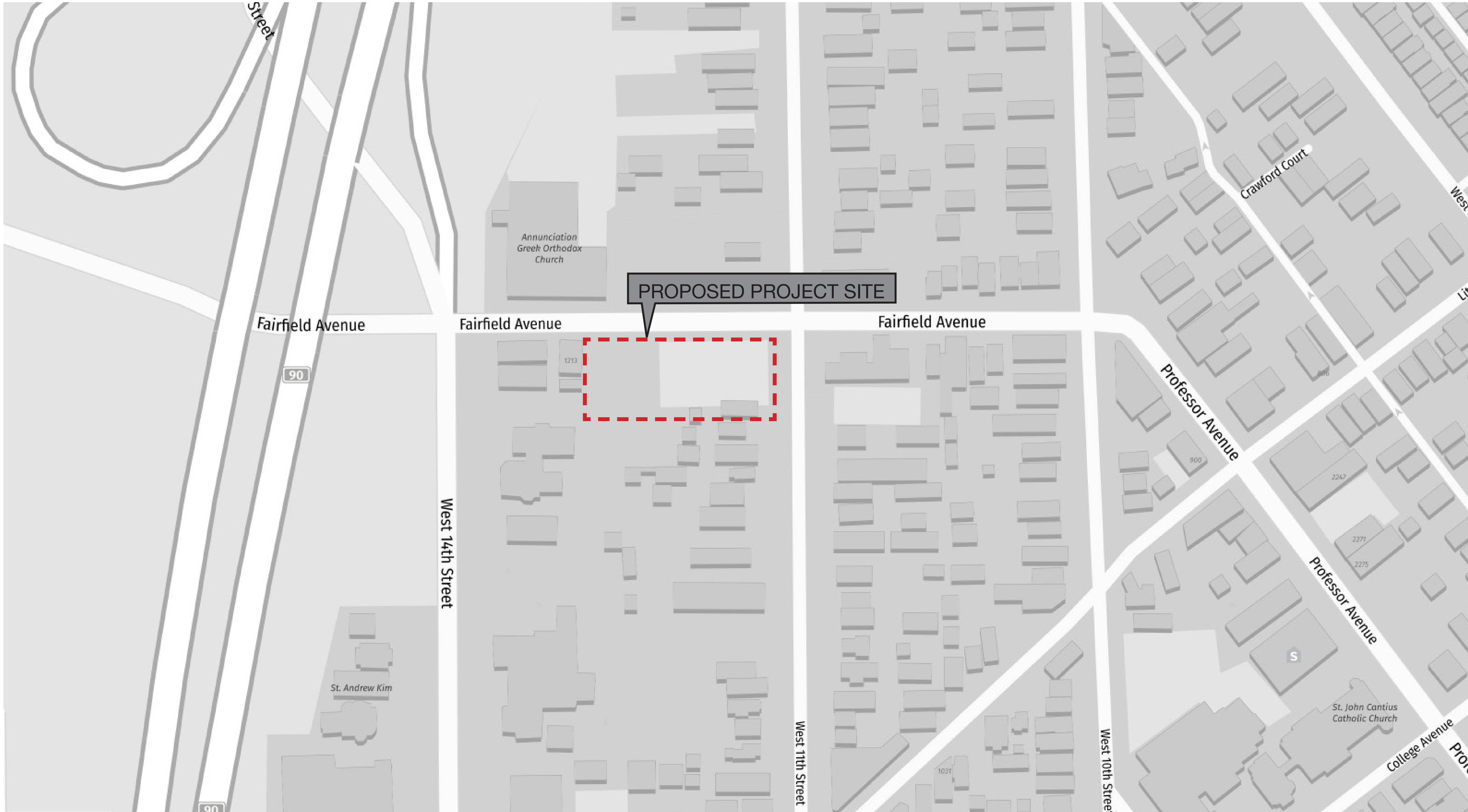
PROPERTY ADDRESS: 1111 FAIRFIELD AVE., CLEVELAND, OH
PROPOSED USE: MULTI-FAMILY RESIDENTIAL
TAX LOT ID'S: 004-12-038, 004-12-039, 004-12-040, 004-12-041, 004-12-042,
004-12-084, 004-12-085
BASE ZONE: MF-G2 (MULTI-FAMILY)
OVERLAY ZONE: URBAN FORM OVERLAY (UF) DISTRICT

LOT COVERAGE

LOT AREA: 38,206 SF
PROPOSED FAR: 3.4:1
PROPOSED BUILDING FOOTPRINT AREA: 35,801 SF
PROPOSED TOTAL BUILDING AREA: 129,482 SF



LOCATION MAP



VICINITY MAP

LOT CONSOLIDATION PLAT

PPN: 004-12-036 THRU 042 & 004-12-084 & 004-12-085

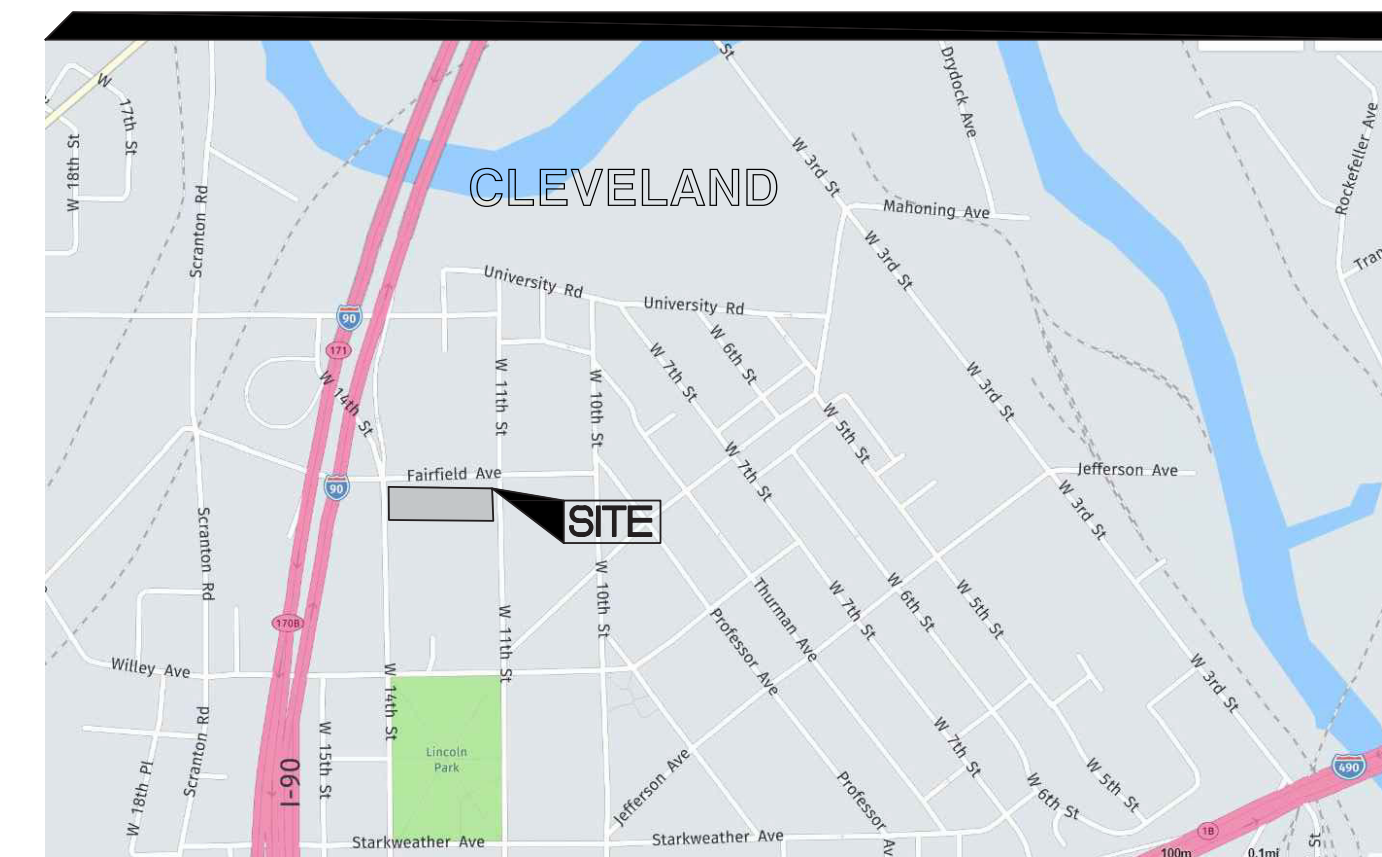
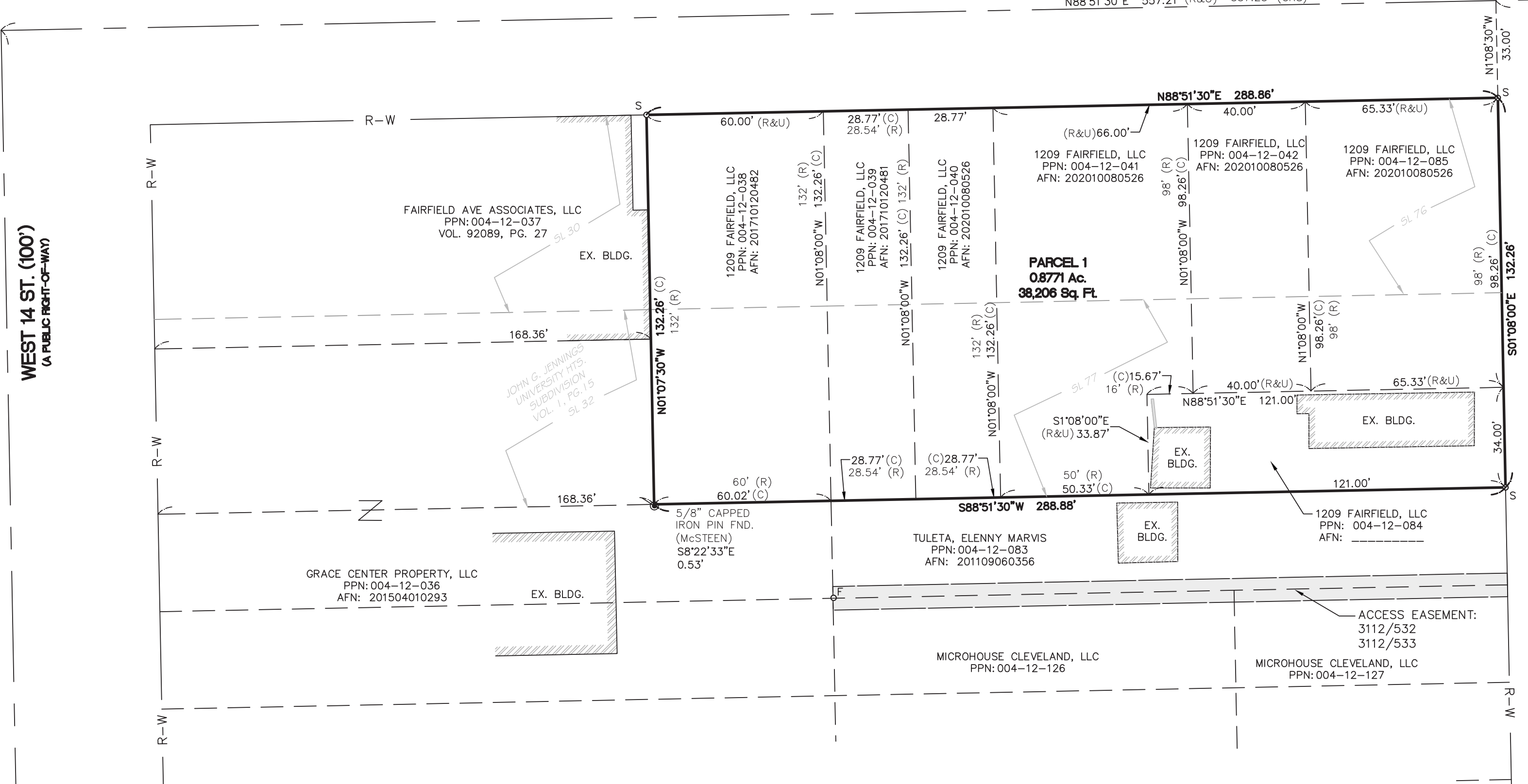
SITUATED IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA AND STATE OF OHIO;
AND KNOWN AS BEING PARTS OF SUBLOT NO. 30, 32, 76 & 77 IN JOHN G. JENNINGS UNIVERSITY HTS. SUBDIVISION AS RECORDED IN PLAT VOLUME 1, PAGE 15
AND PART OF ORIGINAL BROOKLYN TOWNSHIP LOT No. 87

FAIRFIELD AVE. S.W. (66')

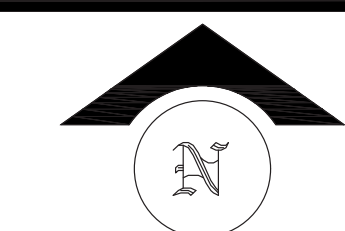
(A PUBLIC RIGHT-OF-WAY)
N88°51'30"E 557.21' (R&U) 557.25' (CRS)

WEST 14 ST. (100')
(A PUBLIC RIGHT-OF-WAY)

WEST 11 ST. (100')
(A PUBLIC RIGHT-OF-WAY)



LOCATION MAP:
NOT TO SCALE



THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN AS APPROXIMATE AND HAVE NOT BEEN VERIFIED BY ENGLE TROTTER & ASSOCIATES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

ENGLE TROTTER & ASSOCIATES OR OWNER WILL NOT ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY ON OR OFF-SITE STRUCTURE OR OF ANY OTHER PERSONS ON OR NEAR THE CONSTRUCTION SITE. THE SAFETY OF THE CONSTRUCTION SITE AND PLACES NEAR ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

THESE DRAWINGS ARE THE PROPERTY OF ENGLE TROTTER & ASSOCIATES AND NO PRODUCTION OF THESE DRAWINGS SHALL OCCUR WITHOUT THE WRITTEN CONSENT OF ENGLE TROTTER & ASSOCIATES.



ENGLE TROTTER & ASSOCIATES
5473 RIVER SUMMIT
NORTH ROYALTON, OHIO 44133
(216) 235-4322

CLEVELAND, OHIO

1209 FAIRFIELD LLC
LOT CONSOLIDATION

SURVEY

LEGEND:	
○ S	5/8" BY 30" IRON PIN WITH CAP "ENGLE", TO BE SET
✱ S	SET MAG NAIL
○ F	FOUND MONUMENTATION AS SHOWN
⊙	CENTERLINE
R/W	RIGHT OF WAY
P.N.	PARCEL NUMBER
n/f	NOW OR FORMALLY OWNER BY
VOL	VOLUME
PG	PAGE
(C)	CALCULATED
(D)	DEED
(U)	USED
(R)	RECORD
(M)	MEASURED
SQ. FT.	SQUARE FEET
P.R.O.	PRESENT ROAD OCCUPIED

SURVEY NOTES:
SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT RESEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE CONVENTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

BASIS OF BEARINGS:
BEARINGS BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM ESTABLISHED FROM GPS OBSERVATIONS ON 11-30-2017, ODOT VRS OBSERVATION (NAD83).

SURVEY REFERENCES:
1. RECORDED DEEDS AS NOTED
2. CITY OF CLEVELAND SURVEY 3919
3. CITY OF CLEVELAND SURVEY 3978
4. CITY OF CLEVELAND SURVEY 4432
5. CITY OF CLEVELAND SURVEY 4530
6. COUNTY PLAT VOL. 1, PG. 15
7. COUNTY PLAT VOL. 2, PG. 10

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAT AND SURVEY, AND THAT THE SAME IS CORRECT AND ACCURATE. THIS PLAT WAS PREPARED FROM A FIELD SURVEY, ANALYSIS OF RECORDED PLATS, RECORDED DEEDS, AND CITY SURVEY RECORDS, (AS APPLICABLE). BEARINGS ARE BASED ON STATE PLANE, OHIO NORTH AND ARE SHOWN TO DENOTE ANGLES ONLY. DISTANCES ARE GIVEN IN FEET AND DECIMAL PART THEREOF. THIS PLAT REPRESENTS A SURVEY PERFORMED IN SUCH A MANNER THAT THE LINEAR ERROR IN THE CLOSEST APPROXIMATION TO (2) POINTS DOES NOT EXCEED THE LIMITS OF ONE (1) FOOT TO TEN THOUSAND (10,000) FEET AND WHERE THE LINEAR ERROR = REPORTED DISTANCE DIVIDED BY TEN THOUSAND (10,000) PER SECTION 77-37 OF THE OHIO ADMINISTRATIVE CODE AND ADJACENT PROPERTY DESCRIPTIONS HAVE BEEN CONSIDERED IN PERFORMING THIS SURVEY. ALL OF WHICH I CERTIFY TO BE TRUE TO THE BEST OF MY KNOWLEDGE.

DANIEL P. ENGLE
A REGISTERED SURVEYOR IN THE STATE OF OHIO (#8452)
5473 RIVER SUMMIT, NORTH ROYALTON, OHIO 44133 PH:216.235.4322
E-MAIL: DANIEL@ENGLESURVEYING.COM

DATE:

KENILWORTH AVE. S.W. (100')
(A PUBLIC RIGHT-OF-WAY)

LITERARY RD. S.W. (60')
(A PUBLIC RIGHT-OF-WAY)

STONE FOUND (MONUMENT)

ACCEPTANCE:

PPN 004-12-38 THRU 042 & 004-12-084 & 004-12-85;

I, THE UNDERSIGNED BEING THE OWNER OF THE LAND PLATTED HEREIN, DULY AUTHORIZED IN THE PREMISES, DO HEREBY ACCEPT THIS LOT CONSOLIDATION PLAT OF SAME.

BY: _____, ITS _____
PRINT

NOTARY:

STATE OF OHIO
COUNTY OF _____

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED OWNER(S) WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT TO BE HIS VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES EXPRESSED THEREIN.

IN WITNESS WHEREOF _____, HAS HERE UNTO SET HIS HAND AND OFFICIAL SEAL
THIS _____ DAY OF _____, 20__.

MY COMMISSION EXPIRES _____, 20__.

NOTARY PUBLIC-STATE OF OHIO

APPROVALS:

THIS PLAT OF LOT CONSOLIDATION IS ACCEPTED AND APPROVED BY THE PLATTING COMMISSIONER OF THE CITY OF CLEVELAND, OHIO THIS _____ DAY OF _____, 20__.

PLATTING COMMISSIONER

THIS PLAT OF LOT CONSOLIDATION IS ACCEPTED AND APPROVED BY THE PLANNING DIRECTOR OF THE CITY OF CLEVELAND, OHIO THIS _____ DAY OF _____, 20__.

PLANNING DIRECTOR

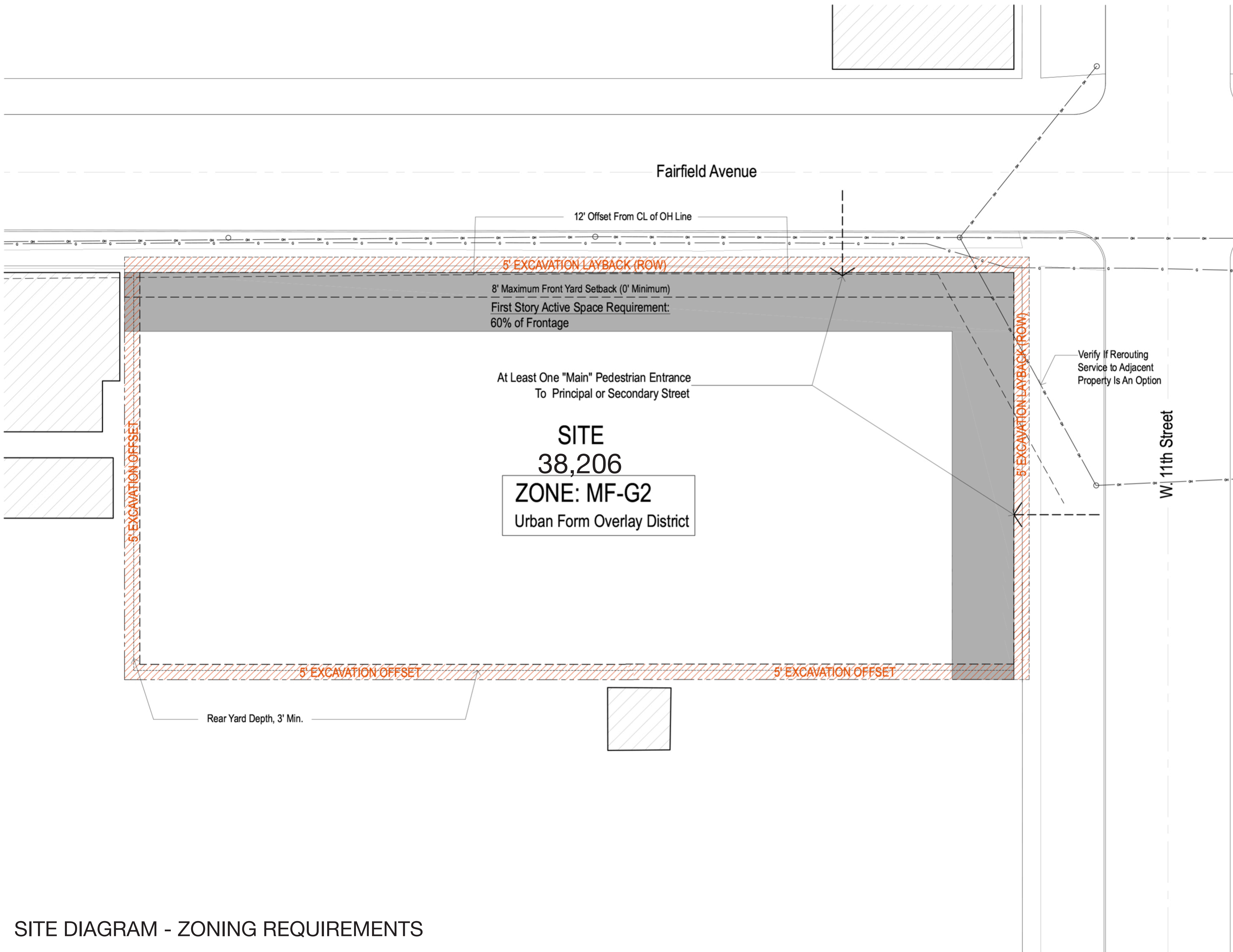
REVISIONS

REV 1: ADDITIONAL LOT ADDED
REV 2: CLIENT EASEMENT COMMENTS

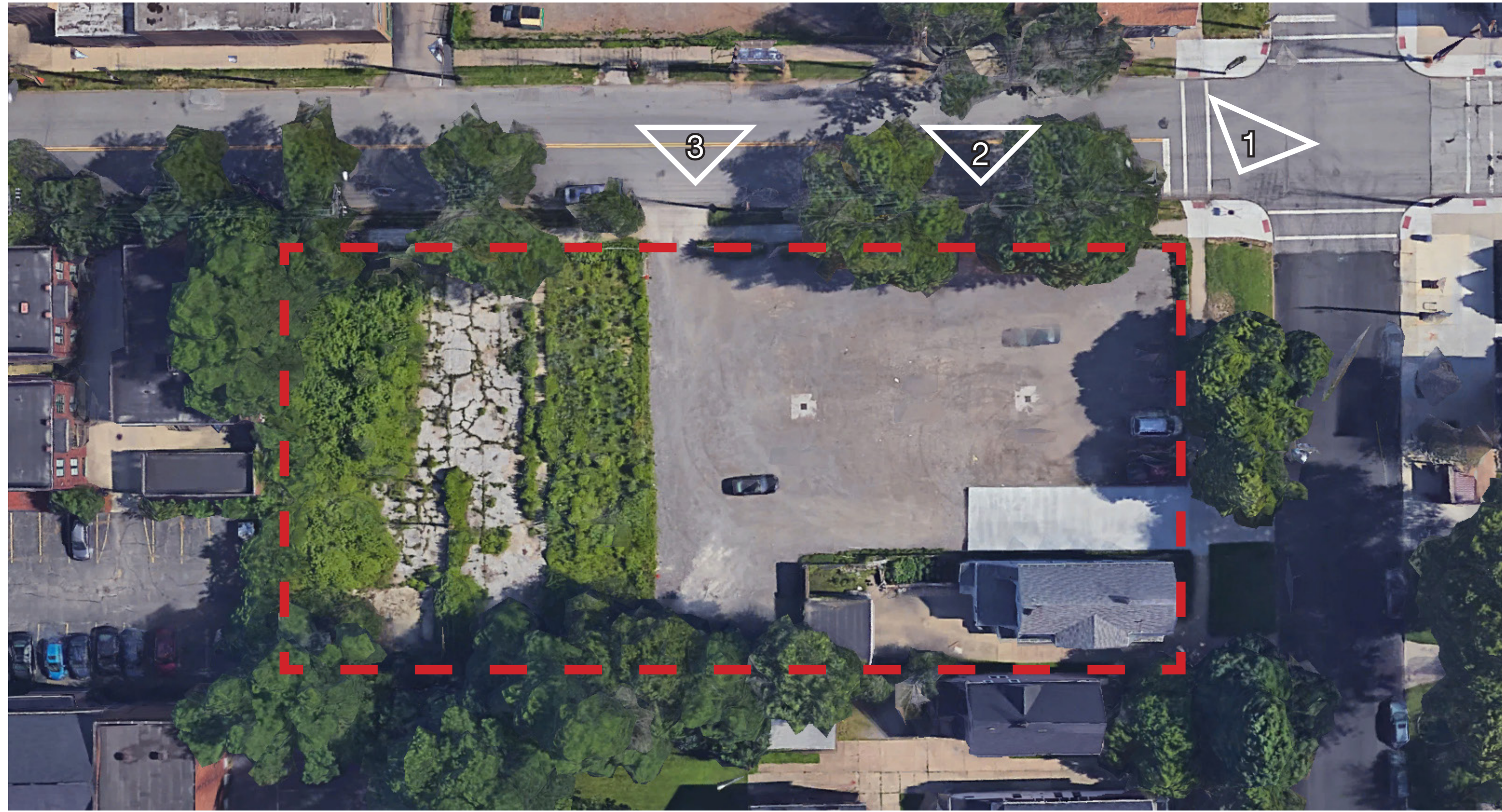
SCALE: 0 15 30
1" = 30 FEET

CLIENT NAME:
1209 FAIRFIELD LLC
PROJECT NUMBER:
2017024
PROJECT ADDRESS:
1111 FAIRFIELD AVE.
CITY OF CLEVELAND
CUYAHOGA COUNTY, OHIO
DATE:
DECEMBER 20, 2021
SHEET NUMBER:
1

A.6



SITE REQUIREMENTS



EXISTING CONDITIONS - AERIAL VIEW



EXISTING CONDITIONS - VIEW 1



EXISTING CONDITIONS - VIEW 2



EXISTING CONDITIONS - VIEW 3

EXISTING CONDITIONS



SITE AERIAL / VIEW LEGEND



VIEW 1 FROM EAST



VIEW 2 FROM SOUTH



VIEW 3 FROM WEST

SITE CONTEXT



VIEW 4 FROM NORTH



ADJACENT BUILDING 5

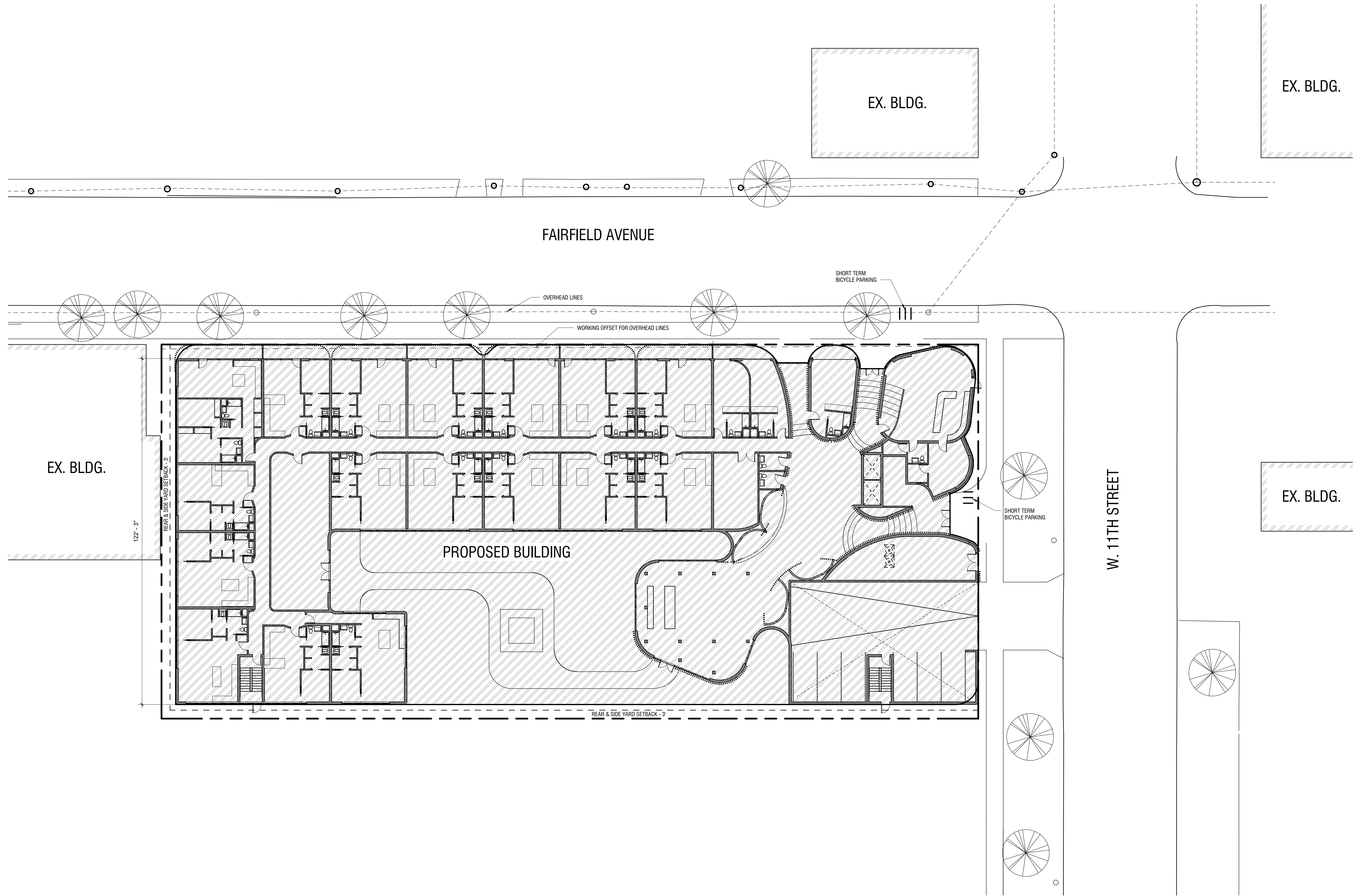


ADJACENT BUILDING 6



ADJACENT BUILDING 7

SITE CONTEXT



PROPOSED SITE PLAN

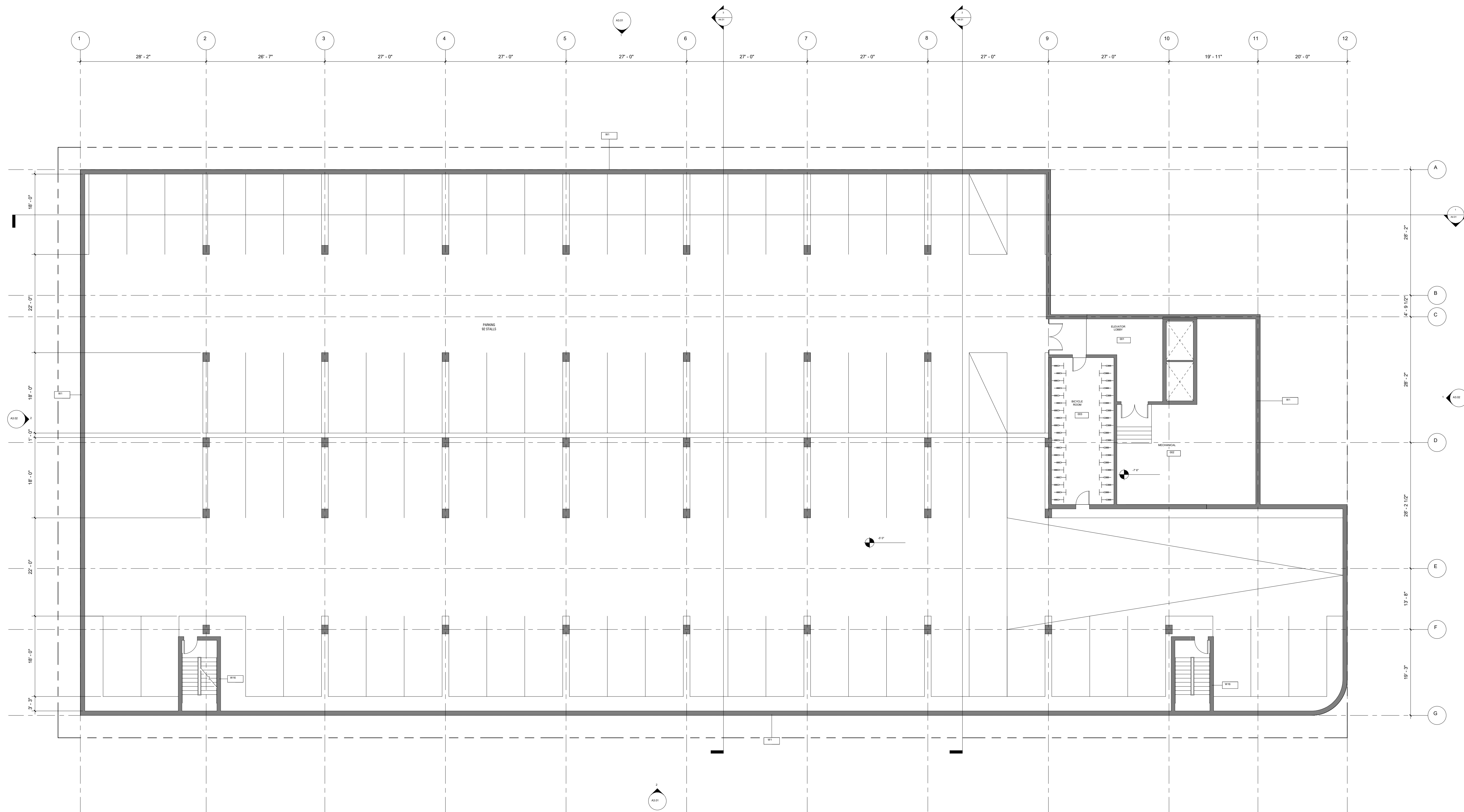
PROPOSED DESIGN



BUILDING SUMMARY

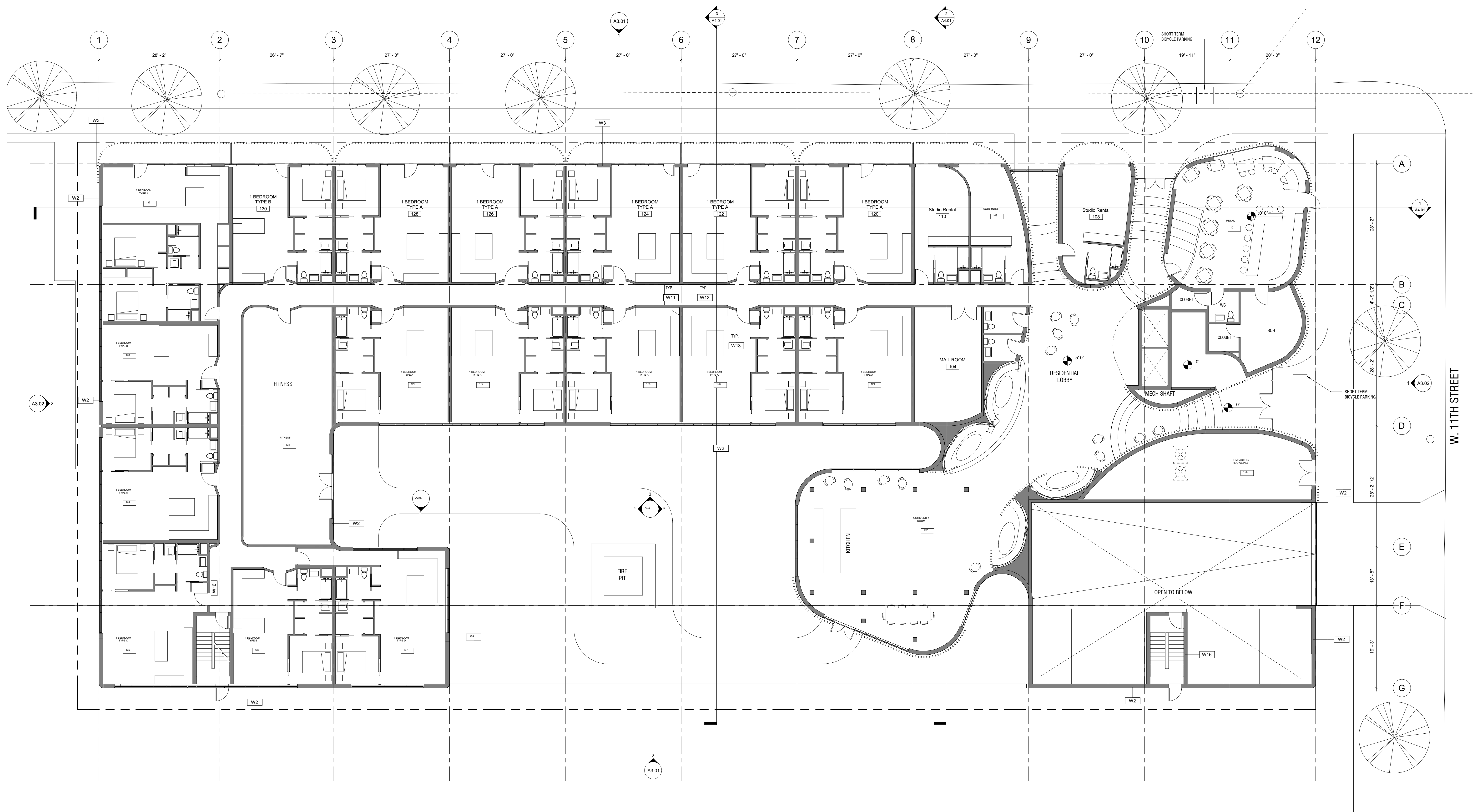
BUILDING SUMMARY:

4 Floors of Residential Over 1 Floor of Structured Parking
129,482 Total GSF (29,710 GSF Parking, 96,107 GSF Residential Uses)
99 Residential Units, 1,400 NSF Corner Amenity
92 Structured Parking Stalls



BUILDING PLANS

FAIRFIELD AVENUE

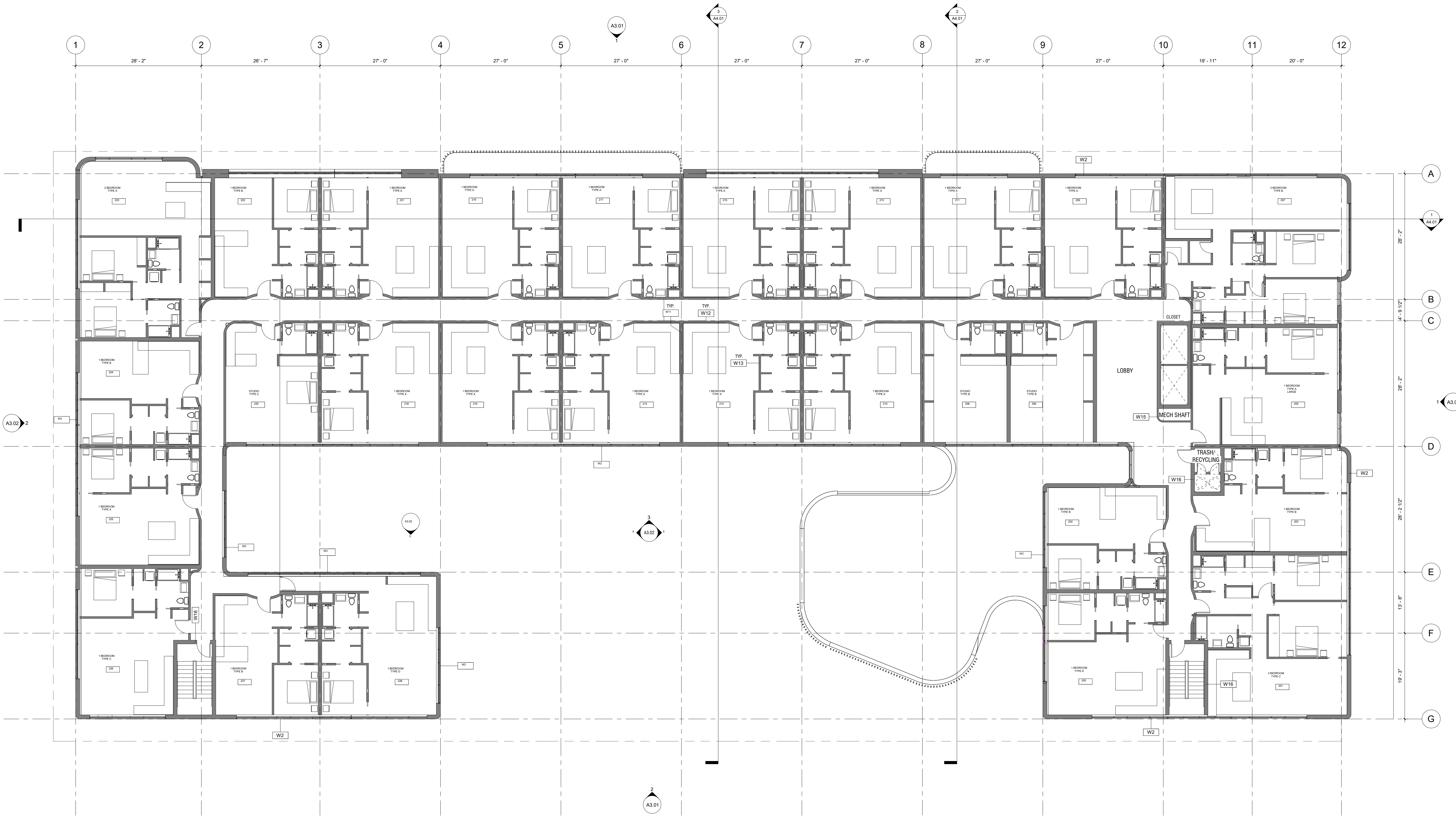


W. 11TH STREET

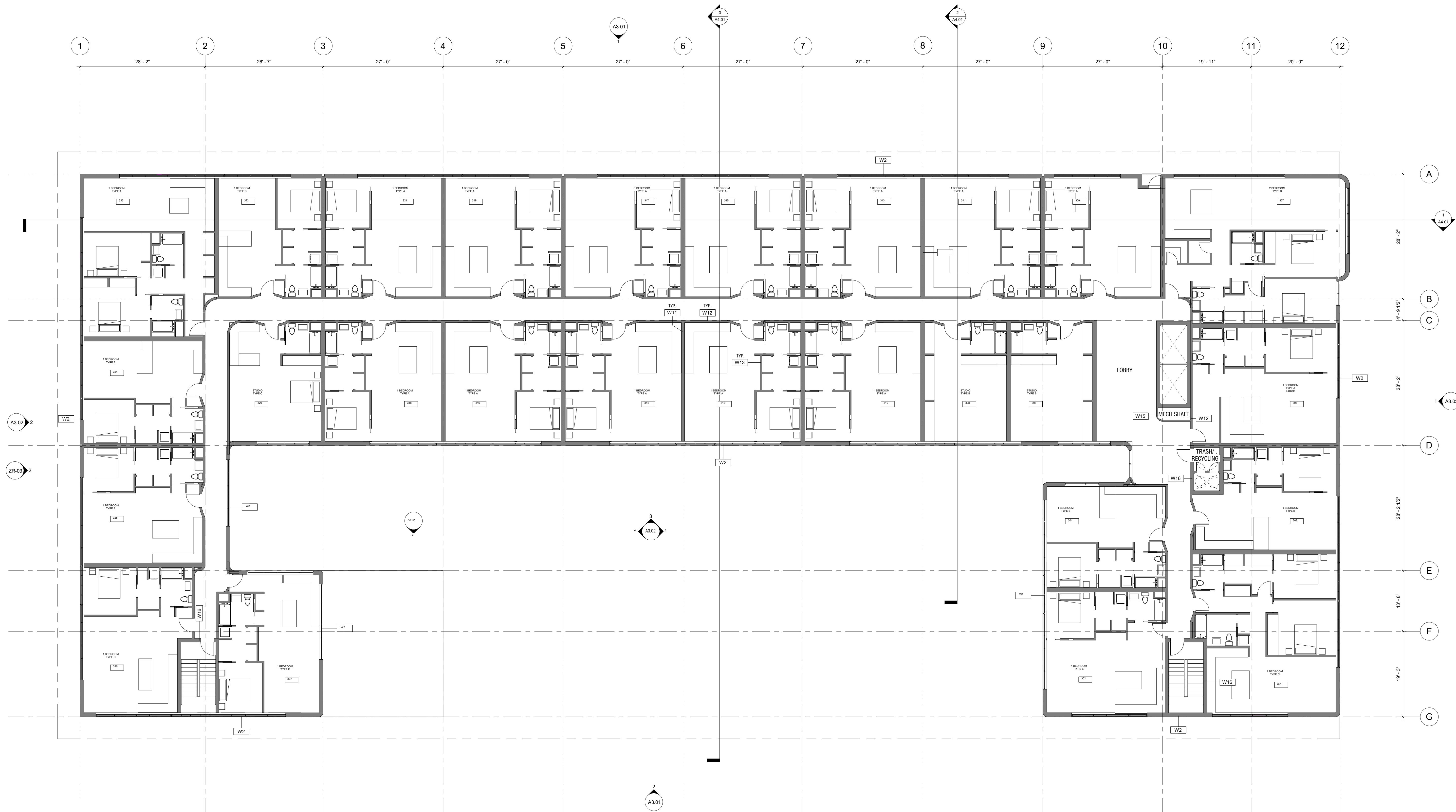
BUILDING PLANS

GROUND FLOOR PLAN

BUILDING PLANS



SECOND FLOOR PLAN



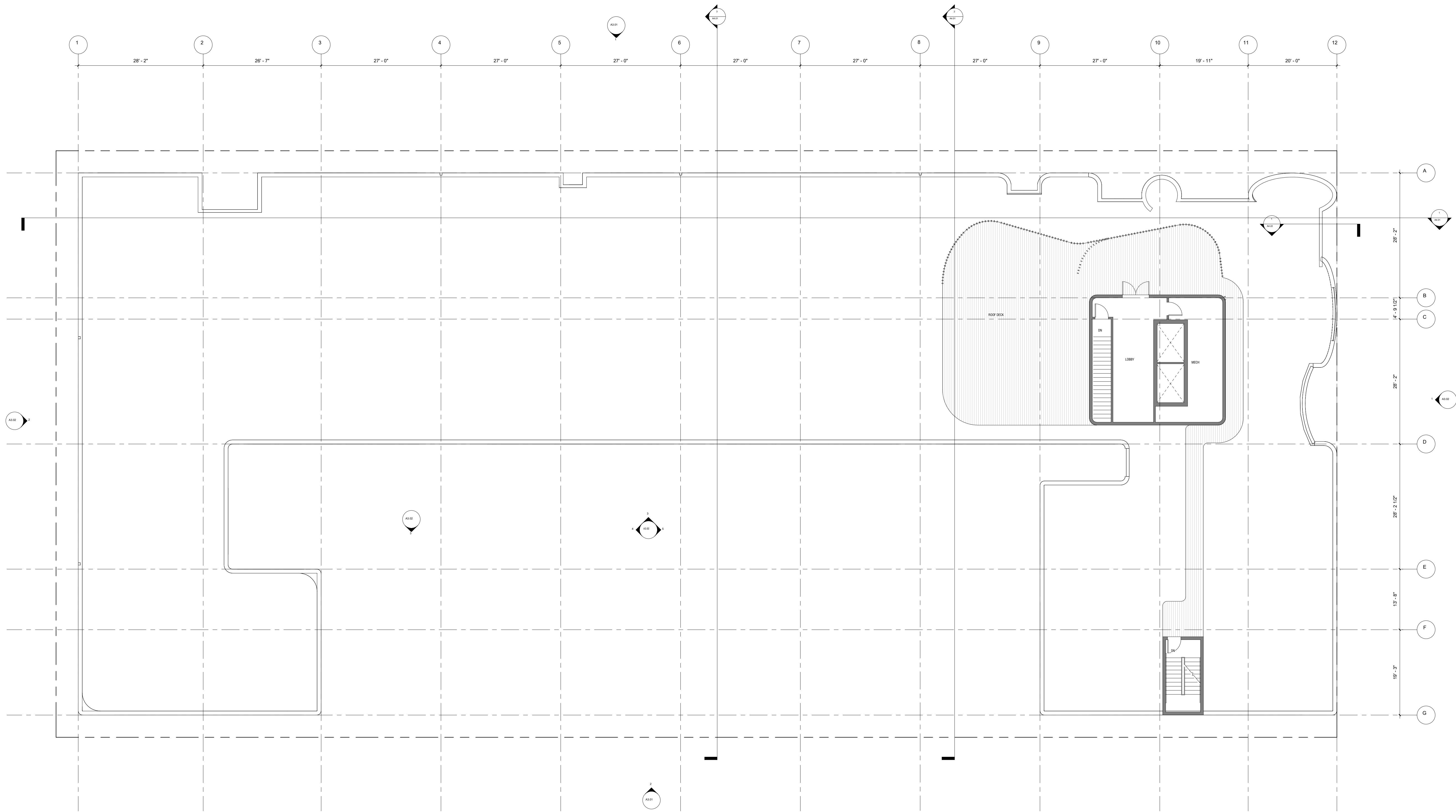
BUILDING PLANS

THIRD FLOOR PLAN

BUILDING PLANS



FOURTH FLOOR PLAN



ROOF

ROOF PLAN

BUILDING PLANS



RENDERED VIEWS

VIEW OF NE CORNER OF BUILDING FROM 11TH AND FAIR-



RENDERED VIEWS

NORTH VIEW FROM GROUND



RENDERED VIEWS

NORTH VIEW FROM FAIRFIELD AVE.



RENDERED VIEWS

VIEW OF NORTH BUILDING ENTRY



RENDERED VIEWS

NORTH BUILDING ELEVATION



RENDERED VIEWS

NORTH VIEW FROM GROUND



RENDERED VIEWS

SOUTH SIDE OF BUILDING FROM 11TH ST.



RENDERED VIEWS

VIEW OF COURTYARD FROM 3RD FLOOR UNIT

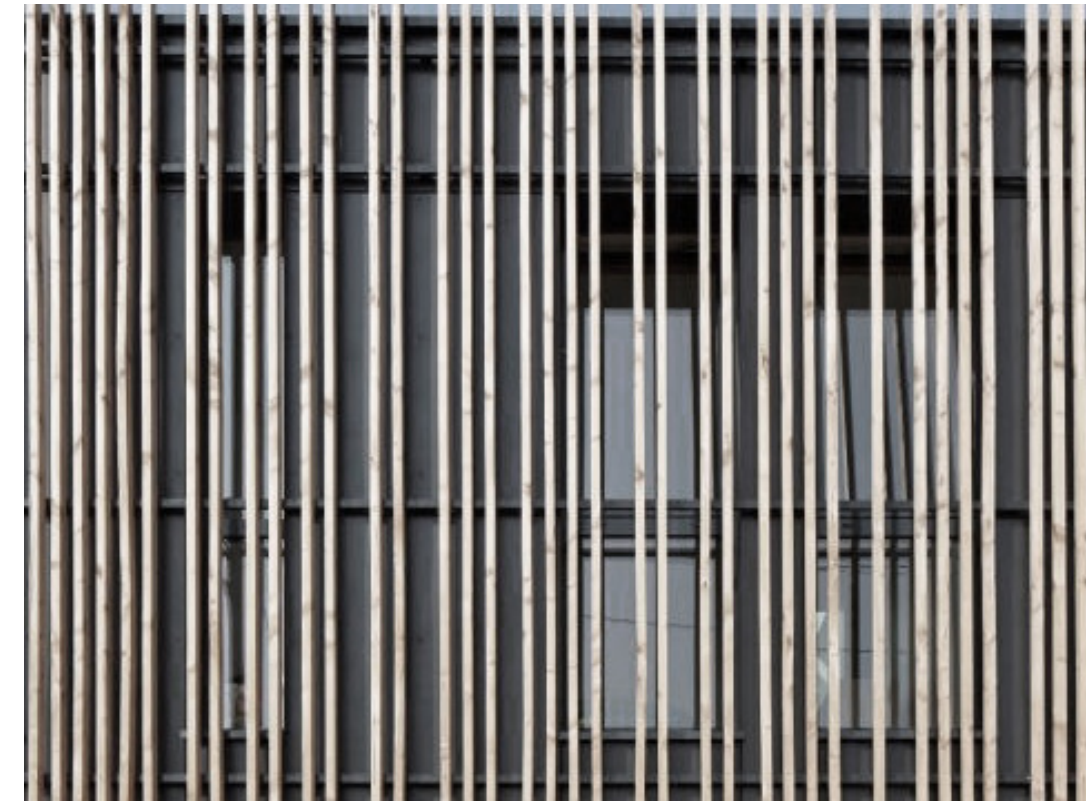


RENDERED VIEWS

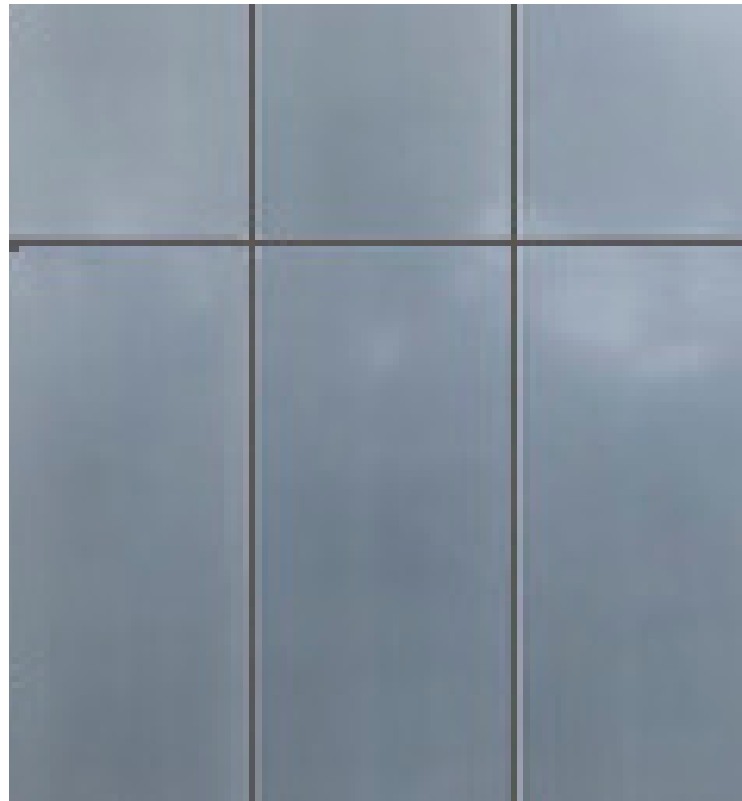
VIEW OF COMMUNITY ROOM FROM GARDEN



GRAYWASH CEDAR
WDX-1



GRAYWASH CEDAR
SCREEN
WDX-2



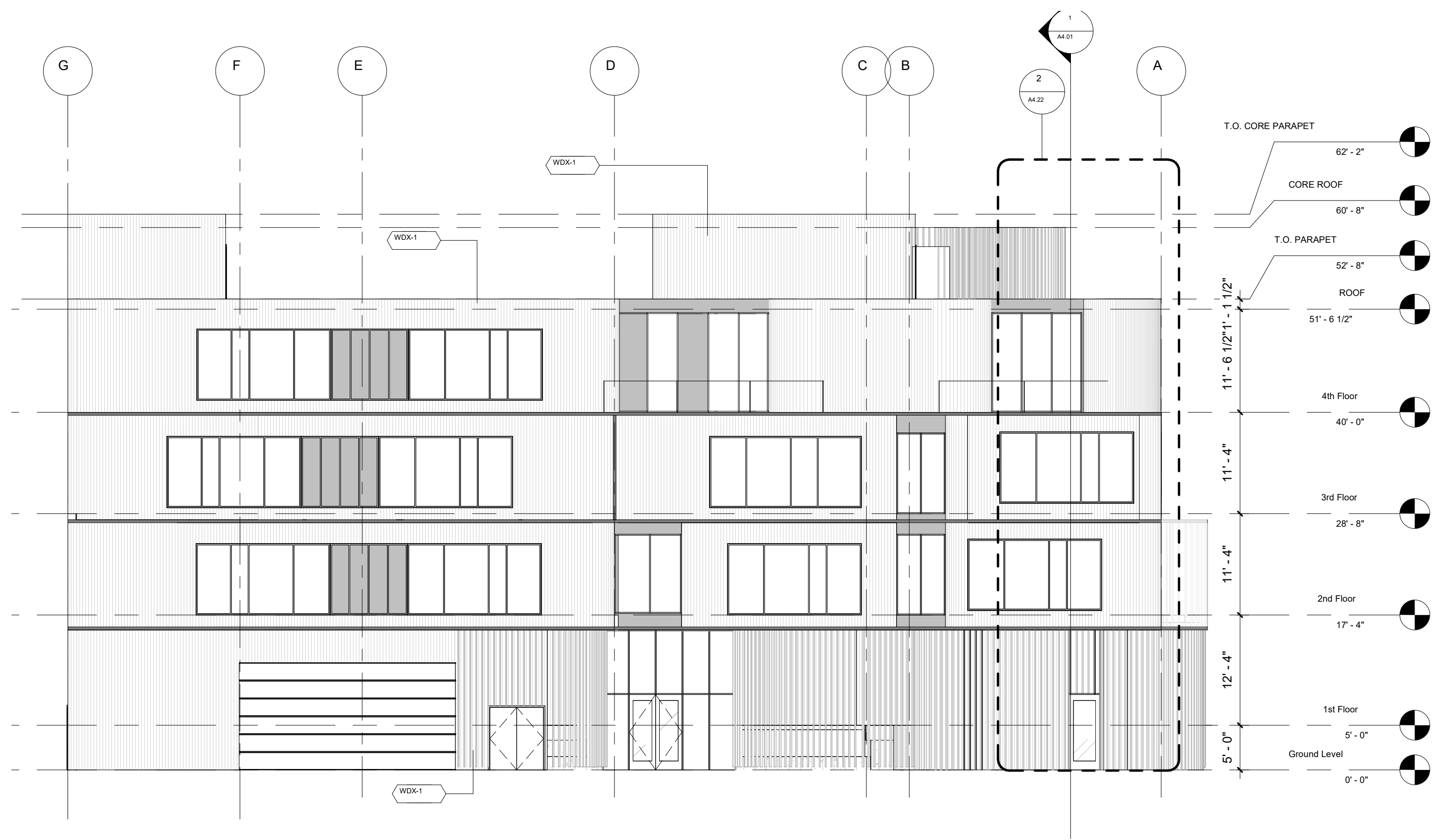
PAINTED
PANEL
MP-1



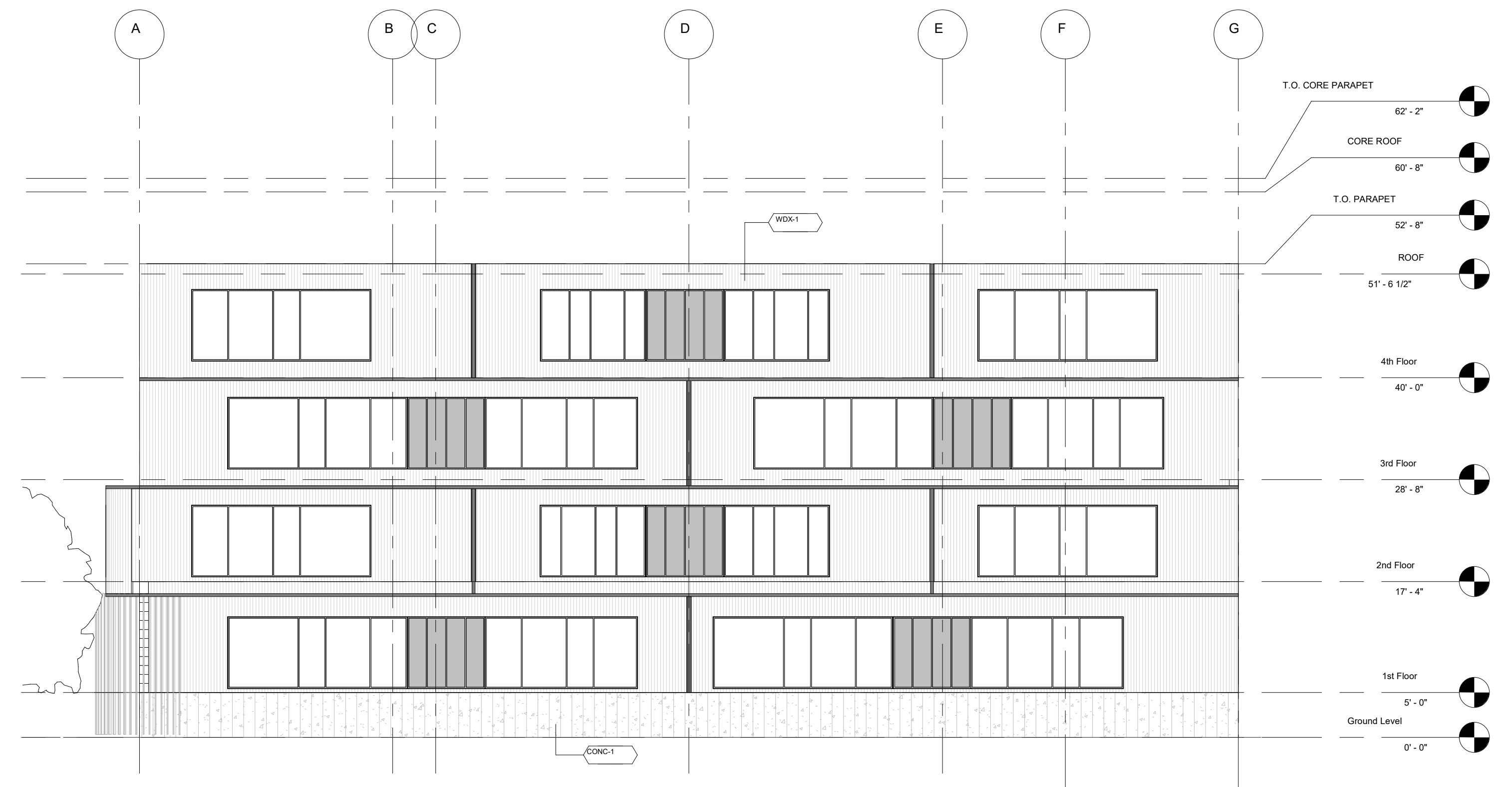
GRAY VINYL
WINDOWS



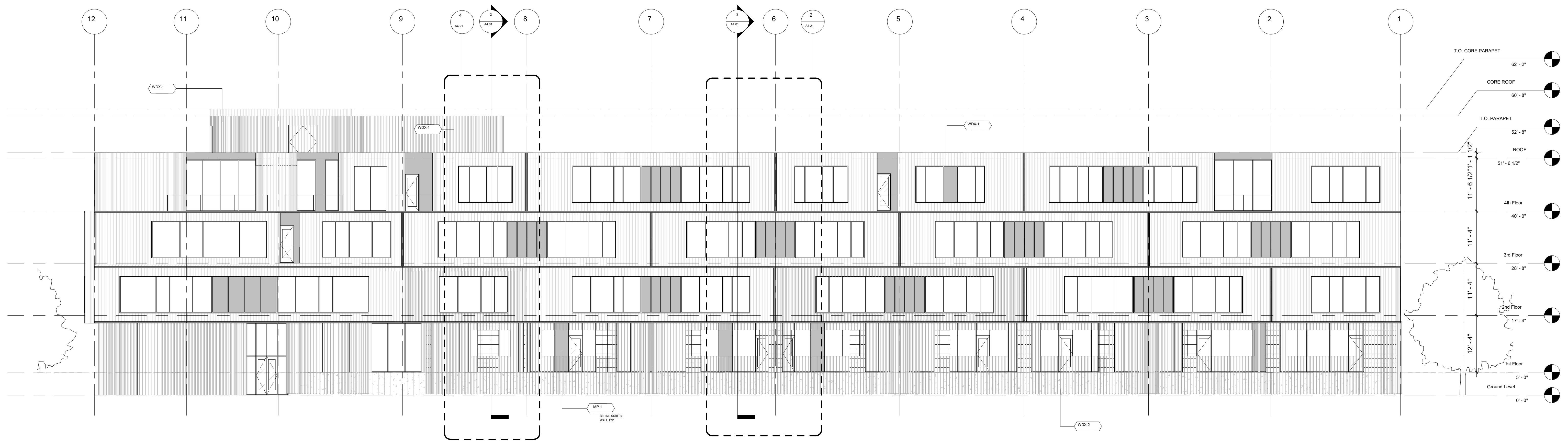
BOARD FORMED
CONCRETE
CONC-1



EAST ELEVATION

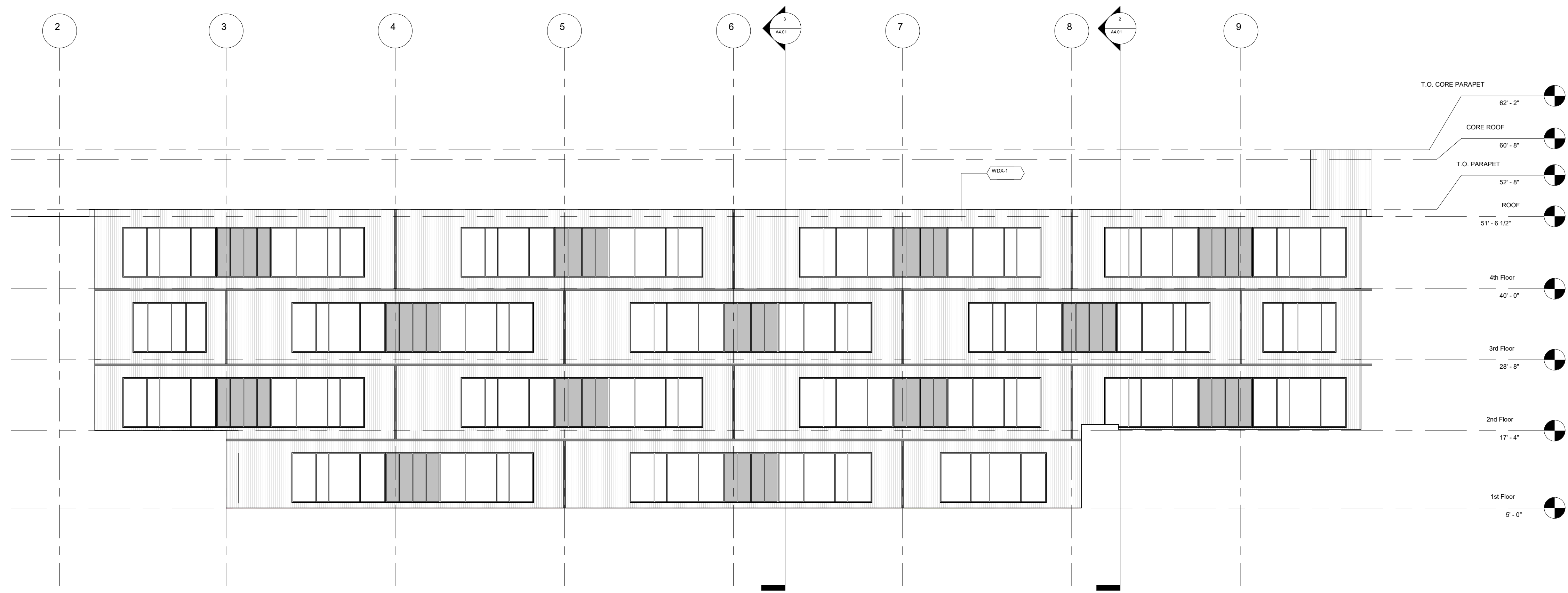


WEST ELEVATION



NORTH ELEVATION

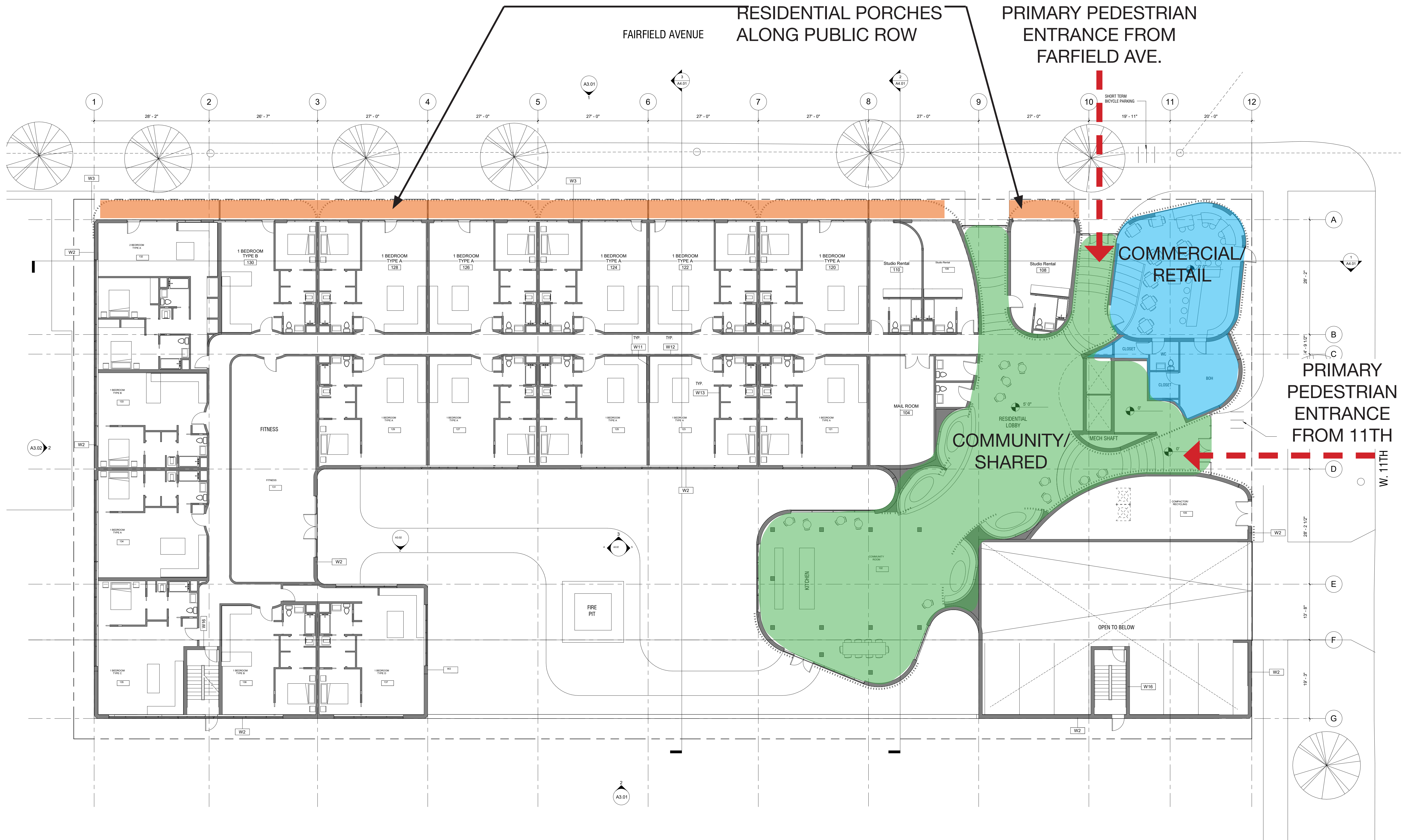
BUILDING ELEVATIONS



SOUTH ELEVATION - COURTYARD



SOUTH ELEVATION - MAIN



PROGRAM DIAGRAM

GROUND FLOOR PROGRAMING AND CONNECTIONS

Cleveland City Planning Commission

Director's Report



April 1, 2022



Join us to give your input on Cleveland's Vision Zero Action Plan! On April 6, following a special welcome from Mayor Justin Bibb, we will share feedback from community meetings and surveys in Fall 2021 and take input on the most important actions to improve roadway safety for all.



ACTION PLAN

COMMUNITY OPEN HOUSE

All are welcome! Stop by anytime between 4-7pm to participate. Snacks & refreshments provided.

Vision Zero Cleveland will eliminate serious injuries and deaths on Cleveland roads through clear, measurable strategies to provide safe, healthy, and equitable mobility for all.

**FRIDAY
APRIL 1ST
4PM - 7PM**

**RINCON CRIOLLO
TAKE 2
7403 DENISON AVE.**



RSVP at:

VisionZeroCLE.org



SCAN ME



CITY OF CLEVELAND
Mayor Justin M. Bibb





ACTION PLAN

VIRTUAL COMMUNITY EVENT

The event is open to the public and will begin with a welcome from Mayor Justin Bibb.

Vision Zero Cleveland will eliminate serious injuries and deaths on Cleveland roads through clear, measurable strategies to provide safe, healthy, and equitable mobility for all.

**WEDNESDAY
APRIL 6TH
5:30PM - 7PM**

**ONLINE via ZOOM
(RSVP to receive
the ZOOM Link)**



RSVP at:

VisionZeroCLE.org



CITY OF CLEVELAND
Mayor Justin M. Bibb

Cleveland City Planning Commission

Adjournment



April 1, 2022