



# Cleveland City Planning Commission

Friday, March 19, 2021

**\*\* PLEASE MUTE YOUR MICROPHONE \*\***

David Bowen, Commission Chair

Freddy L. Collier Jr., Director

Michael Bosak, Administrator

# Cleveland City Planning Commission

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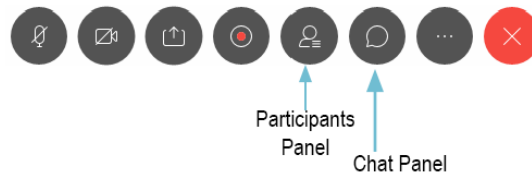
## Preamble

**IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW, UNDER COVID-19 EMERGENCY DECLARATION, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.**

**ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.**

**IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAVE THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.**

**WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.**



March 19, 2021



# Cleveland City Planning Commission

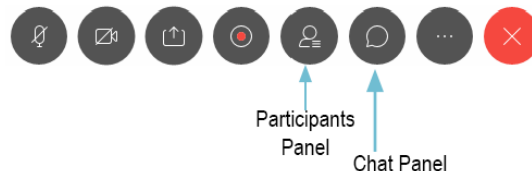
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## Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.  
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN COMMENT ON A PARTICULAR MATTER.**



March 19, 2021

# Cleveland City Planning Commission

## Call to Order and Roll Call

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March 19, 2021

# Cleveland City Planning Commission

## Zoning Map Amendments

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March 19, 2021

# Zoning Map Amendments

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March 19, 2021



Ordinance No. xxx-2021(Ward 7/Councilmember B. Jones):  
Establishing an Urban Form Overlay on the Chester Avenue frontage of Permanent  
Parcel Number 118-10-042.



# MAP CHANGE 2629

CITY PLANNING COMMISSION  
MARCH 19, 2021

# Proposal

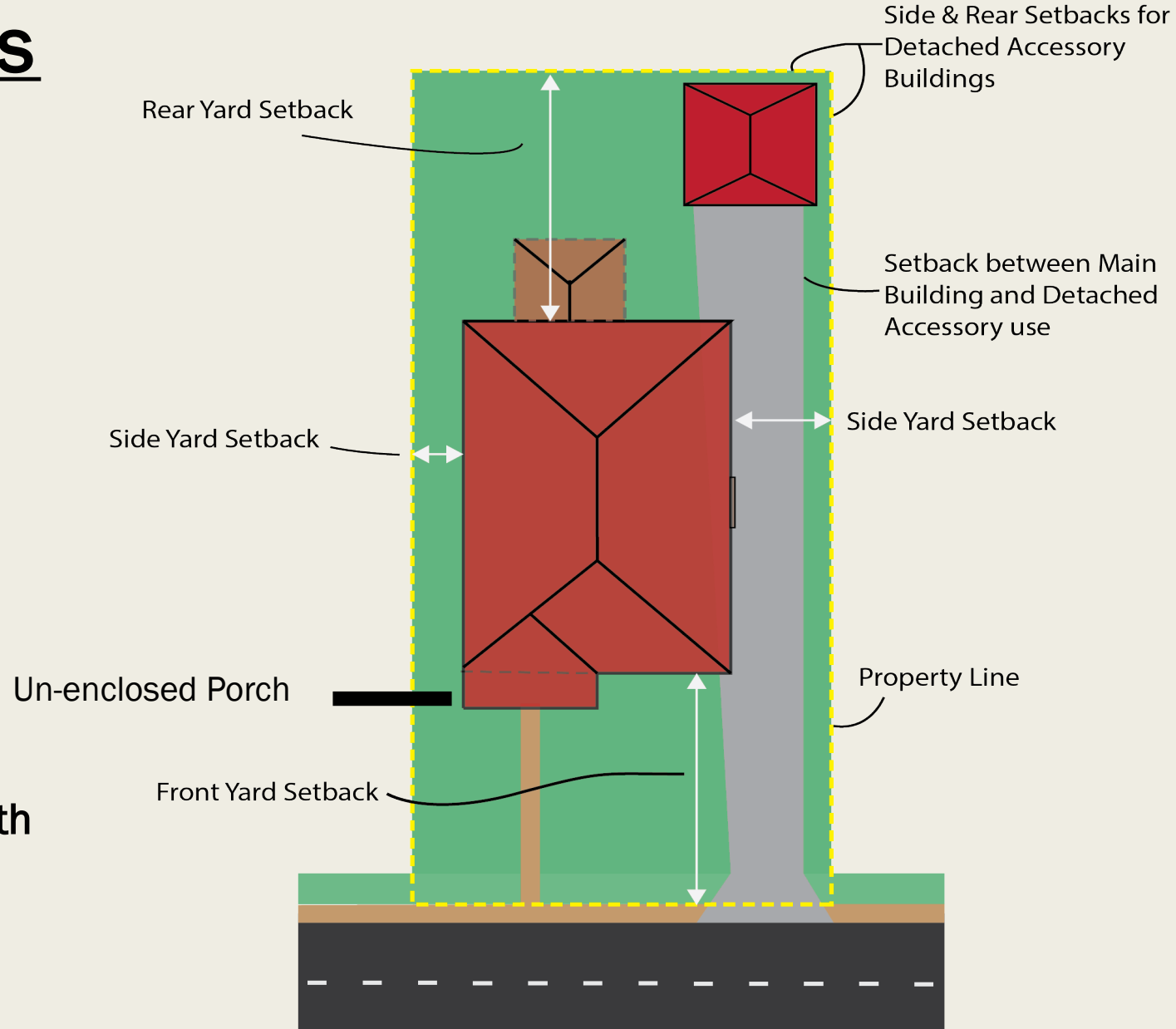
Establishing an Urban Form Overlay on the Chester Avenue frontage of Permanent Parcel Number 118-10-042.

# Purpose

To ensure that the Chester 75 multi-family housing project with 56 units that has been approved by CPC previously can move forward to offer new, diverse housing typologies within our community.



# Residential Setbacks



**Front, Rear & Side  
Yard Setbacks  
Required for all  
Main Buildings in  
Residential  
Districts**

**Front Yard Req =  
15 % of Avg Depth  
of Lot**



# Mapped Setbacks

A required front yard space in which no structures may be located, except where specifically allowed by Cleveland Zoning Code

Indicated on Building Zone Maps of the City as from either the property line or the street centerline

Take precedence over all other setback regulations

Can only be changed with legislation



# Urban Form Overlay

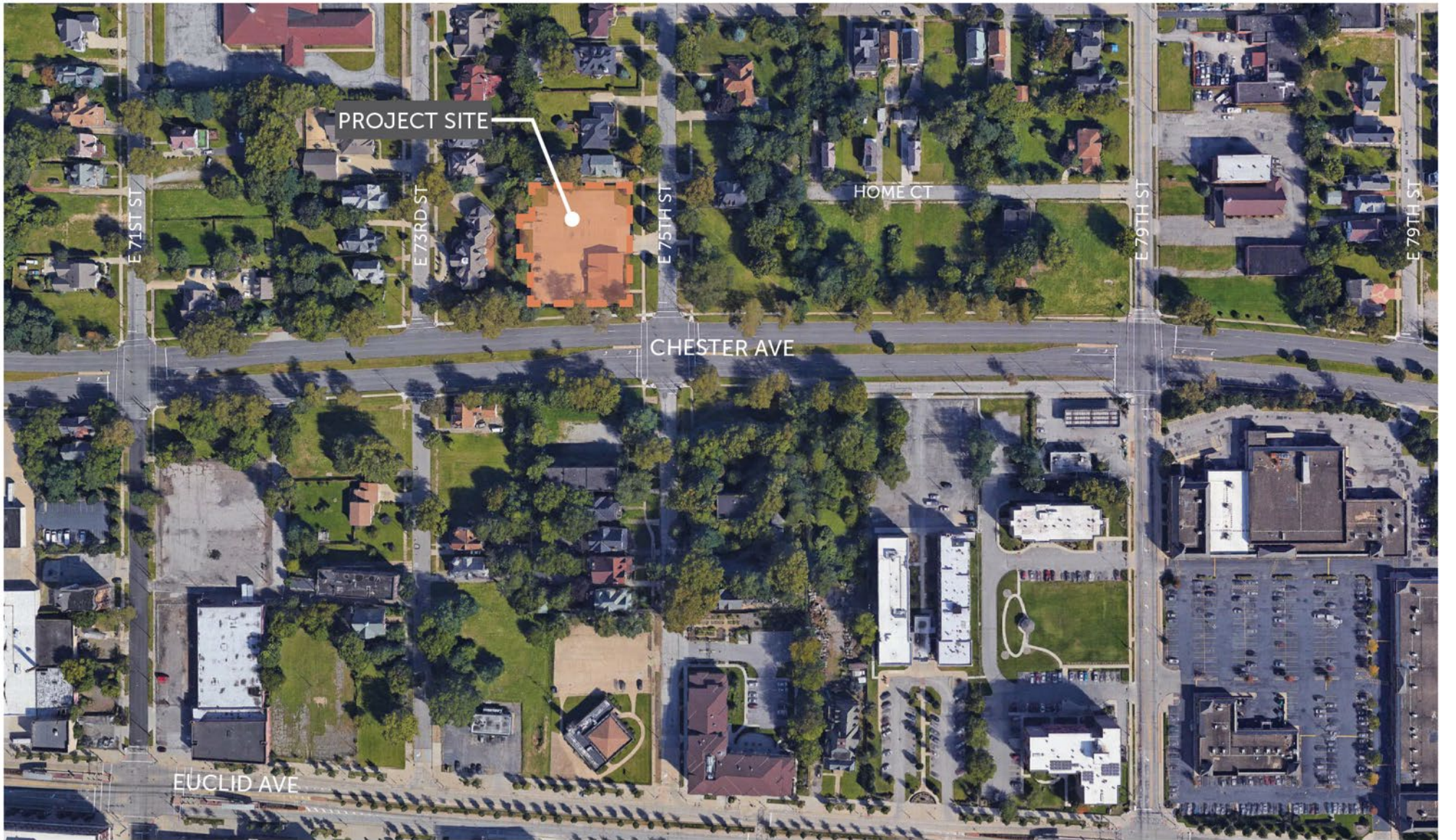
## Goals

- Support walkable neighborhoods & mixed-use districts
- encourage alternative transit methods
- Establish strong urban form



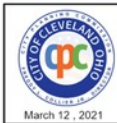
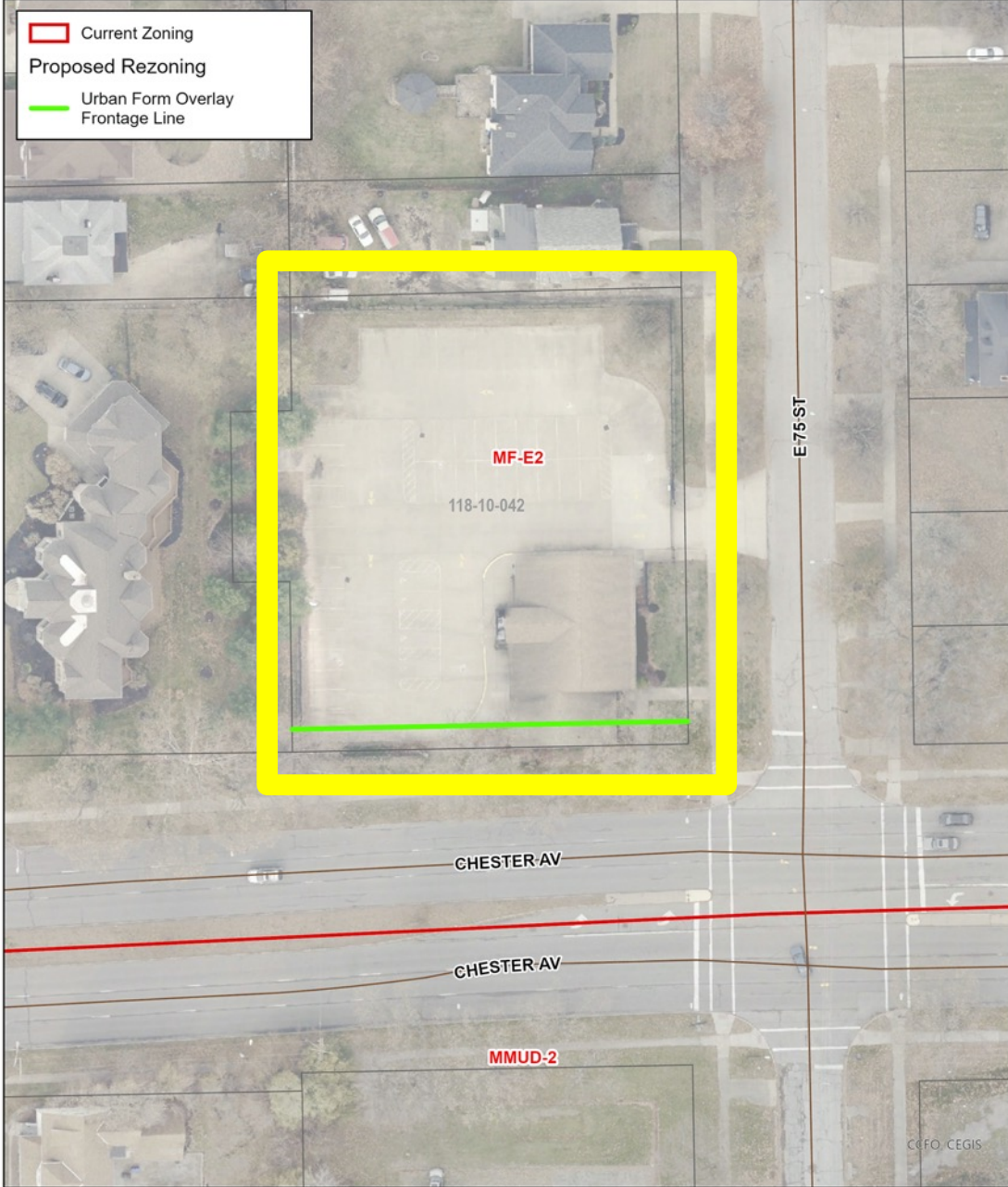


# Project Site



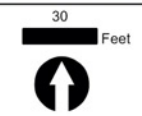


Proposed Rezoning



**Map Change 2629**

Establishing an Urban Form Overlay on the Chester Avenue frontage of Permanent Parcel Number 118-10-042.

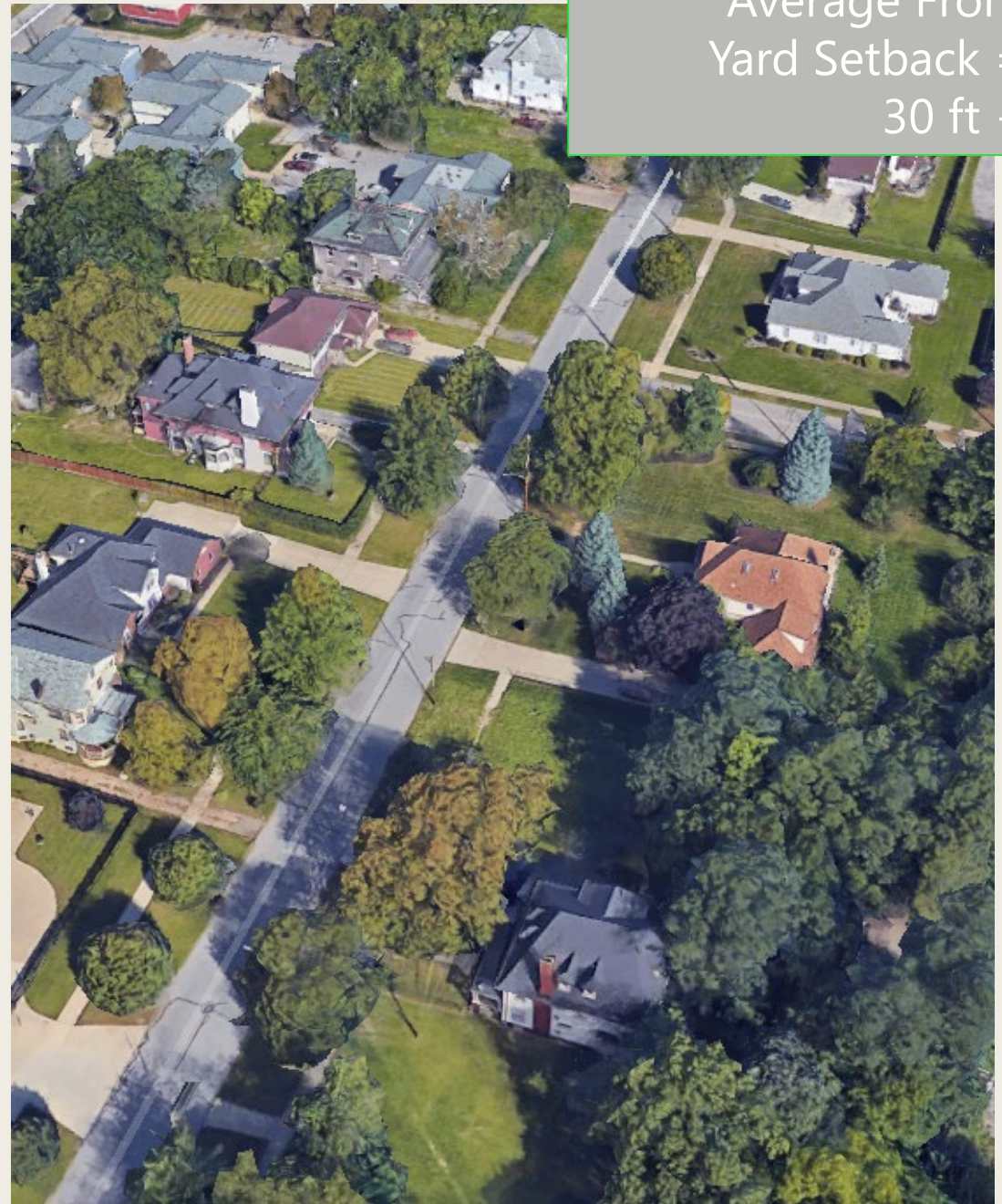




Parcel Depth = 200 ft/176 ft  
15% = 30 ft /26 ft required



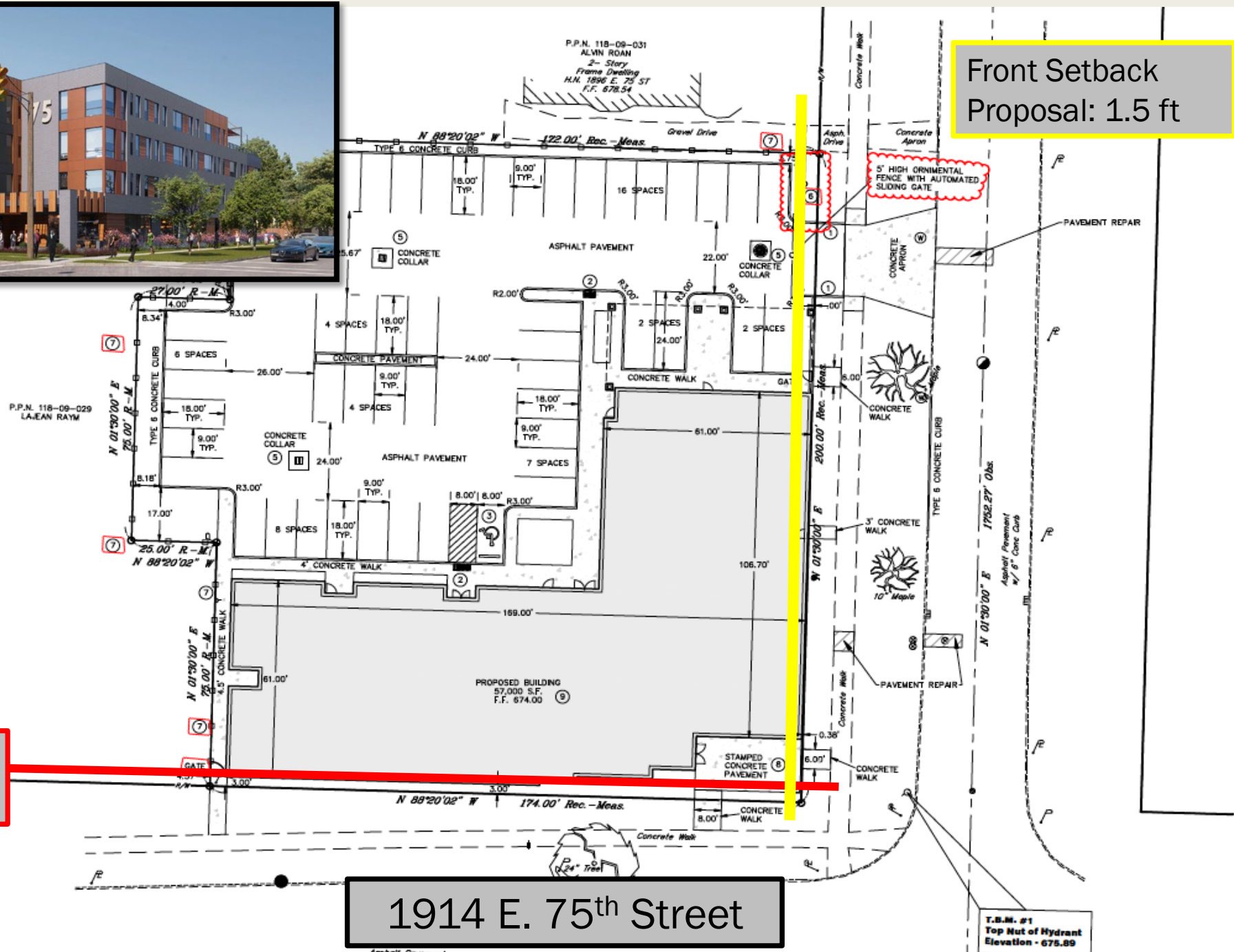
Average Front  
Yard Setback =  
30 ft +







Front Setback Proposal: 1.5 ft

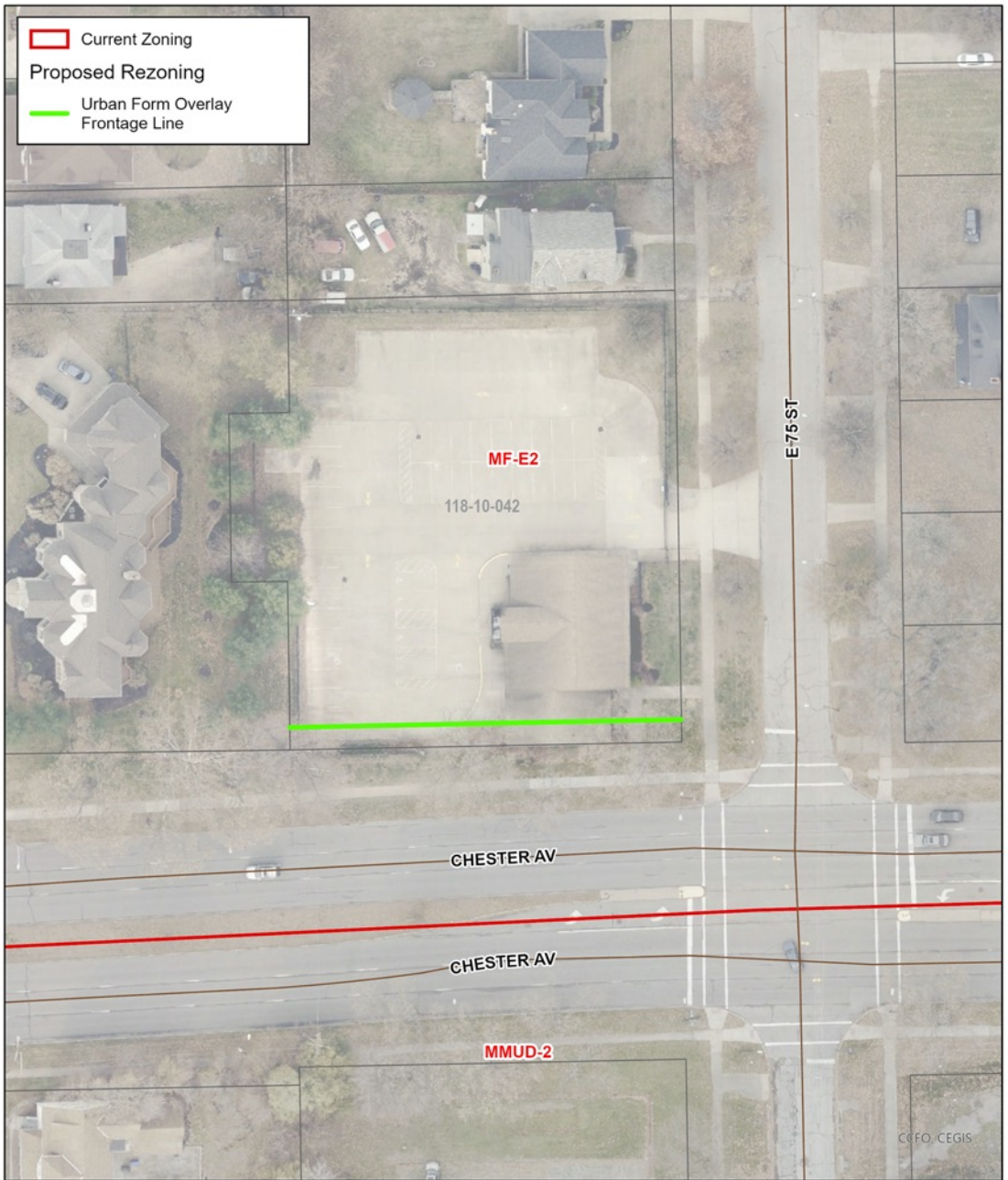



Front Setback Proposal: 3 ft

1914 E. 75<sup>th</sup> Street

T.S.M. #1  
Top Nut of Hydrant  
Elevation - 675.89


Proposed Rezoning



 **Map Change 2629**  
Establishing an Urban Form Overlay on the Chester Avenue frontage of  
Permanent Parcel Number 118-10-042.

March 12, 2021

30 Feet



# Cleveland City Planning Commission

## Planned Unit Development

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March 19, 2021



**NOTHING SCHEDULED TODAY**



# Cleveland City Planning Commission

## Telecommunication Towers

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March 19, 2021

March 19, 2021



**NOTHING SCHEDULED TODAY**

# Cleveland City Planning Commission

## New Townhouse Development In a 2-Family District

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March 19, 2021

# Townhouse Development in a 2-Family District

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March 19, 2021



**NOTHING SCHEDULED TODAY**

# Cleveland City Planning Commission

## Conditional Use Permit

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March 19, 2021

# Conditional Use Permit

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March 19, 2021

For PPN# 114-15-015

**Project Addresses: 789-791 East 185<sup>th</sup> Street**

Per Section 343.23(e):

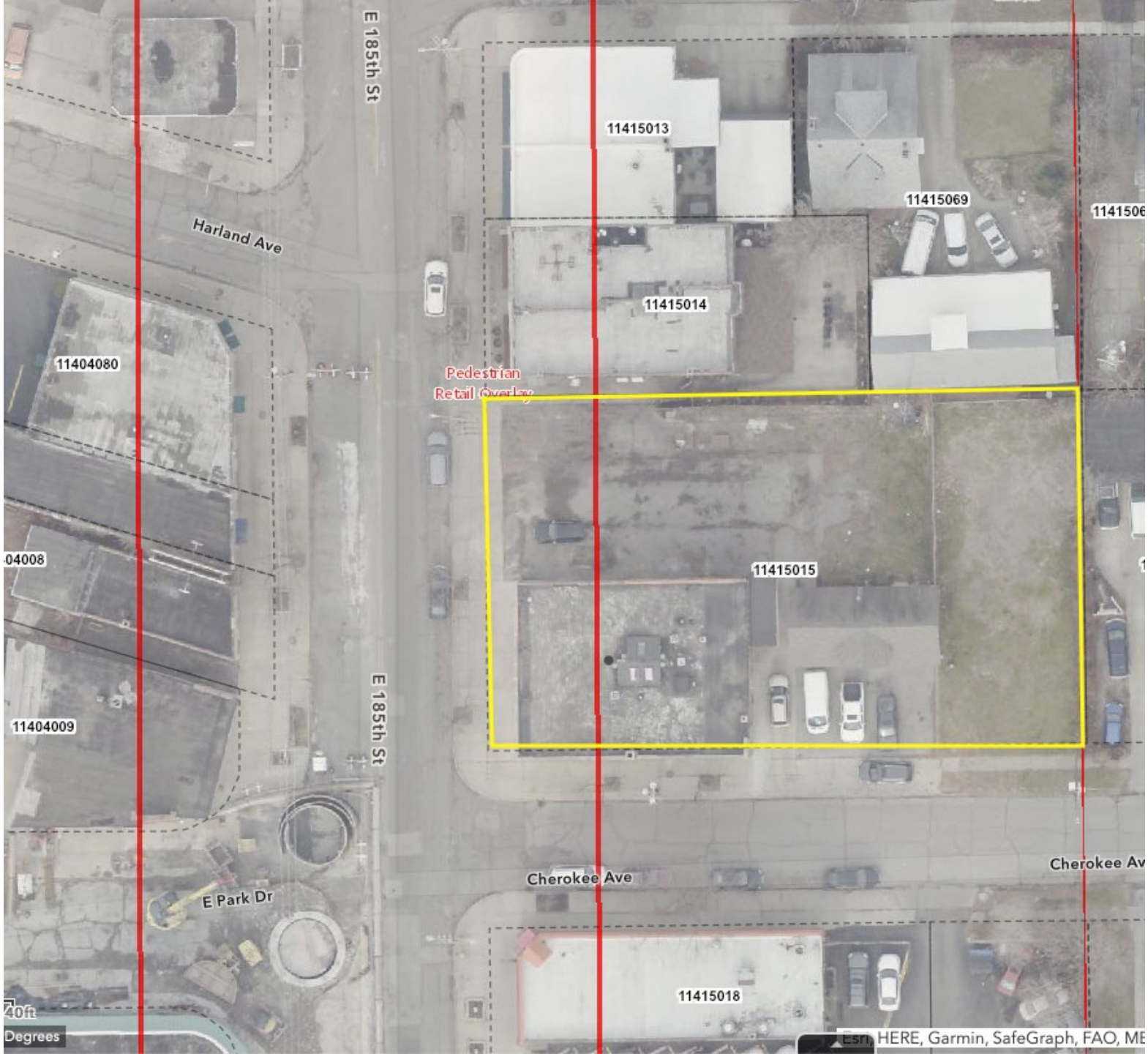
- A. Off-Street Parking or Loading Areas
- B. Driveways extending across a public sidewalk
- E. Building with an Interior Side Yard more than four (4) feet in width and located within fort (40) feet of a Pedestrian Retail Frontage.

Presenter: Shannan Leonard, Staff Planner

# 785-791 East 185<sup>th</sup> Street

City Planning Commission Hearing  
March 19, 2021





E 185th St

Harland Ave

11404080

11415013

11415069

1141506

11415014

Pedestrian  
Retail Overlay

04008

11404009

E 185th St

11415015

Cherokee Ave

Cherokee Av

E Park Dr

40ft

Degrees

11415018

HERE, Garmin, SafeGraph, FAO, ME



# Pedestrian Retail Overlay Conditional Uses & Criteria

## (343.23 (e) (2)(A), (B), & (E))

### **A & B. Off-Street Parking or Loading Areas & Driveway Across a Public Sidewalk - One (1) or both conditions apply:**

- The size, shape or layout of the subject property does not permit placement of parking, loading or the driveway in a more suitable location.
- It has been demonstrated by the applicant that placement of the parking, loading or driveway in allowed location would jeopardize the continued occupancy of the subject property by uses suited to the PRO district.

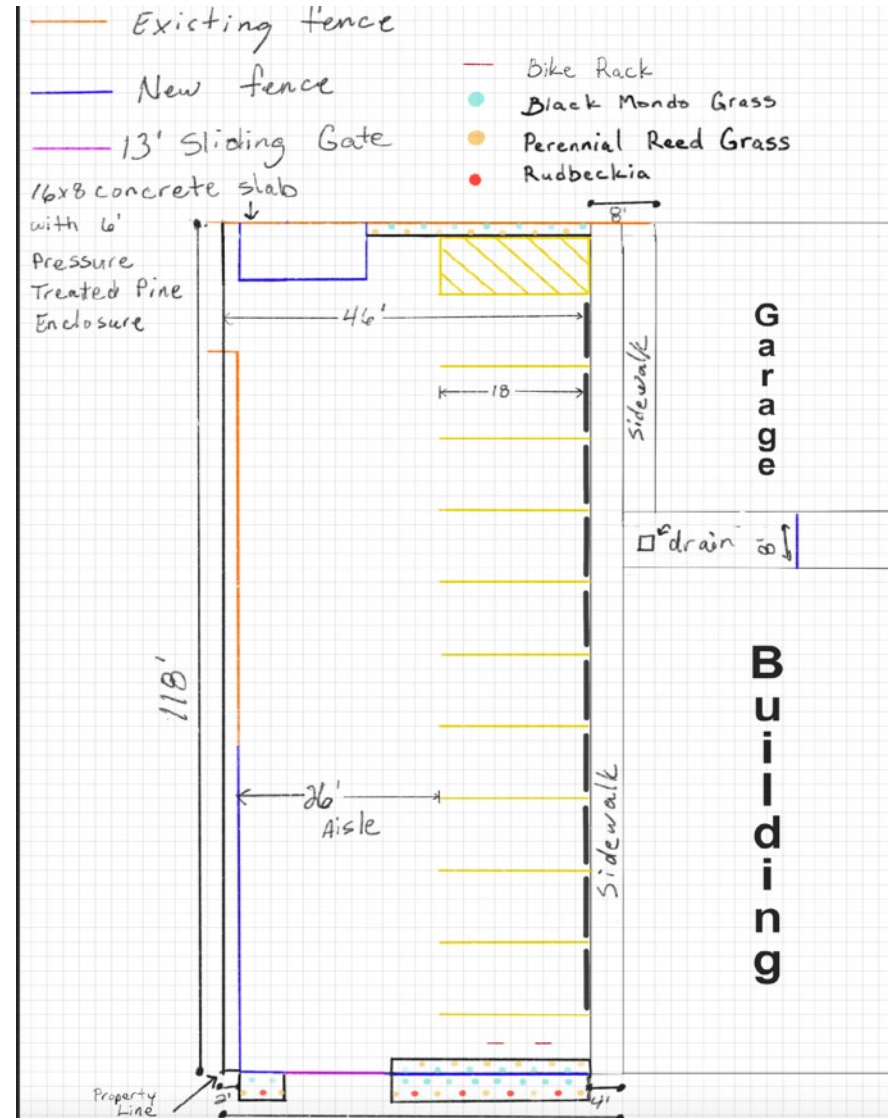


# Pedestrian Retail Overlay Conditional Uses & Criteria

## (343.23 (e) (2)(A), (B), & (E))

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- It has been demonstrated by the applicant that placement of the parking, loading or driveway in allowed location would jeopardize the continued occupancy of the subject property by uses suited to the PRO district.





**F. A Building with an interior side yard more than (4) feet in width and located within forty (40) feet of a Pedestrian Retail Frontage:**



- The subject building will be occupied by residential units which require the greater side yard area to allow for desirable levels of light and air
- CPC has approved a driveway



# Pedestrian Retail Overlay Conditional Uses

**A.) Off-Street Parking or Loading Areas**

**B.) Driveways Extending Across a Public Sidewalk**

**E.) Building with an interior side yard more than (4) feet in width within forty (40) feet of a Pedestrian Retail Street Frontage**

# Cleveland City Planning Commission

## Lot Consolidation / Splits

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March 19, 2021

# Lot Consolidation / Split

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March 19, 2021

For PPN# 007-01-071

**Project Address: 4210 Orchard Avenue**

Project Representative: Jeff Snacki, Property Owner

Note: this project was Tabled by the Planning Commission on March 5, 2021.



# LOT SPLIT PROPOSAL FOR PARCEL #007-01-071

Located at 4210 Orchard Avenue

Cleveland, Ohio 44113

Property Owner: Jeff Snacki (216)632-0395

# REASONS FOR THE REQUESTED PARCEL SPLIT

4210 ORCHARD AVENUE  
CLEVELAND, OHIO 44113

- I purchased this property in 2015 with the intention of restoring both the house and the church.
- While in the process of fixing up the house I have been unsuccessful in obtaining funding for repairing the structurally damaged church.
- The church had been structurally damaged during the building of Orchard School and the parishioners moved out at this point.
- The church is a beautiful building that needs the right team and funding to complete the job. If allowed, I have decided to split the parcel in order to save the church but keep my house.
- I have found a buyer/ developer for the church that is very interested in saving the building and turning it into 4 residential units. I see this as an exciting opportunity to save a venerable structure in need of immediate structural repair and turn it into a place that will enrich the neighborhood.



# Current Plat approved 1999

The current parcel is divided into two sub-lots that divide the church building in half.

**CERTIFICATION**

THIS PLAT WAS PREPARED FROM A FIELD SURVEY, ANALYSIS OF RECORDED PLATS, RECORDED DEEDS AND CITY SURVEY RECORDS. DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. BEARINGS USED HEREON ARE BASED ON THE CLEVELAND REGIONAL GEODETIC SYSTEM AND, ALL OF WHICH I DECLARE TO BE CORRECT TO THE BEST OF MY KNOWLEDGE.

*Joseph Gutoskey, P.E.*  
 JOSEPH GUTOSKEY, P.E. 7567



WE, THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT AND SURVEY, DO HEREBY ASSENT TO AND ADOPT THIS CONSOLIDATION AND LOT SPLIT OF THE SAME, ACKNOWLEDGE THAT THE SAME WAS AT OUR REQUEST AND AUTHORIZE ITS RECORDING.

BAILEY ORCHARD DEVELOPMENT LTD., LLC

BY: *William V. B.*  
 New Village Land, Member

*Connie Dennis*  
 WITNESS *Connie Dennis*  
 WITNESS *Connie Dennis*

STATE OF OHIO }  
 COUNTY OF CUYAHOGA } SS

BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE SIGNED BAILEY ORCHARD DEVELOPMENT LTD., LLC BY: *Russell Belysch* ITS MEMBER WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT TO BE HIS FREE ACT AND DEED AND THE FREE ACT AND DEED OF SAID BAILEY ORCHARD DEVELOPMENT LTD., LLC. IN WITNESS WHEREOF I HAVE SET MY HAND AND OFFICIAL SEAL AT Cleveland, OHIO, THIS 19 DAY OF October, 1999.

*RAE S. SHEA*  
 NOTARY PUBLIC

RAE S. SHEA  
 NOTARY PUBLIC, STATE OF OHIO  
 Recorded in Cuyahoga County  
 My Comm. Expires Feb. 12, 2001



Plat No. 18-24

RECEIVED FOR RECORD  
 Recorded in Cuyahoga  
 County Records

On November 4, 1999

At 11:49 A.M.

File # 199911040583

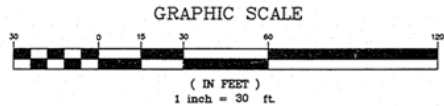
\$ 21.60

Vol. 302 Pg. 60

COUNTY RECORDER

FRANK RUSSO, COUNTY AUDITOR  
 APPROVED OWNERSHIP, ONLY, OF

PERM. PARCEL NO.  
007-01-068/069/070  
 BY: *Frank Russo* 11-4-99  
 Deputy Auditor



**APPROVALS**

THIS PLAT IS HEREBY APPROVED BY THE PLANNING DIRECTOR OF CITY OF CLEVELAND THIS 30 DAY OF November, 1999.

*Earl W. Jackson*  
 FOR THE CITY PLANNING DIRECTOR PER B.O.Z.A. 99-244

THIS PLAT IS HEREBY APPROVED BY THE PLATTING COMMISSIONER OF THE CITY OF CLEVELAND THIS 10 DAY OF November, 1999.

*Richard*  
 FOR THE CITY PLATTING COMMISSIONER PER B.O.Z.A. 99-244

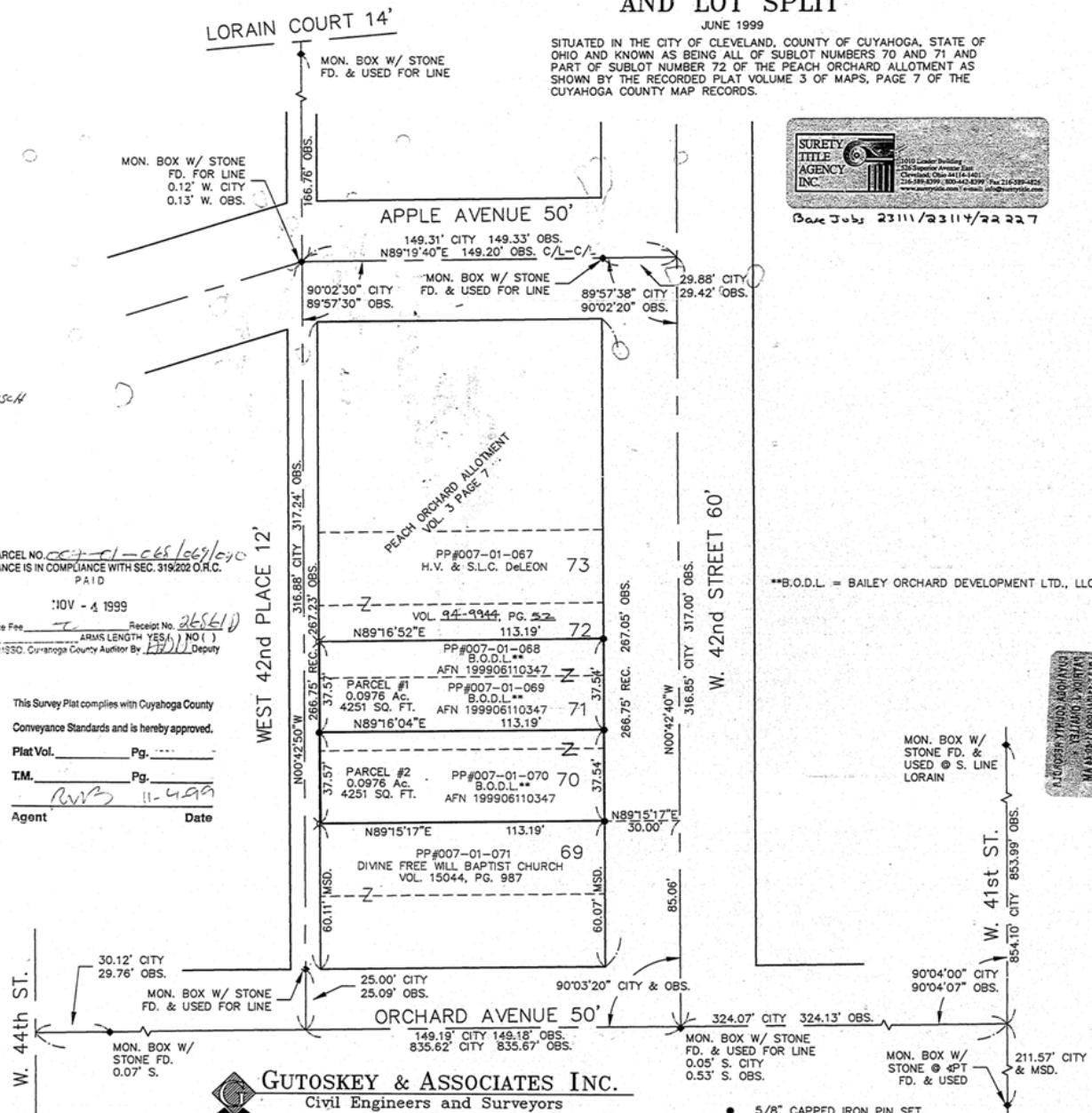
## PLAT OF CONSOLIDATION AND LOT SPLIT

JUNE 1999

SITUATED IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, STATE OF OHIO AND KNOWN AS BEING ALL OF SUBLOT NUMBERS 70 AND 71 AND PART OF SUBLOT NUMBER 72 OF THE PEACH ORCHARD ALLOTMENT AS SHOWN BY THE RECORDED PLAT VOLUME 3 OF MAPS, PAGE 7 OF THE CUYAHOGA COUNTY MAP RECORDS.



Bank Jobs 23111/23114/22 227



This Survey Plat complies with Cuyahoga County Conveyance Standards and is hereby approved.  
 Plat Vol. \_\_\_\_\_ Pg. \_\_\_\_\_  
 T.M. \_\_\_\_\_ Pg. \_\_\_\_\_  
 Agent *RWB* Date 11-4-99

**GUTOSKEY & ASSOCIATES INC.**  
 Civil Engineers and Surveyors  
 10205 QUEENS WAY #6 Tel (440) 543-6900  
 CHAGRIN FALLS, OHIO 44023 Fax (440) 543-7176

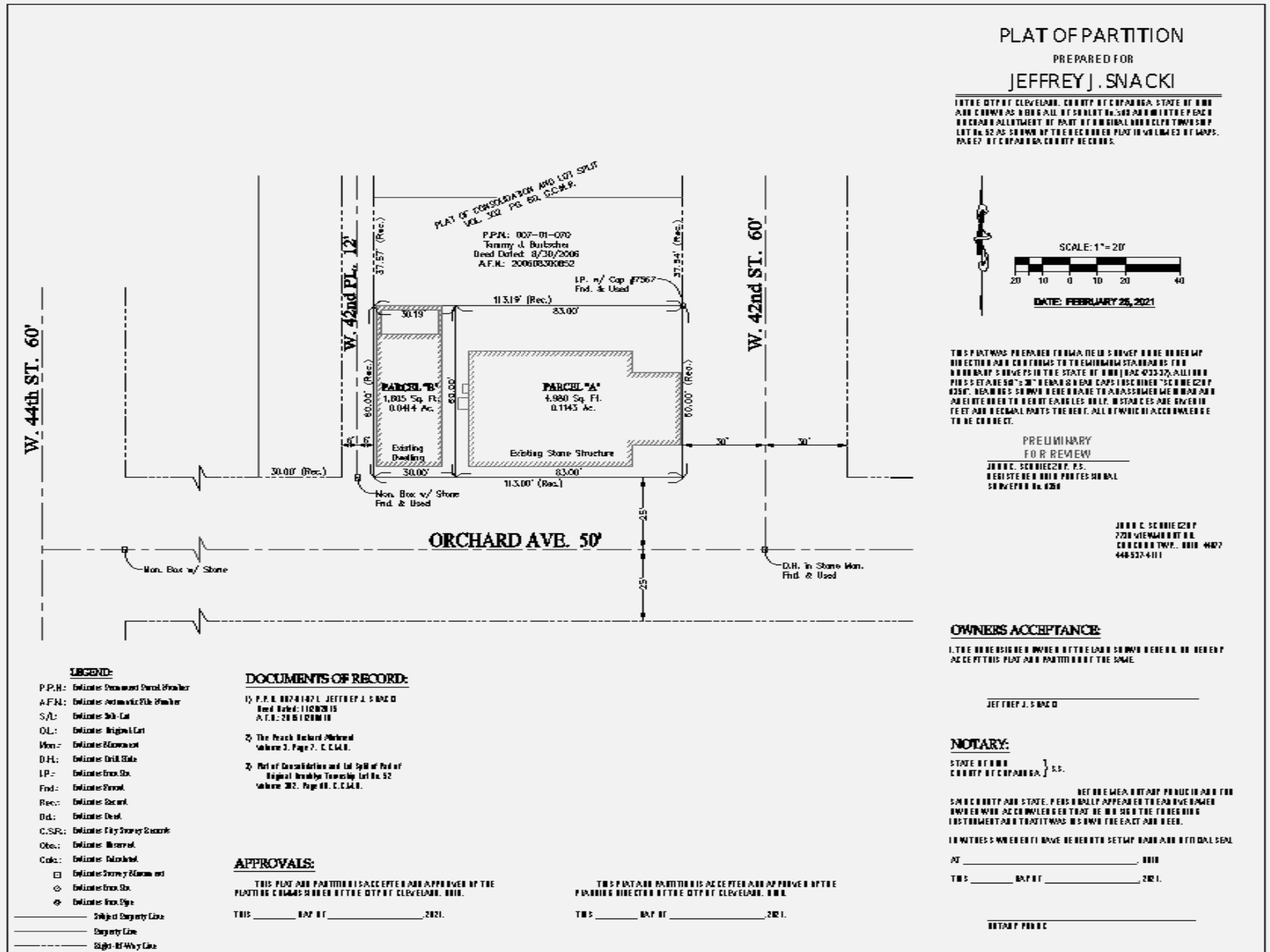
- 5/8" CAPPED IRON PIN SET
- △ P.K. NAIL SET
- ⊕ DRILL HOLE SET

CONTRACT NO. 98-981

A-2478

# Plat of Partition currently under consideration for lot split (2021)

The new proposed  
line will be between  
the house and church.



IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA, STATE OF OHIO AND SHOWN AS BEING ALL OF LOT NO. 543 AND PART OF THE POND ROAD ALLIEMENT OF PART OF ORIGINAL CUYAHOGA TOWNSHIP LOT NO. 52 AS SHOWN BY THE RECORDED PLAT IN VOLUME 87 OF MAPS, PAGE 7 OF CUYAHOGA COUNTY RECORDS.

W. 44th ST. 60'

W. 42nd PL. 12'

W. 42nd ST. 60'

ORCHARD AVE. 50'

PLAT OF CONSOLIDATION AND LOT SPLIT VOL. 302 PG. 60, C.C.M.R.

P.P.N.: 007-01-070  
Tommy J. Burtche  
Deed Dated: 8/30/2006  
A.F.N.: 200608300852

IP. w/ Cap #7567  
Fnd. & Used

PARCEL "B"  
1,805 Sq. Ft.  
0.0414 Ac.

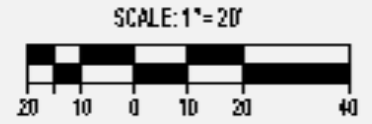
PARCEL "A"  
4,980 Sq. Ft.  
0.1145 Ac.

Existing Building

Existing Stone Structure

Non. Box w/ Stone  
Fnd. & Used

D.H. in Stone Man.  
Fnd. & Used



DATE: FEBRUARY 26, 2021

THIS PLAT WAS PREPARED FROM A FIELD SURVEY MADE UNDER MY DIRECTION AND CONTROL TO THE FOLLOWING STANDARDS FOR SURVEYING SURVEYS IN THE STATE OF OHIO (RAC 4733-37): ALL 1000 PINS SET ARE 5/8" x 30" DEAGS IN 600 CAPS INSCRIBED "S" ON ONE END & "250" DEAGS ON THE OTHER TO A MASSIVE WOOD AND ADJUSTED TO NEUTRAL ANGLES ONLY. DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. ALL DISTANCES ARE ACKNOWLEDGED TO BE CORRECT.

PRELIMINARY FOR REVIEW

JOHN C. SCHIECZNY, P.S.  
REGISTERED PROFESSIONAL SURVEYOR No. 4261

JOHN C. SCHIECZNY  
7720 WENMAN RD. N.E.  
COLUMBIANA TWP., OHIO 44027  
440-527-4111



Church Aerial  
with downtown  
Cleveland view





Sideview of church  
from Orchard  
Avenue



Sideview from the Orchard School of Science yard, showing the house and church to be sub-divided.





Front views of  
the church from  
West 42<sup>nd</sup> St.





This is the current view of the shared driveway between the church and the house.

Attached to the house, there is an original one car garage that is very small, it is currently used as storage because most modern cars will not fit in it.

If allowed, the shared driveway will be part of the subdivided property belonging to the church. I am open to an easement of the driveway if necessary.







Attached garage( House)

HOUSE

CHURCH

4210 Orchard Ave,  
Cleveland, OH 44113

Divine Free Will  
Baptist Church

W 42nd St

W 42nd St

W 42nd St

Orchard Ave

Orchard Ave

Orchard Ave

Orchard Ave

Orchard Ave

Orchard Ave

Orchard Ave

W 42nd Pl

W 42nd Pl

W 42nd Pl

W 42nd Pl

4218

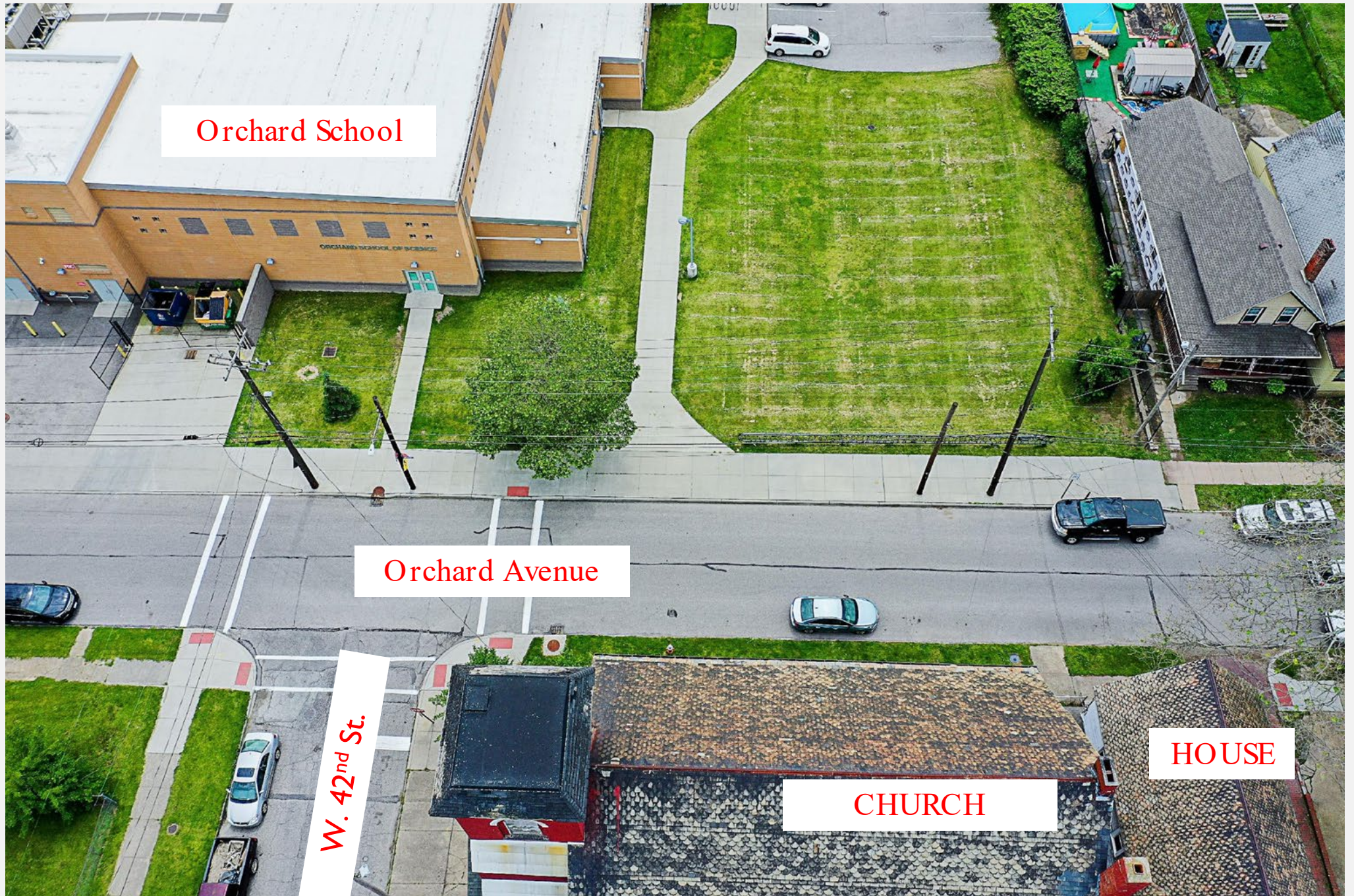
4214

2116

2130



Church and Orchard School



Orchard School

Orchard Avenue

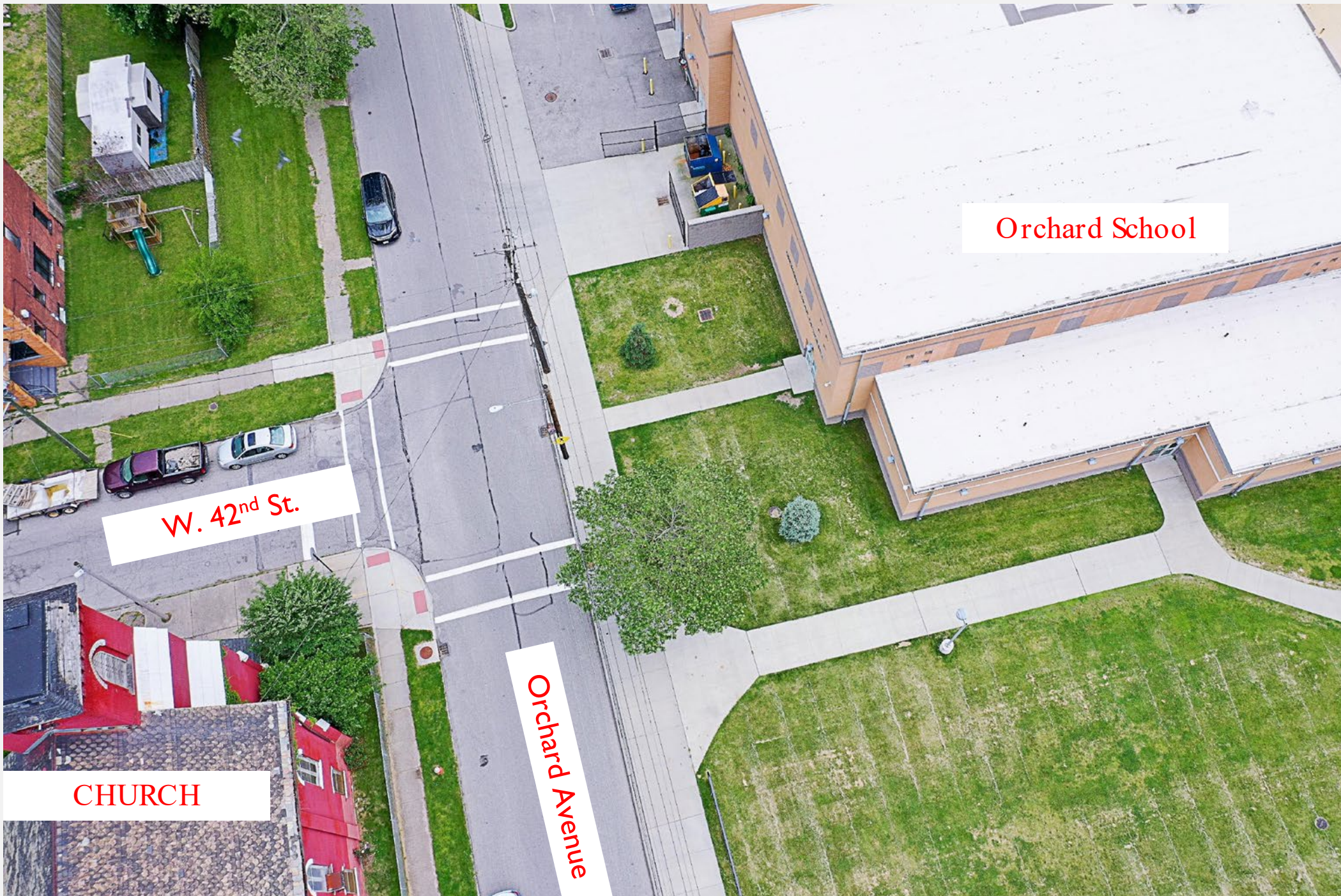
W. 42nd St.

CHURCH

HOUSE



Church and Orchard School



Orchard School

W. 42nd St.

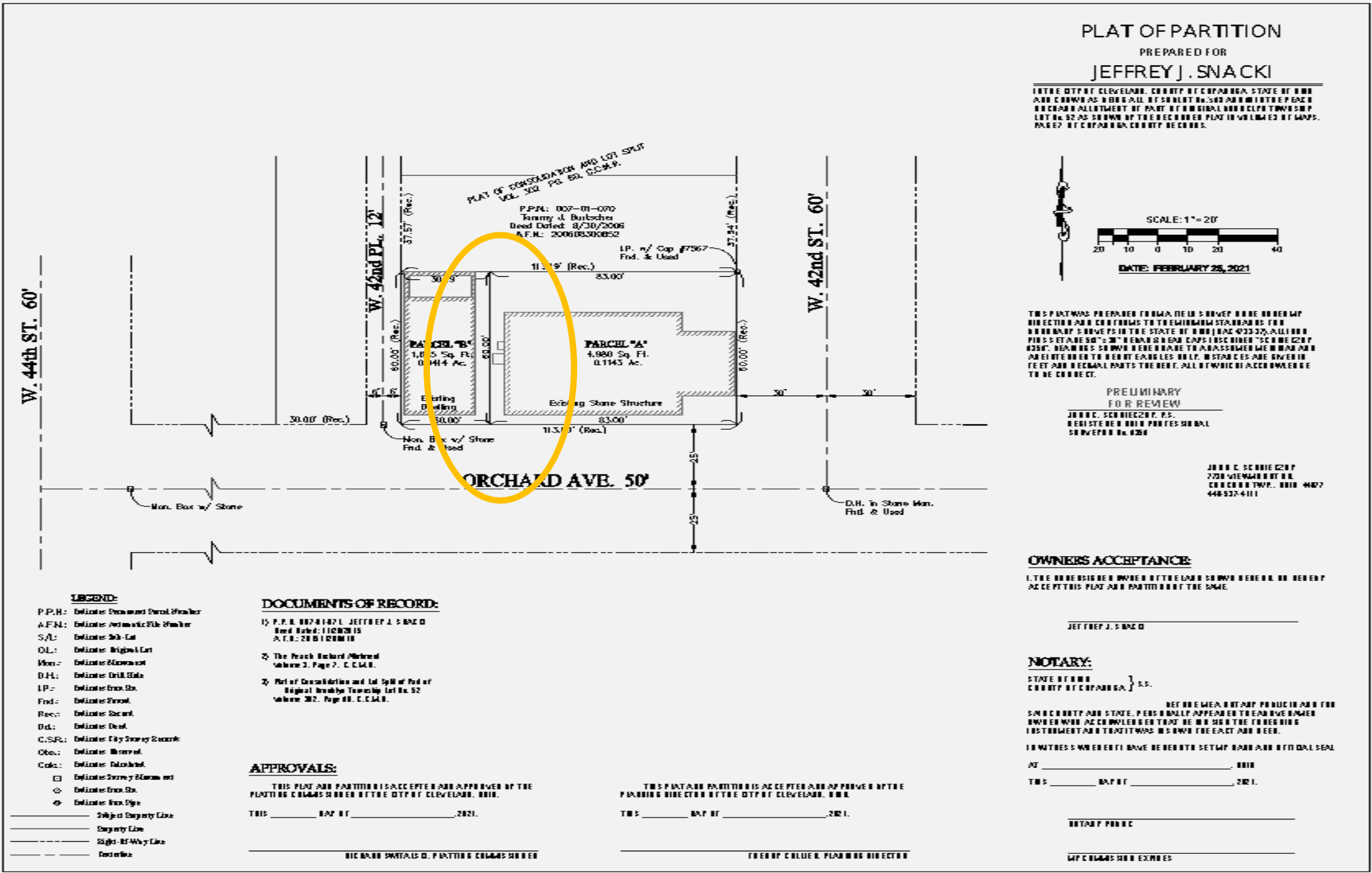
Orchard Avenue

CHURCH

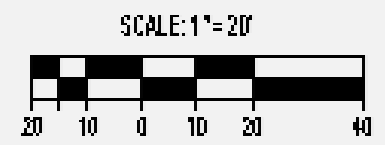
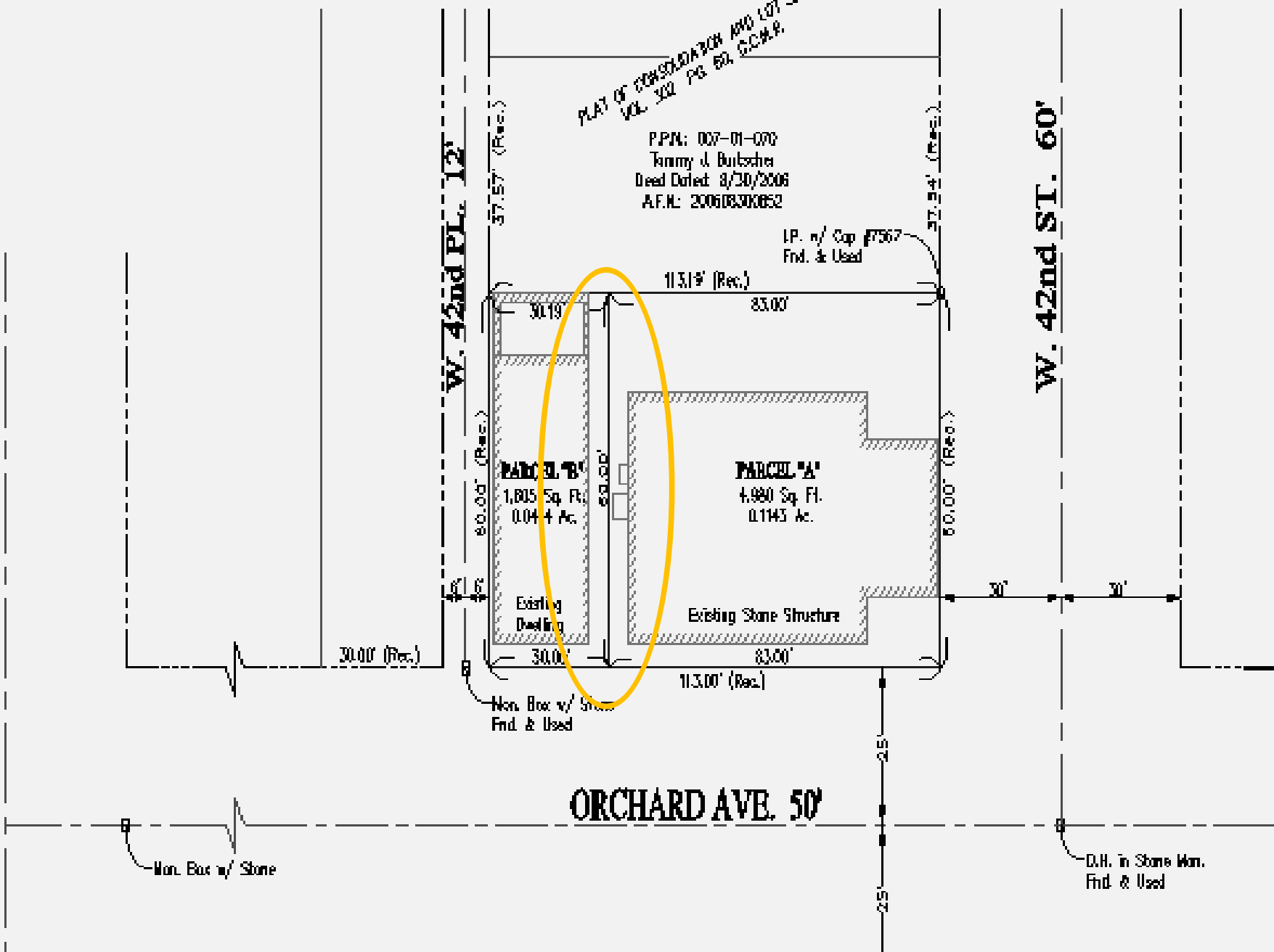


Plat of Partition  
currently under  
consideration  
for lot split  
(2021)

The new  
proposed line  
will be between  
the house and  
church.



W. 44th ST. 60'



DATE: FEBRUARY 26, 2021

THIS PLAN WAS PREPARED FROM A FIELD SURVEY TO BE CONDUCTED BY THE SURVEYOR AND CONFORMS TO THE MINIMUM STANDARDS FOR SURVEYING PRACTICES IN THE STATE OF IOWA (IAC 423.37), ALL IOWA SURVEYING PRACTICES SHALL BE IN ACCORDANCE WITH THE IOWA SURVEYING PRACTICES ACT (IOWA CODE CHAPTER 423). THE SURVEYOR HAS BEEN ADVISED THAT THE PROPERTY OWNER HAS BEEN ADVISED TO VERIFY THE LOCATION OF ALL UTILITIES AND RECORDS BEFORE THE START OF CONSTRUCTION. ALL DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. ALL DISTANCES ARE ASSUMED TO BE CORRECT.

PRELIMINARY  
FOR REVIEW

JOHN C. SCORIEZOFF, P.S.  
REGISTERED PROFESSIONAL  
SURVEYOR No. 0254

JOHN C. SCORIEZOFF  
7700 VIEWMAN DR. S.E.  
COURTOWN TWP., IOWA 4807  
448-937-4111

FOR FURTHER QUESTIONS AND  
INFORMATION

Please contact Jeff Snacki (216)632-0395

[jeffsnacki@yahoo.com](mailto:jeffsnacki@yahoo.com)

# Lot Consolidation / Split

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March 19, 2021

For PPN# 007-02-002

**Project Address: 2055 West 44<sup>th</sup> Street**

Project Representative: Michael David, BR Knez Construction



Google Maps 2058 W 44th St



Image capture: Aug 2019 © 2021 Google

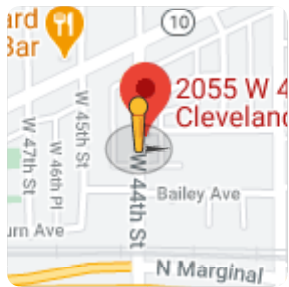
Cleveland, Ohio



Street View



Currently shown: Aug 2019





**POLARIS ENGINEERING & SURVEYING, INC.**

34600 CHARDON ROAD  
SUITE D  
WILLOUGHBY HILLS, OH 44094  
(440) 944-4433  
(440) 944-3722 (Fax)  
www.polaris-es.com

DATE: 2/18/21

SCALE: HOR. 1"=20'

FOLDER: Engineering

FILENAME: Site Plan Overall

TAB: 01-Site Plan Overall

DRAWN: JNG

OVERALL SITE PLAN FOR:

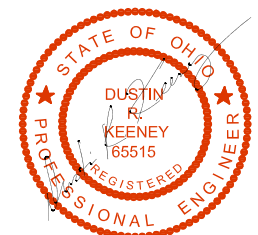
# 2055 West 44th Street

CITY OF CLEVELAND - CUYAHOGA COUNTY - OHIO

PREPARED FOR:

**B.R. Knez Construction Inc.**  
7555 Fredle Dr., Suite 210  
Concord Twp., Ohio  
PHONE: (440) 710-0711

SEAL



CONTRACT No.

17295

SHEET

OF

01

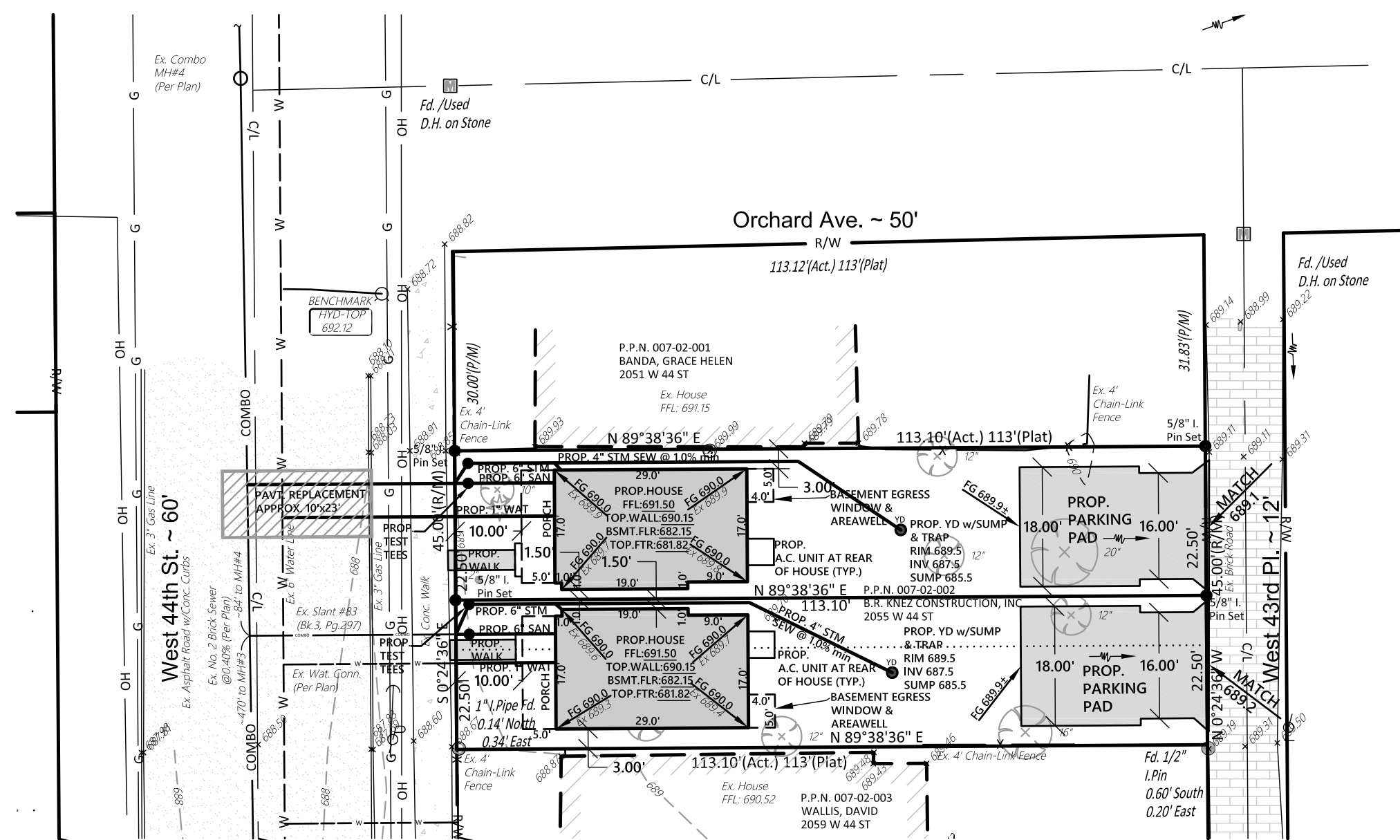
01

### Elevations Used To Establish House Floor Grades:

- Fin.Grade+(1'-6")=Frst.Flr.
- Frst.Flr.-(1'-4.25")=Top/Wall
- Top/Wall-(8'-4")=Top/Ftr.
- Top/Ftr.+(0'-4")=Bsmt.Flr.

### NOTE:

-CONTRACTOR TO VERIFY LOCATION OF EXISTING LATERALS. IF NONE LOCATED, NEW CONNECTION TO SEWER MAIN SHALL BE MADE.



**811** O.U.P.S. REFERENCE A-734-500-934

2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1  
OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS MUST BE CALLED DIRECT

**EXISTING UNDERGROUND UTILITIES NOTE:**  
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED. WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

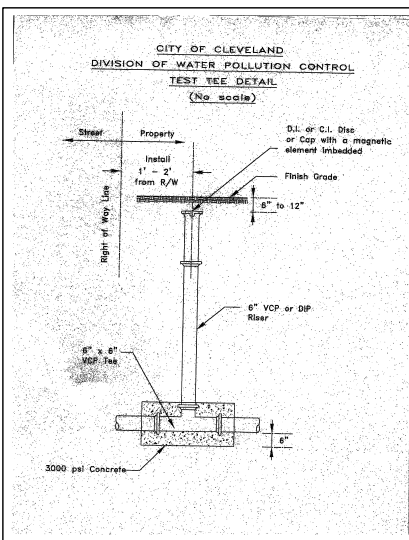
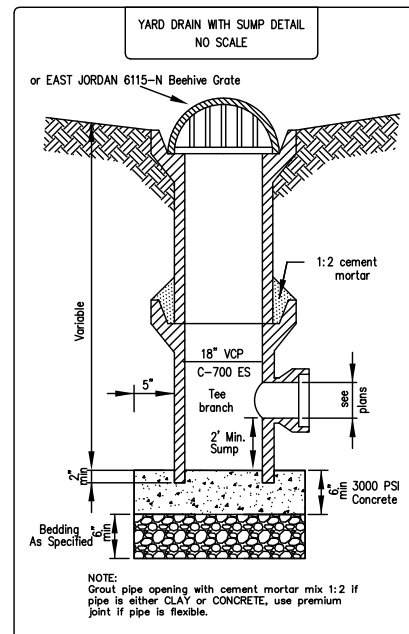
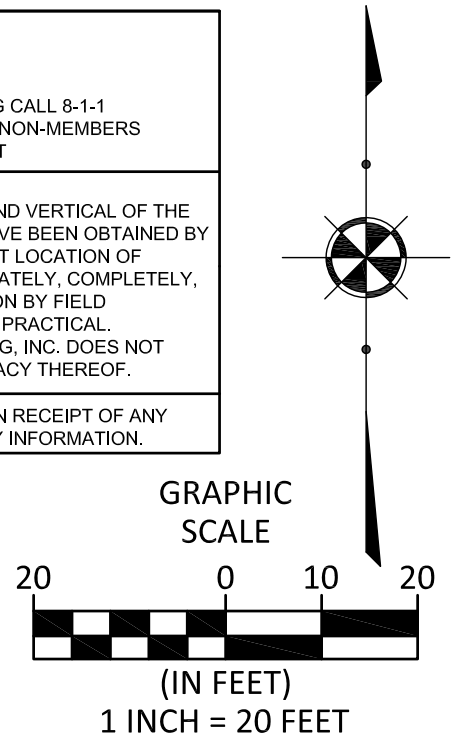
### TOPOGRAPHIC CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 1' CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE BY ME ON THE 18th DAY OF DECEMBER, 2017, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON. VERTICAL DATUM IS BASED ON NAVD88.

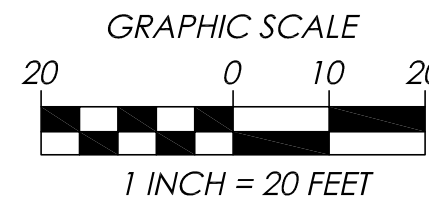
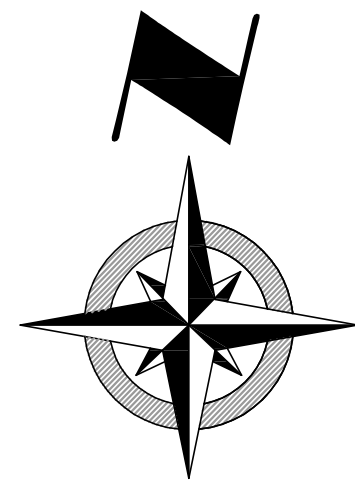
*Richard A. Thompson Jr.*  
RICHARD A. THOMPSON, JR., P.S. #7388



SYMBOL LEGEND	
	Ex. Clean Out
	Ex. Catch Basin
	Prop. Catch Basin
	Ex. Yard Drain
	Ex. Manhole
	Ex. Storm Manhole
	Prop. Storm Manhole
	Ex. Sanitary Manhole
	Prop. Sanitary Manhole
	Ex. Curb Inlet
	Prop. Curb Inlet
	Ex. Gas Marker
	Ex. Gas Meter
	Ex. Gas Valve
	Ex. Water Valve
	Ex. Water Meter
	Ex. Fire Hydrant
	Prop. Hydrant
	Prop. WL Valve
	Well
	Test Bore
	Ex. Electrical Box
	Ex. Guy Wire
	Ex. Power Pole
	Ex. Light Power Pole
	Ex. Light Pole
	Prop. Light Pole
	Ex. Tree
	Ex. Pine Tree
	Ex. Bush
	Ex. Mailbox
	Ex. Sign
	Ex. Telephone Box
	Guard Post
	Ex. Monument Box
	Power Transformer
	Sprinkler Control Box
	Sprinkler Head
	Traffic Signal Pole
	Traffic Signal Box







# Plat of Lot Split & Consolidation

Of P.P.N. 007-02-002 ~ 2055 W. 44th Street  
Situating in the City of Cleveland, County of Cuyahoga, and State of Ohio,  
Known as being all of S/L 131 & the Northerly Half of S/L 132 of the  
Meyer and Mueller's Peach Orchard Subdivision as Recorded in Vol. 3, Pg. 7  
and further known as being part of Lot 52, Original Brooklyn Township, Being  
Township No. 7 in the 8th Range of Townships in the Connecticut Western Reserve.  
March, 2021 Scale 1"=20'

- Monument Legend:**
- ☐ MON. BOX ASSEMBLY FOUND - REFER TO SURVEY
  - EMPTY MON. BOX ASSEMBLY FOUND
  - ⊙ STONE FOUND - REFER TO SURVEY
  - IRON PIPE FOUND - REFER TO SURVEY
  - IRON PIN FOUND - REFER TO SURVEY
  - ⊙ DRILL HOLE FOUND - REFER TO SURVEY
  - ⊙ DRILL HOLE SET - REFER TO SURVEY
  - 5/8" x 30" IRON PIN SET WITH I.D. CAP POLARIS "7388"

- Survey Abbreviations:**
- |                                   |                                       |
|-----------------------------------|---------------------------------------|
| (A.F.N.) = AUTOMATIC FILE NUMBER  | (Obs.) = OBSERVED DISTANCE            |
| (ACT.) = ACTUAL DISTANCE          | (O.L.) = ORIGINAL LOT LINE            |
| (CALC.) = CALCULATED DISTANCE     | (O.R.) = OFFICIAL RECORD              |
| (C.L.) = CENTERLINE               | (P.L.) = PROPERTY LINE                |
| (C.S.R.) = CITY SURVEY RECORDS    | (P.P.N.) = PERMANENT PARCEL NUMBER    |
| (Dd.) = DEED DISTANCE             | (P.C.) = POINT OF CURVATURE           |
| (D.R.) = DEED RECORD              | (P.T.) = POINT OF TANGENCY            |
| (Doc.) = DOCUMENT NUMBER          | (POB) = PLACE OF BEGINNING            |
| (Encr.) = ENCROACHMENT            | (PPOB) = PRINCIPAL PLACE OF BEGINNING |
| (Fd.) = FOUND                     | (Rec.) = RECORDED PLAT                |
| (Inst.) = INSTRUMENT NUMBER       | (R.P.) = RIGHT-OF-WAY                 |
| (Ms.) = MEASURED DISTANCE         | (RW) = RIGHT-OF-WAY                   |
| (Mon.Box) = MONUMENT BOX ASSEMBLY | (Tr.) = TURNED ANGLE                  |
|                                   | (S/L) = SUBLOT                        |

### Owners Acceptance:

I, THE UNDERSIGNED OWNER OF THE LAND SHOWN HEREON, DO HEREBY ACCEPT THIS PLAT OF LOT SPLIT AND CONSOLIDATION OF THE SAME.

BOJAN R. KNEZ - OWNER B.R. CONSTRUCTION, INC.

NOTARY:  
STATE OF OHIO }  
COUNTY OF }  
}

BEFORE ME A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED THE ABOVE NAMED OWNER WHO ACKNOWLEDGED THAT HE DID SIGN THE FOREGOING INSTRUMENT AND THAT IT WAS HIS OWN FREE ACT AND DEED.

IN WITNESS WHEREOF I HAVE HEREONTO SET MY HAND AND OFFICIAL SEAL

AT \_\_\_\_\_, OHIO THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

NOTARY PUBLIC

MY COMMISSION EXPIRES

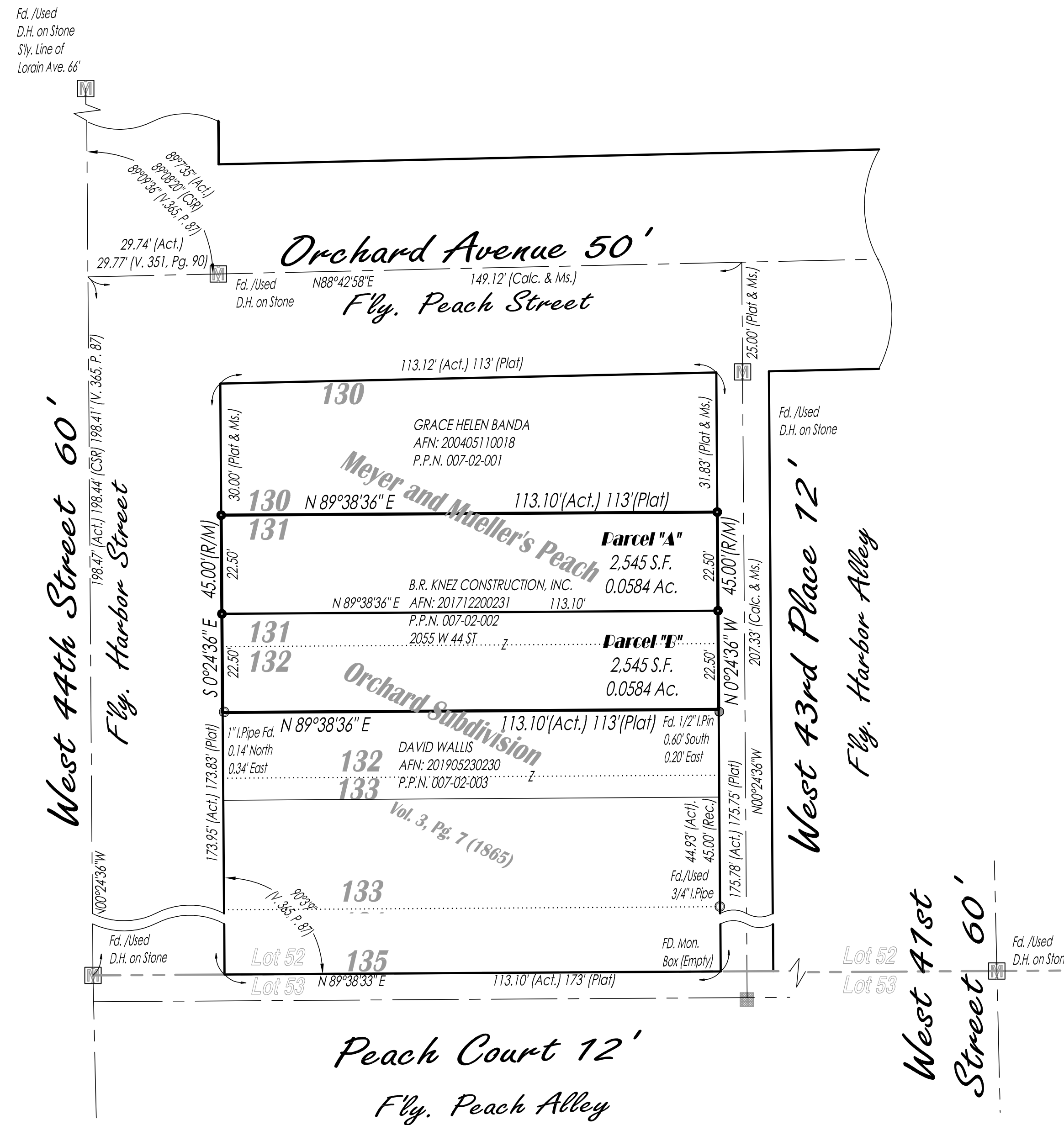
### Approvals:

THIS PLAT OF LOT SPLIT AND CONSOLIDATION IS ACCEPTED AND APPROVED BY THE PLATTING COMMISSIONER OF THE CITY OF CLEVELAND, OHIO.  
THIS \_\_\_\_\_, DAY OF \_\_\_\_\_, 2021.

RICHARD SWITALSKI, PLATTING COMMISSIONER

THIS PLAT OF LOT SPLIT AND CONSOLIDATION IS ACCEPTED AND APPROVED BY THE PLANNING DIRECTOR OF THE CITY OF CLEVELAND, OHIO.  
THIS \_\_\_\_\_, DAY OF \_\_\_\_\_, 2021.

FREDDY COLLIER, PLANNING DIRECTOR



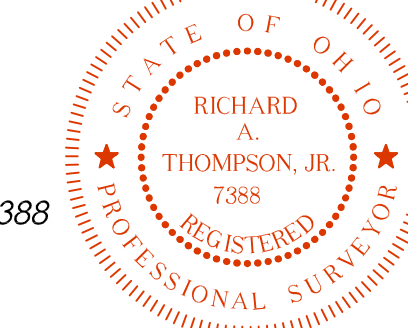
### D.P.N. Creating Parcels "A" & "B"

P.P.N.: 007-02-002. B.R. CONSTRUCTION, INC. AFN 20171220031

### Boundary Certification:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PREMISES AND PREPARED THE ATTACHED PLAT IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 4733-37 OF THE OHIO ADMINISTRATIVE CODE. THE DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF, ALL OF WHICH ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. IRON MONUMENTS OR PINS AS INDICATED WERE FOUND OR SET AS SHOWN HEREON. THE TERM CERTIFY AS USED IN THIS STATEMENT IS UNDERSTOOD TO BE THE PROFESSIONAL OPINION OF THE SURVEYOR WHICH IS FORMULATED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AND AS SUCH, IT DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS REVEALED BY AN EXAMINATION OF THE SAME. ALL DIMENSIONS ARE BASED ON THE U.S. SURVEY FOOT DEFINITION. BEARINGS REFER TO THE OHIO STATE COORDINATE SYSTEM OF 1983 (NORTH ZONE) BASED ON THE ODOT CORS/VRS SYSTEM NAD83 (2011) DATUM. ALL IRON PINS SET ARE 5/8 INCH DIAMETER BY 30-INCH-LONG REBAR WITH IDENTIFICATION CAP "POLARIS "7388" AS SHOWN HEREON (●).

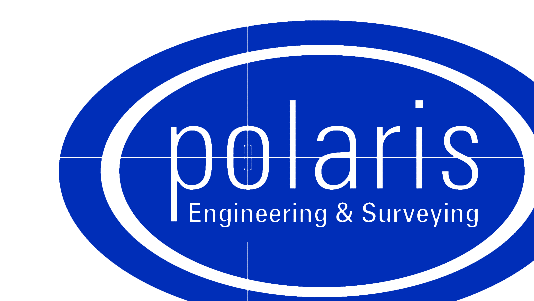
Richard A. Thompson Jr.  
RICHARD A. THOMPSON, JR.  
OHIO PROFESSIONAL SURVEYOR #7388  
DATE: 03/01/21



DATE: 03/01/21  
SCALE: HOR. 1"=20'  
VERT. 1"=00'  
FOLDER: Survey  
FILENAME: Subd. Plat  
TAB: 01 - Plat

### Survey References:

- COUNTY TAX MAPS - REFER TO SURVEY
- COUNTY RECORD DEEDS - REFER TO SURVEY
- COUNTY RECORD PLATS - REFER TO SURVEY
- COUNTY ROAD RECORDS - REFER TO SURVEY



**POLARIS ENGINEERING and SURVEYING, INC.**  
34600 CHARDON ROAD - SUITE D  
WILLOUGHBY HILLS, OHIO 44094  
(440) 944-4433 (440) 944-3722 (Fax)  
www.polaris-es.com

CONTRACT No.	
19295	
SHEET	OF
01	01

# Cleveland City Planning Commission

## Mandatory Referrals

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March 19, 2021



# Mandatory Referrals

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March 19, 2021



Ordinance No. 126-2021(Ward 3/Councilmember McCormack): Giving consent of the City of Cleveland to the Director of Transportation of the State of Ohio for Towpath Phase 4 Trailhead; to apply for and accept any gifts or grants from any public or private entity; authorizing the Director of Capital Projects or Public Works to enter into any relative agreements; and causing payment of the City's share to the State for the cost of the improvement.

# Cleveland City Planning Commission

**Real Estate Legislation**  
**March 19, 2021**



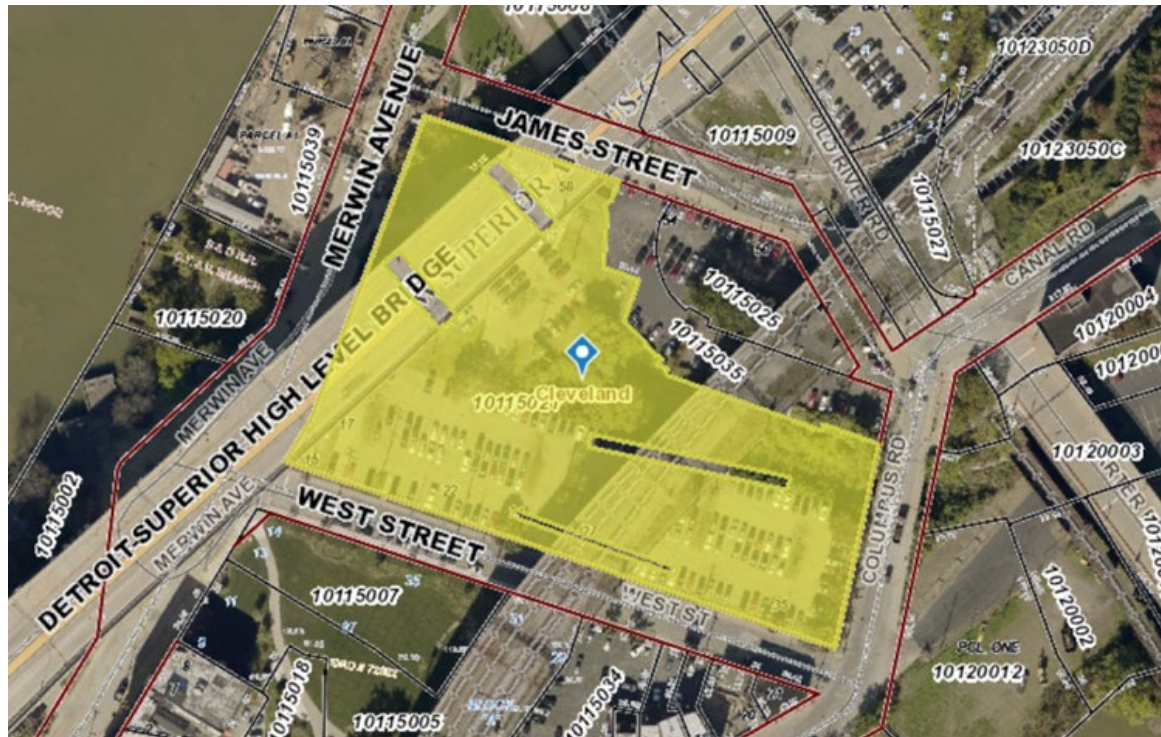
**CITY OF CLEVELAND**  
Mayor Frank G. Jackson



# Ord. No. 126-2021

## Towpath Trail Phase 4 Trailhead

- A trailhead for Stage 4/Phase 4 of Towpath Trail will be constructed at Canal Basin Park with CMAQ funding through NOACA and City funds.
- Construction project will be let by ODOT with City as project sponsor.
- Design of the trailhead has been collaborative effort by City of Cleveland, Metroparks, and Canalway Partners.



# Ord. No. 126-2021

## Towpath Trail Phase 4 Trailhead

- This legislation:
  - Gives consent of the City of Cleveland to the Director of Transportation of the State of Ohio for Towpath Phase 4 Trailhead;
  - To apply for and accept any gifts or grants from any public or private entity;
  - Authorizes the Director of Capital Projects or Public Works to enter into any relative agreements;
  - Cause payment of the City's share to the State for the cost of the improvement.



# Ord. No. 126-2021

Towpath Trail Phase 4 Trailhead

Canal Basin Park Location














# Ord. No. 126-2021




**CANAL BASIN PARK: CONCEPTUAL MASTER PLAN**  
 PARK RENOVATION & DEVELOPMENT  
 1"=30'-0"  


	TOWPATH		PROPOSED SHRUB
	SIDEWALK		BIOFILTRATION / VEGETATION
	PERVIOUS PAVERS AMENITIES STRIP		LAWN
	GRAVEL UNDERBRIDGE		PROPOSED / EXISTING TREES
	HISTORIC RAIL LINE		



# Ord. No. 126-2021







# Mandatory Referrals

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March 19, 2021



Resolution No. 132-2021(Ward 5/Councilmember Cleveland): Declaring the necessity and intention to appropriate property for the public purpose of constructing the new City of Cleveland police headquarters along Opportunity Corridor west of East 75<sup>th</sup> Street.

# Cleveland City Planning Commission

**Real Estate Legislation**  
**March 19, 2021**



**CITY OF CLEVELAND**  
Mayor Frank G. Jackson



# Res. No. 132-2021

Appropriation of Property for Police Headquarters Project



# Res. No. 132-2021

## Appropriation of Property for Police Headquarters Project

- City is seeking to complete site control for the Police Headquarters project
- Only one parcel is outstanding
- Owned by Mr. Roy Levy
- PPN 124-24-070 (3,795 sq. ft.)
- 0000 Grand Avenue (W. of E. 71<sup>st</sup> St)
- Appraised Value is \$2,500.00
- Mr. Levy will not respond to City or Burten, Bell, Carr Development, Inc.
- We attempted to make contact from 2018 to 2021
- Eminent domain is required



# Cleveland City Planning Commission

## Administrative Approvals

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March 19, 2021

# Administrative Approvals

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March 19, 2021



Ordinance No. 149-2021(Ward 7/Councilmember B. Jones): Authorizing the Director of Community Development to enter into an amendment to Lease Agreement No. NF 2017-058 with Shaia Parking, Inc. or its designee, for the purpose of operating a parking lot at 1301-1325 Chester Avenue; and to enter into an amendment to the Option to Purchase Agreement No. NF 2017-059 with Shaia to extend both the lease and the option to purchase to an additional four years.

# Administrative Approvals

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March 19, 2021



Ordinance No. 175-2021(Ward 7/Councilmember B. Jones): Establishing a seven (7) foot specific mapped setback along the west side of East 90<sup>th</sup> Street from Chester Avenue extending north to the southern property line of Permanent Parcel Number 119-09-036.



# Administrative Approvals

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March 19, 2021



Ordinance No. 176-2021(Ward 10/Councilmember Hairston): Establishing a seven (7) foot Specific Mapped Building Setback from the property line along East 73<sup>rd</sup> Street between St Clair Avenue and Detour Avenue.

# Cleveland City Planning Commission

## Design Review Cases

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March 19, 2021

# Far West Design Review Case

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March 19, 2021



FW2020-027 - OKO Homes New Construction: Seeking Final Approval

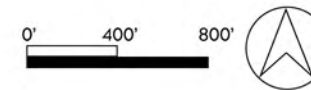
**Project Location: West 57<sup>th</sup> Street and Side Court**

Project Representative: Gary Neola, Cornerstone Architecture

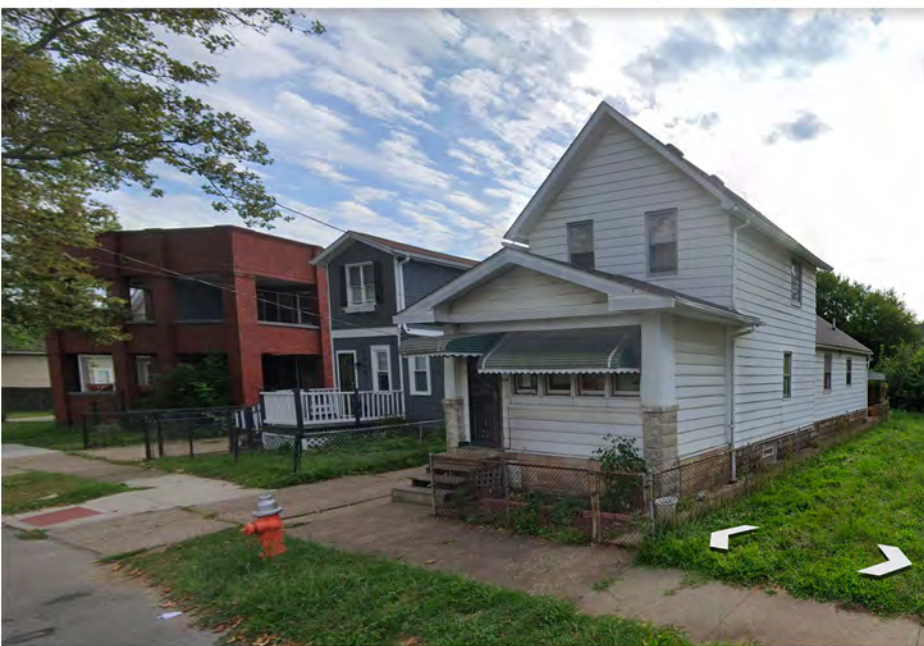




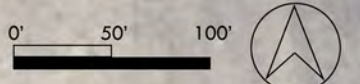
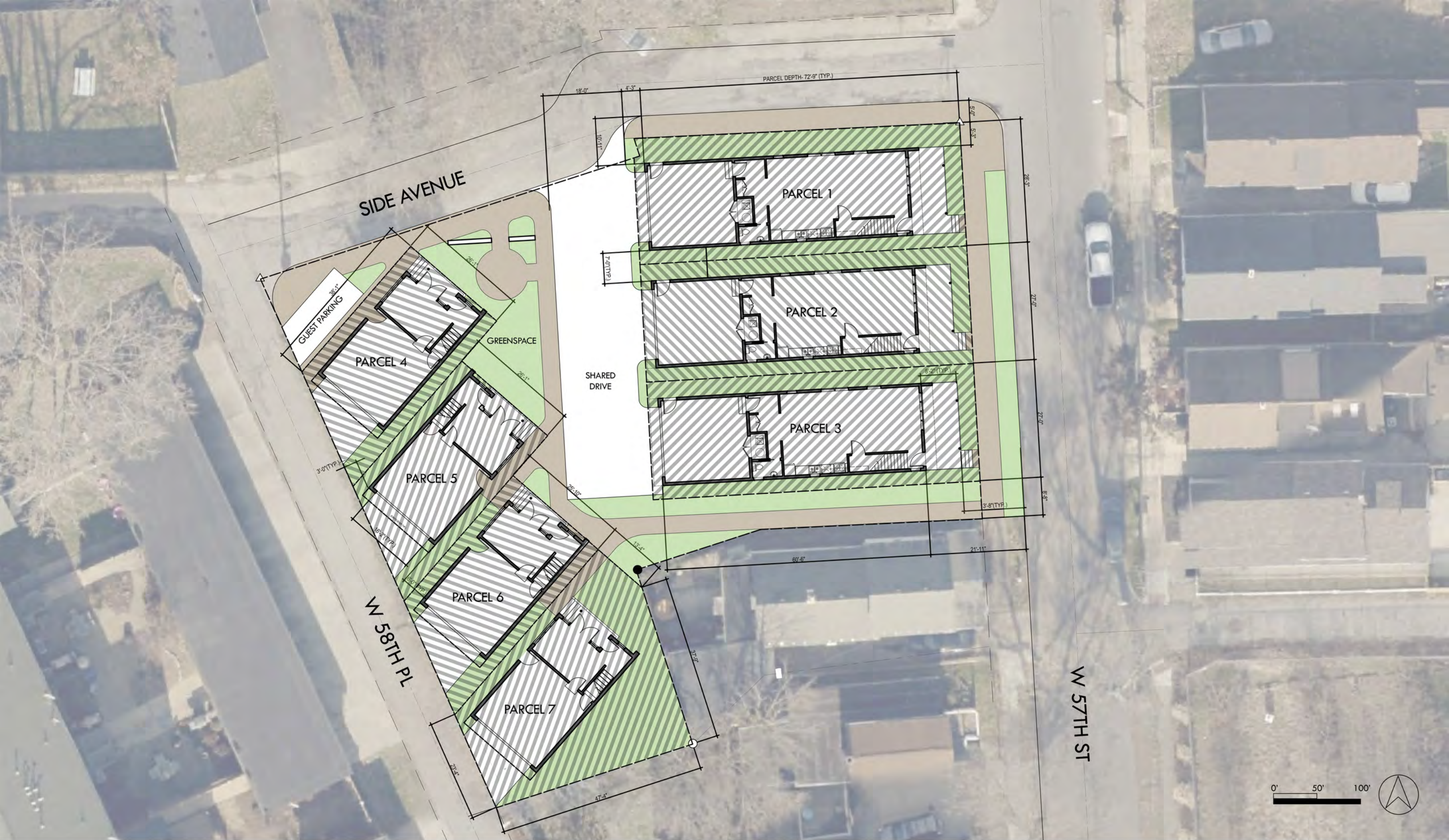
LAKE ERIE















KITCHLER WALL LIGHT



WOOD RAILING VIEWRAIL \*



THERMATRU FIBERGLASS\*



JELD WEN ALUMINUM CLAD\*

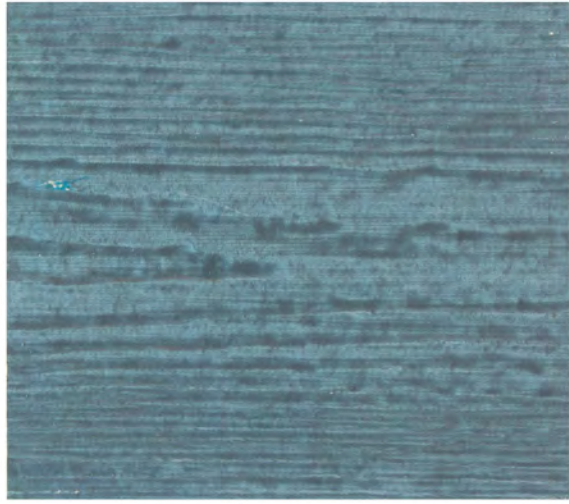
\*OR LIKE BRAND/MATERIAL



GAF TIMBERLINE HD SHINGLES\*



WOODTONE HARDIE CEMENTBOARD SIDING\*



STONEBLUE



ASPEN RIDGE



ROSEWOOD



CASCADE SLATE



HARDIE BOARD LAP NIGHT GRAY



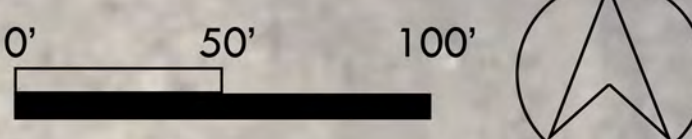
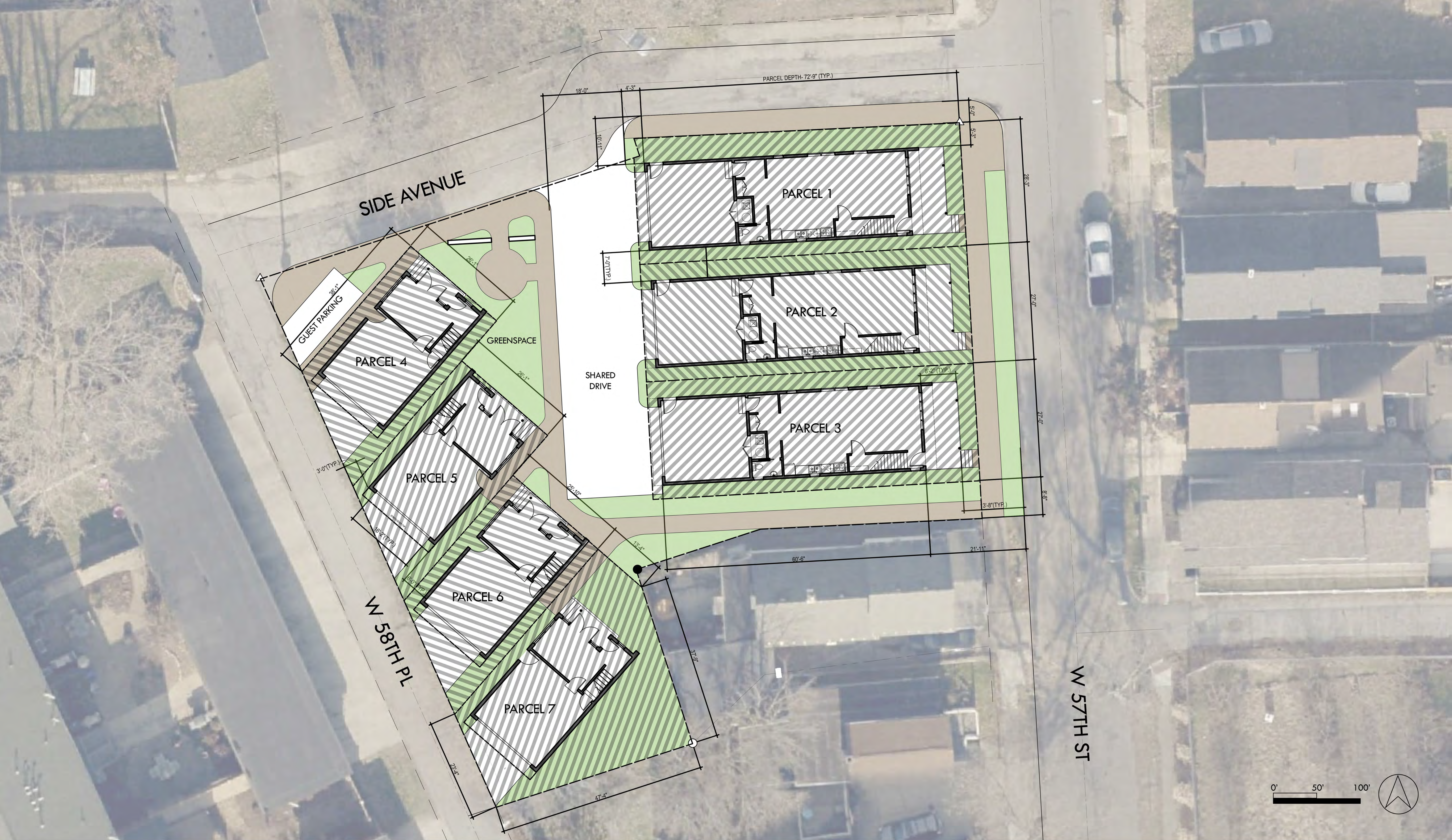
HARDIE BOARD SAND CASTLE



HARDIE BOARD TRIM

\*OR LIKE BRAND/MATERIAL

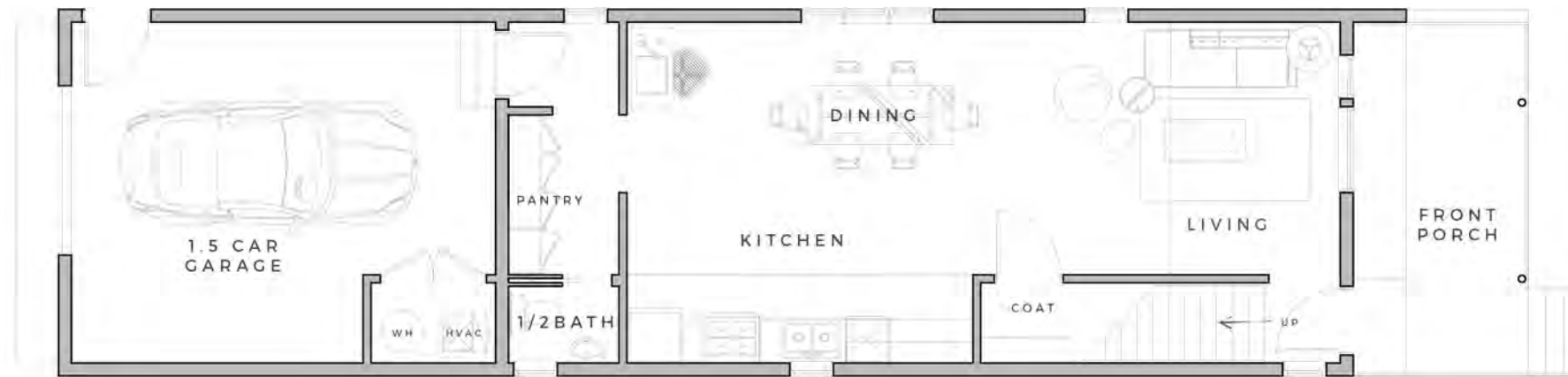








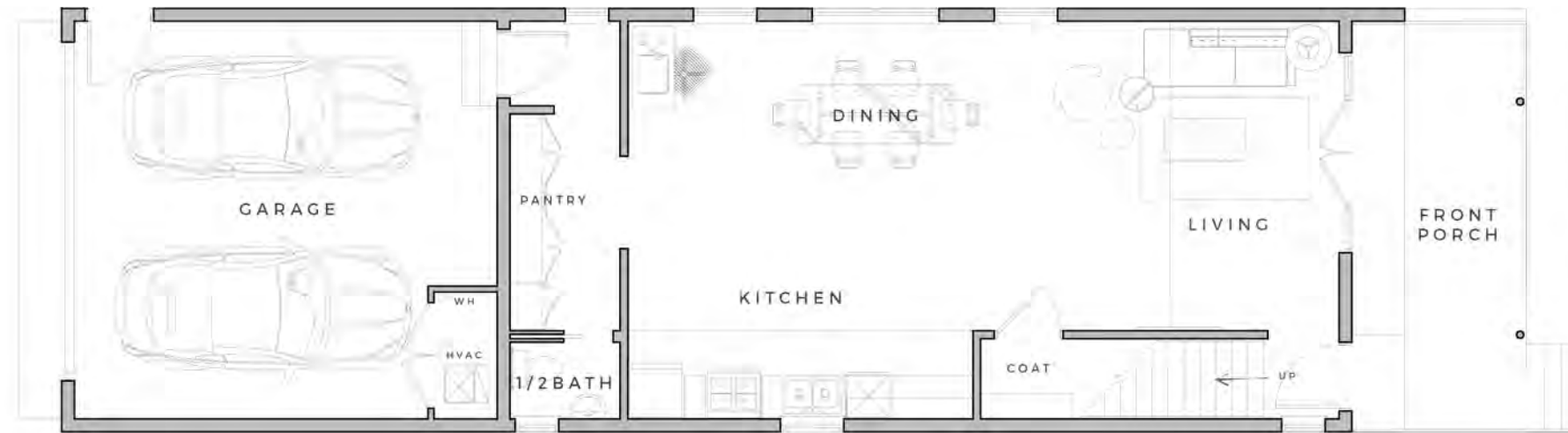
SECOND FLOOR  
900



FIRST FLOOR  
700



SECOND FLOOR  
805



FIRST FLOOR  
1050





FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION

ROOF PEAK  
EL 29'-0"

SECOND FLOOR  
EL 11'-10 3/4"

FIRST FLOOR  
EL 1'-6"



SIDE ELEVATION









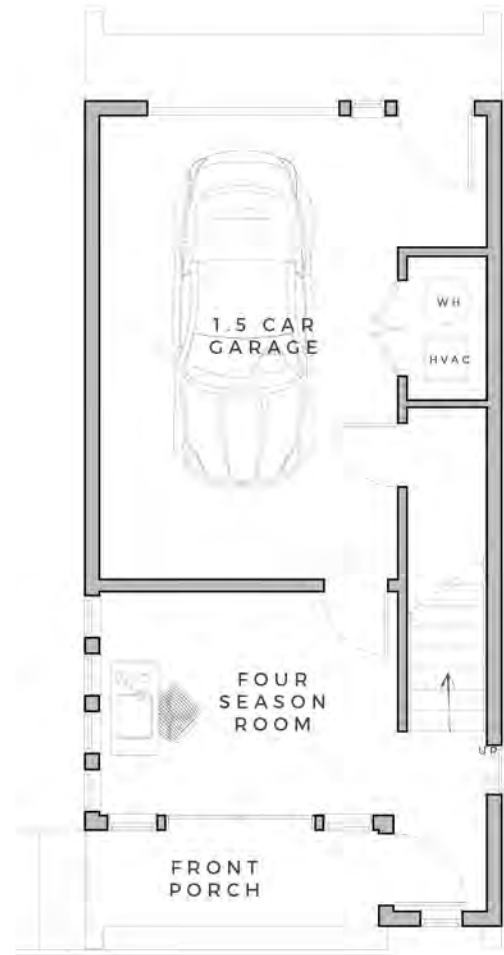






OKO | ECOVILLAGE, DETROIT SHOREWAY | TOWNHOUSE LIVING AREA





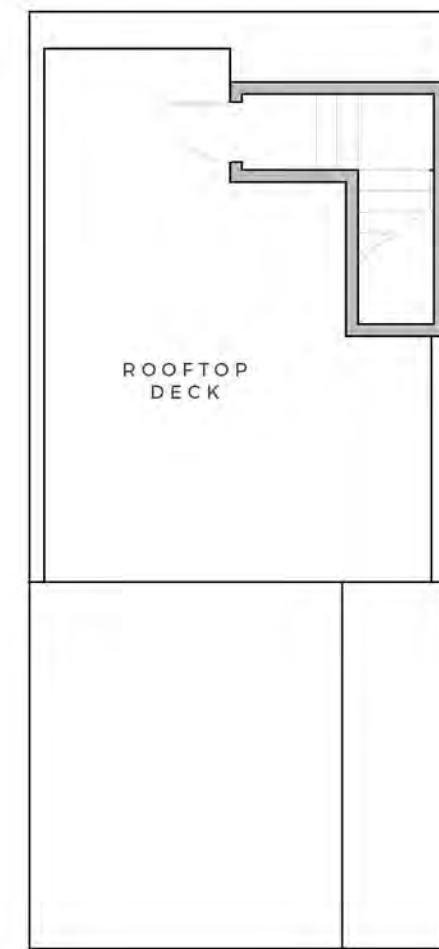
FIRST FLOOR  
177



SECOND FLOOR  
645



THIRD FLOOR  
552



ROOF  
37





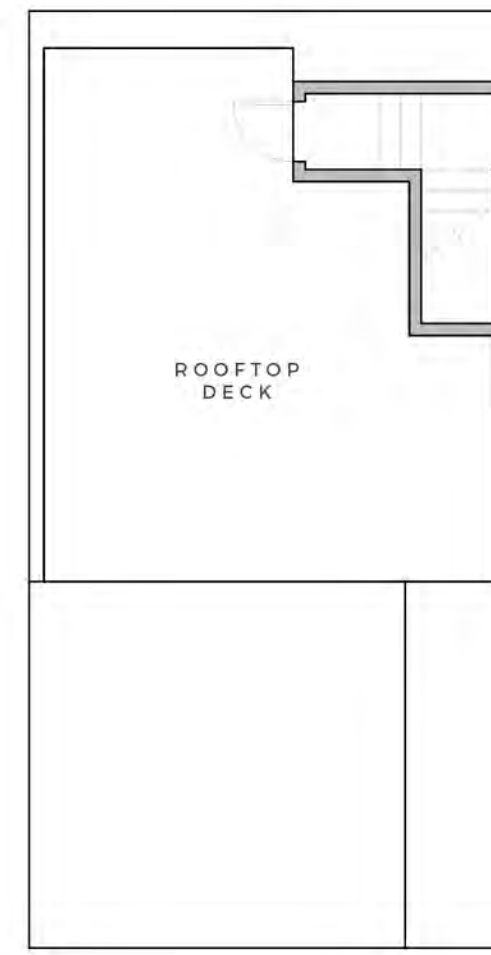
FIRST FLOOR  
223



SECOND FLOOR  
753



THIRD FLOOR  
656



ROOF  
37



FRONT ELEVATION



REAR ELEVATION

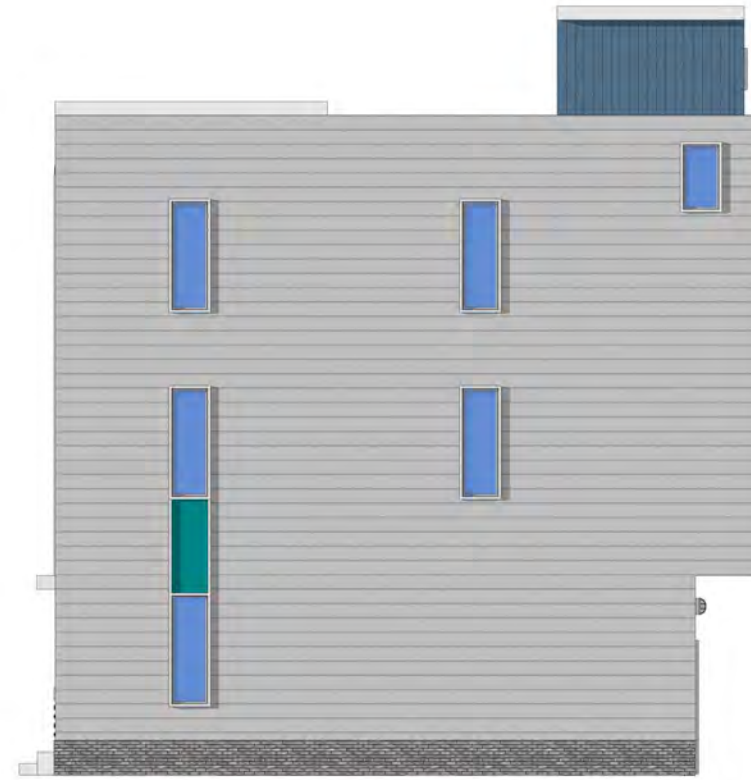
ROOF PEAK  
EL 42'-6"

ROOF DECK  
EL 32'-8"

THIRD FLOOR  
EL 22'-5"

SECOND FLOOR  
EL 12'-2"

FIRST FLOOR  
EL 1'-6"

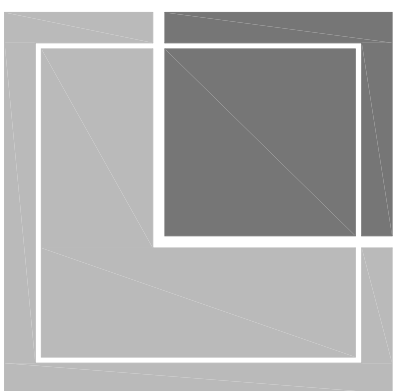


SIDE ELEVATION

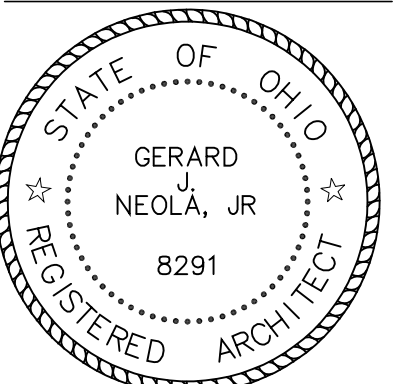


SIDE ELEVATION



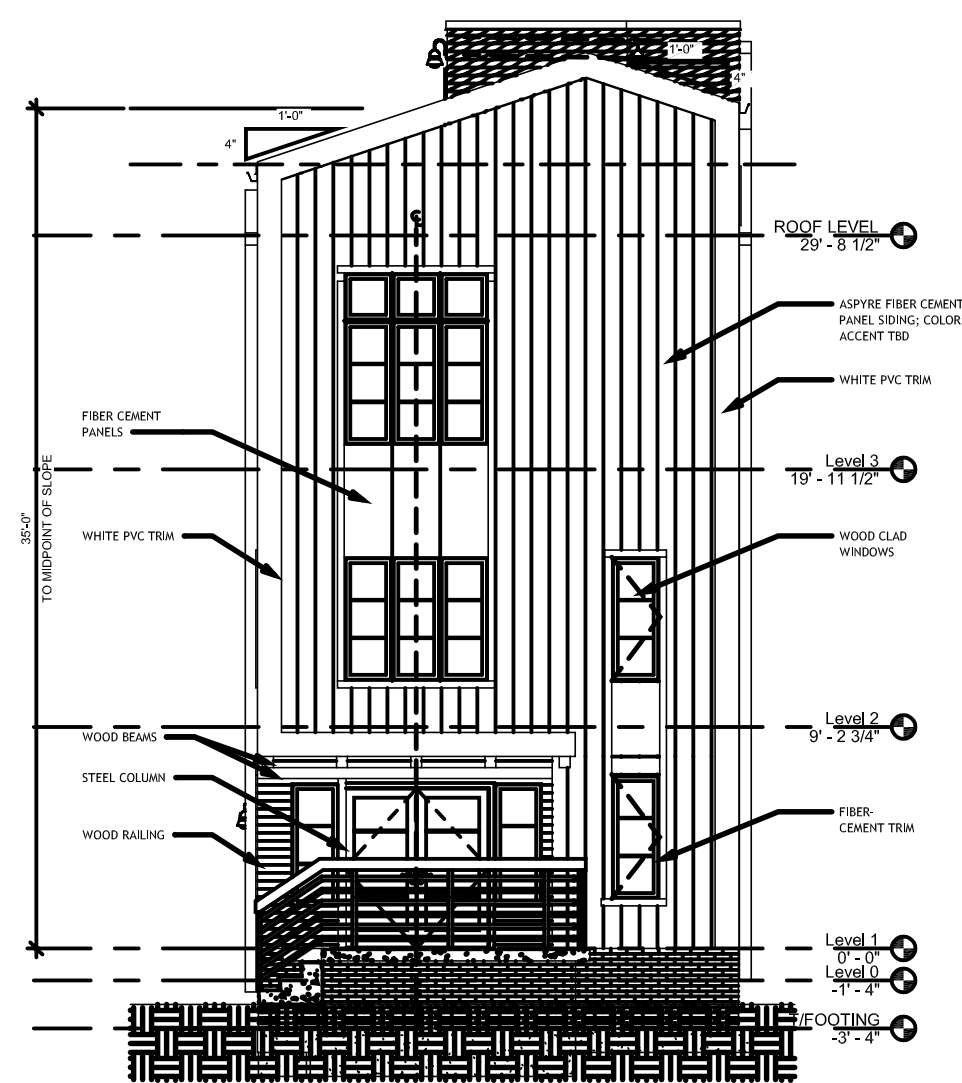


**cornerstone**  
architecture  
http://cornerstonearch.net/  
1151 SHEERBROOK DRIVE  
SOUTH RUSSELL, OH 44022  
(216) 536-7654

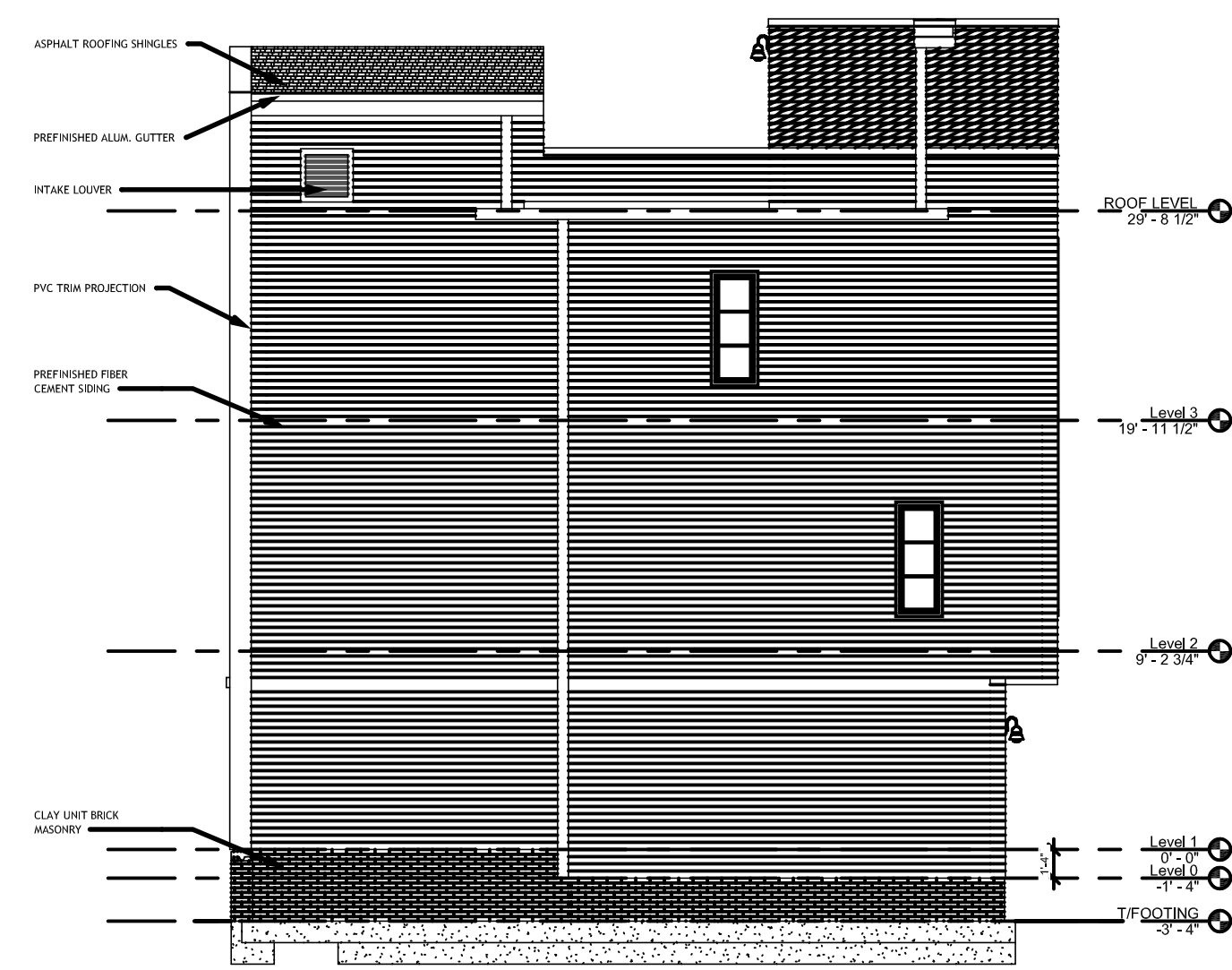


Gerard J. Neola, Jr., License No. 8291  
Expiration Date 12/31/2021

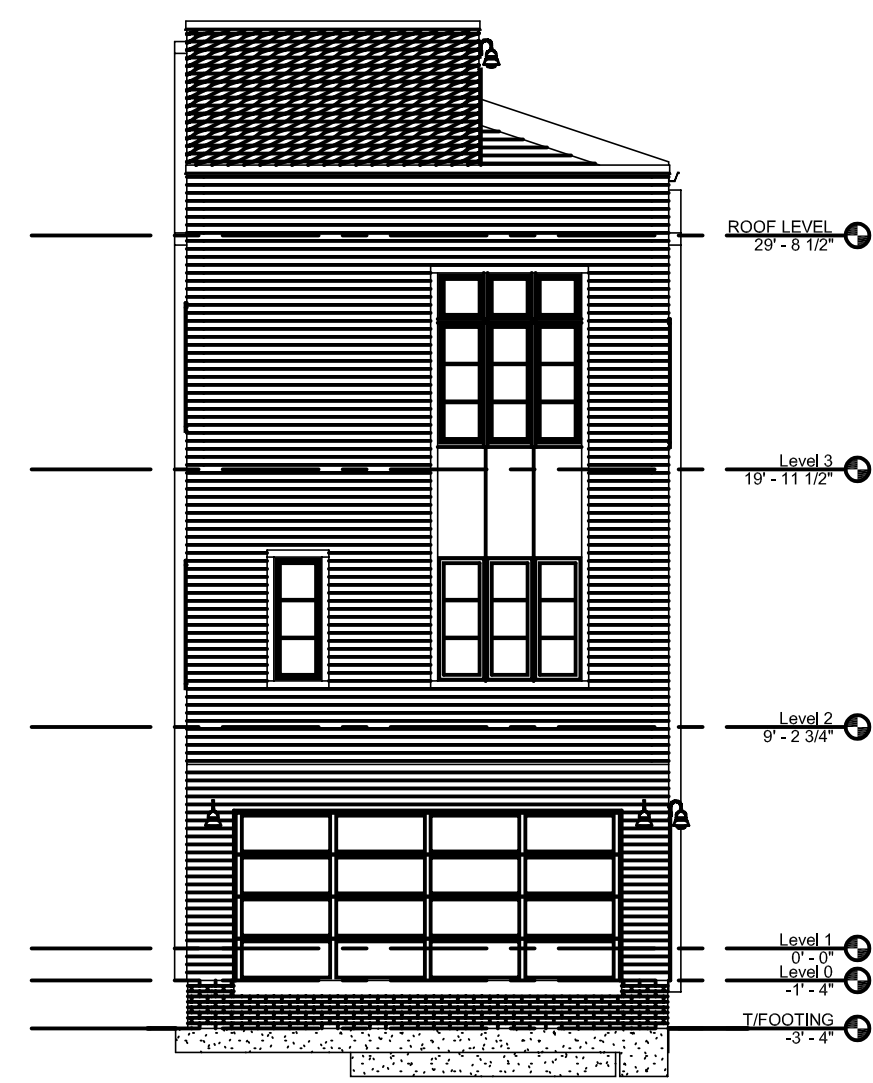
DESIGN AND CONSTRUCTION DOCUMENTS AS INSTRUMENTS OF SERVICE ARE GIVEN IN CONFIDENCE AND REMAIN THE PROPERTY OF CORNERSTONE ARCHITECTURE, LLC. THE USE OF THIS DESIGN AND THESE CONSTRUCTION DOCUMENTS FOR PURPOSES OTHER THAN THE SPECIFIC PROJECT NAMED HEREIN IS STRICTLY PROHIBITED WITHOUT EXPRESSED WRITTEN CONSENT OF CORNERSTONE ARCHITECTURE, LLC.



**1** 2-CAR UNIT  
FRONT ELEVATION  
A1.2b SCALE: 1/8"=1'-0"



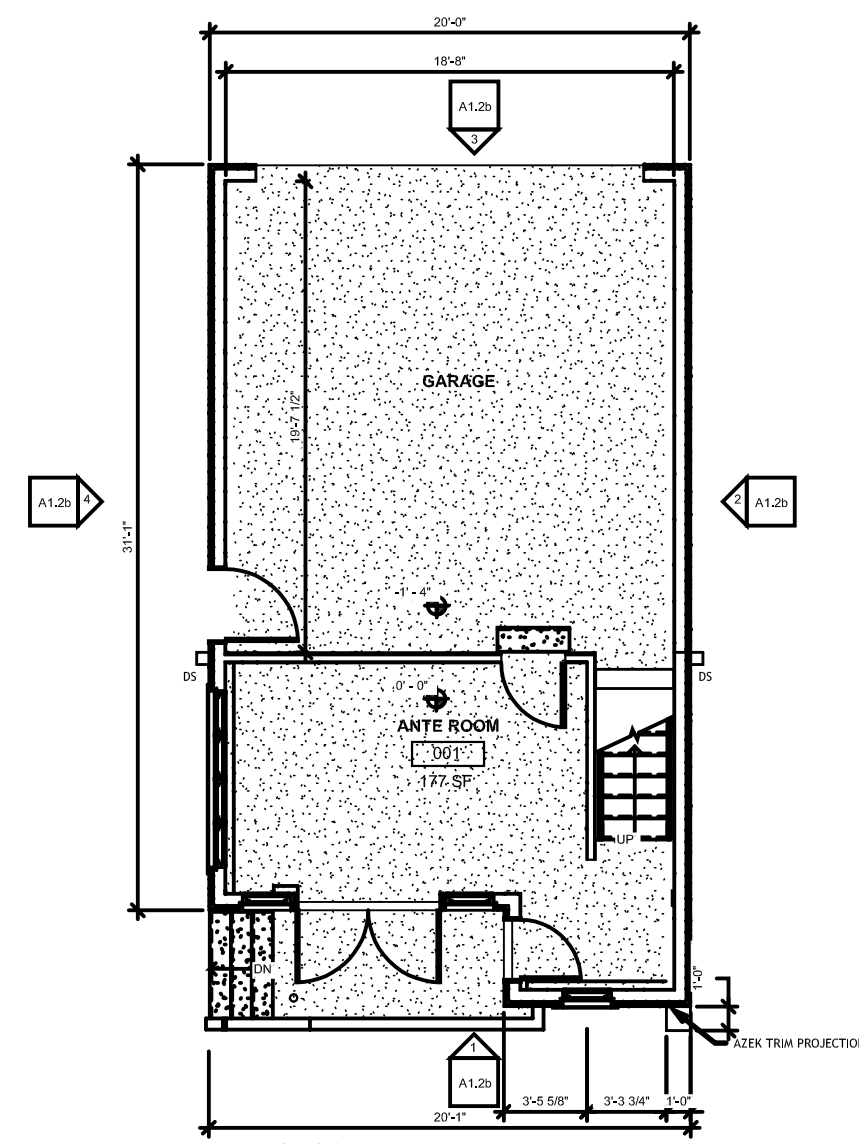
**2** 2-CAR UNIT  
RIGHT SIDE ELEVATION  
A1.2b SCALE: 1/8"=1'-0"



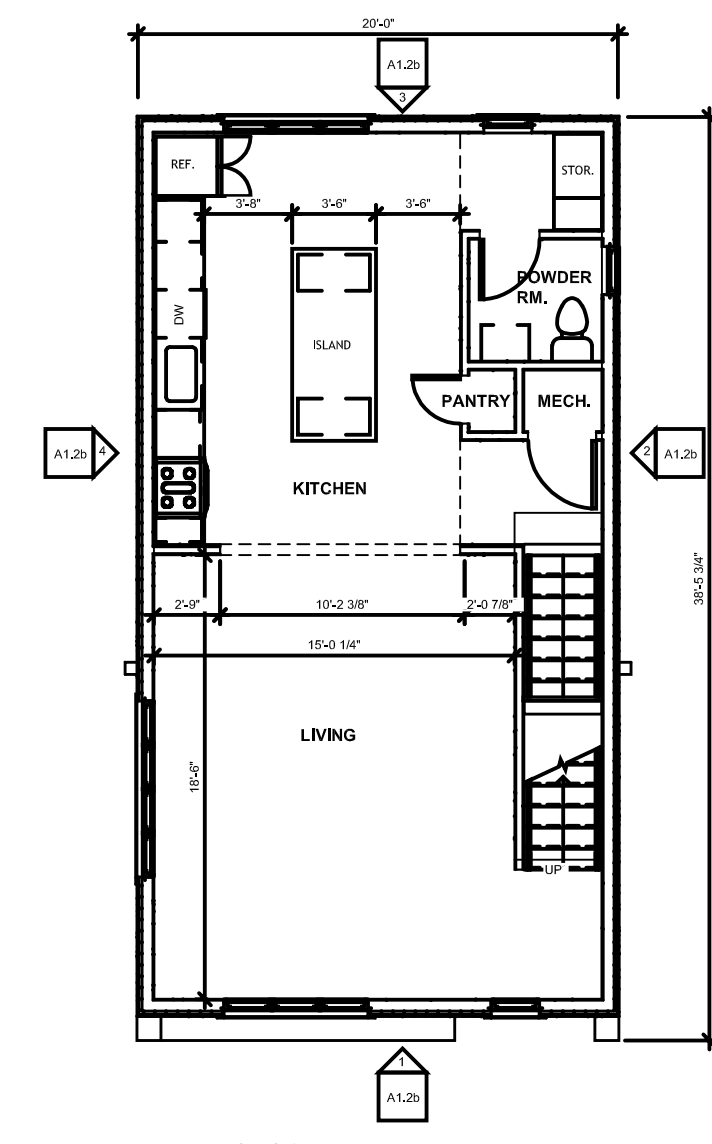
**3** 2-CAR UNIT  
REAR ELEVATION  
A1.2b SCALE: 1/8"=1'-0"



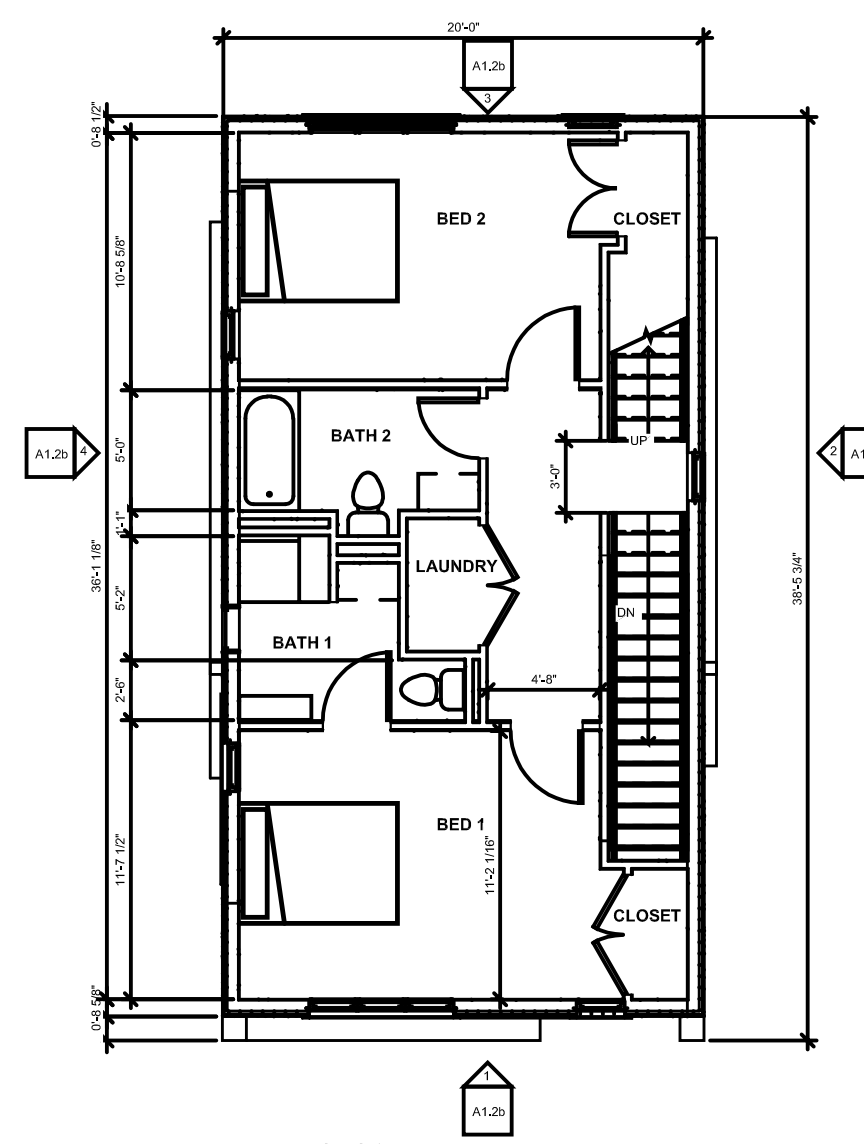
**4** 2-CAR UNIT  
LEFT SIDE ELEVATION  
A1.2b SCALE: 1/8"=1'-0"



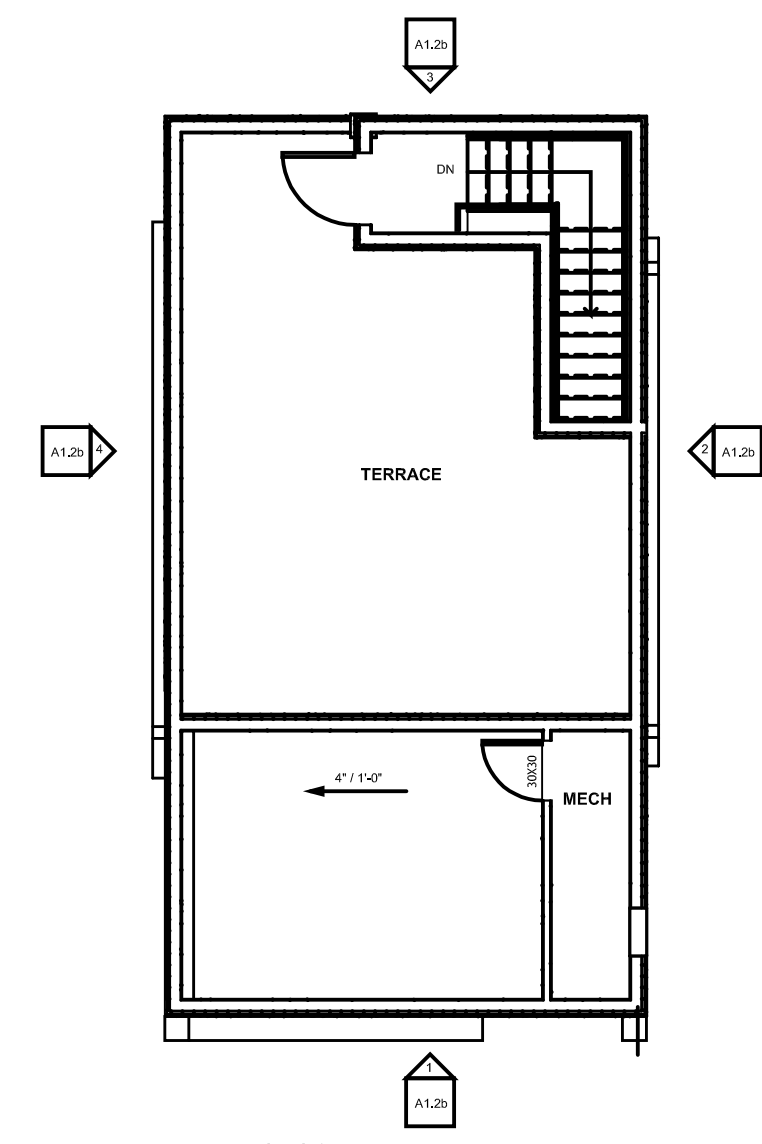
**A** 2-CAR UNIT  
FIRST FLOOR PLAN  
A1.2b SCALE: 1/8"=1'-0"



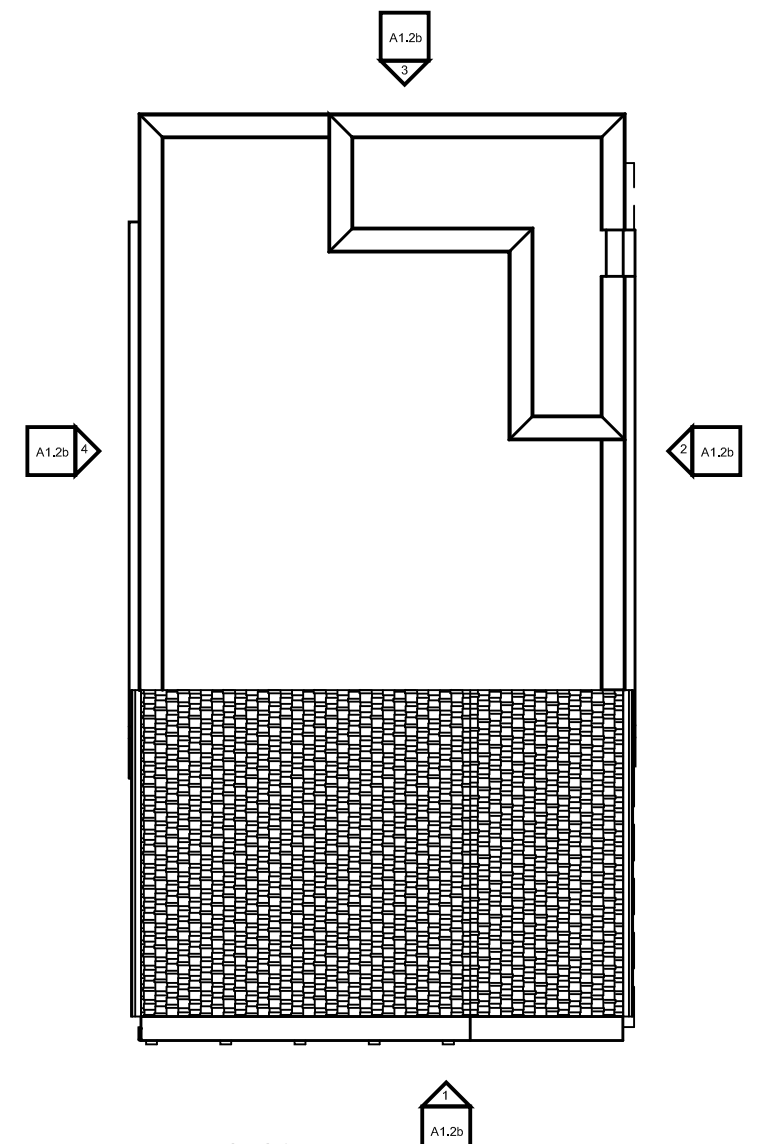
**B** 2-CAR UNIT  
SECOND FLOOR PLAN  
A1.2b SCALE: 1/8"=1'-0"



**C** 2-CAR UNIT  
THIRD FLOOR PLAN  
A1.2b SCALE: 1/8"=1'-0"



**D** 2-CAR UNIT  
ROOF LEVEL FLOOR PLAN  
A1.2b SCALE: 1/8"=1'-0"



**E** 2-CAR UNIT  
ROOF PLAN  
A1.2b SCALE: 1/8"=1'-0"

NEW OKO HOUSING DEVELOPMENT  
S/L's 1A, 2A, 3A, 4A, 5A, 6A, 7A, 8A, AND 9A  
SIDE AVENUE | WEST 57 TH STREET | WEST 58 TH PLACE  
CLEVELAND, OHIO, 44102

ISSUE DATE:	BZA-3-17-20
DRAWN BY:	
CHECKED BY:	
JOB NUMBER:	2001-A

B-TYPE UNIT  
2 CAR PLANS  
& ELEVATIONS

**A1.2b**

SUBLOTS 1A, 4A, & 5A







# Far West Design Review Case

---

March 19, 2021



FW2021-008 - Laura's Home Addition: Seeking Final Approval

**Project Address: 18120 Puritas Avenue**

Project Representative: Ted Ferringer, Bialosky Cleveland



# LAURA'S HOME EDUCATIONAL/ DAYCARE EXPANSION

CLEVELAND PLANNING COMMISSION  
FAR WEST DESIGN REVIEW



**BIALOSKY**  
CLEVELAND

MARCH 17, 2021





**LAURA'S HOME**

**W 182ND ST**

**PURITAS AVE**

**ROCKY RIVER DR**







W 182ND ST

PURITAS AVE

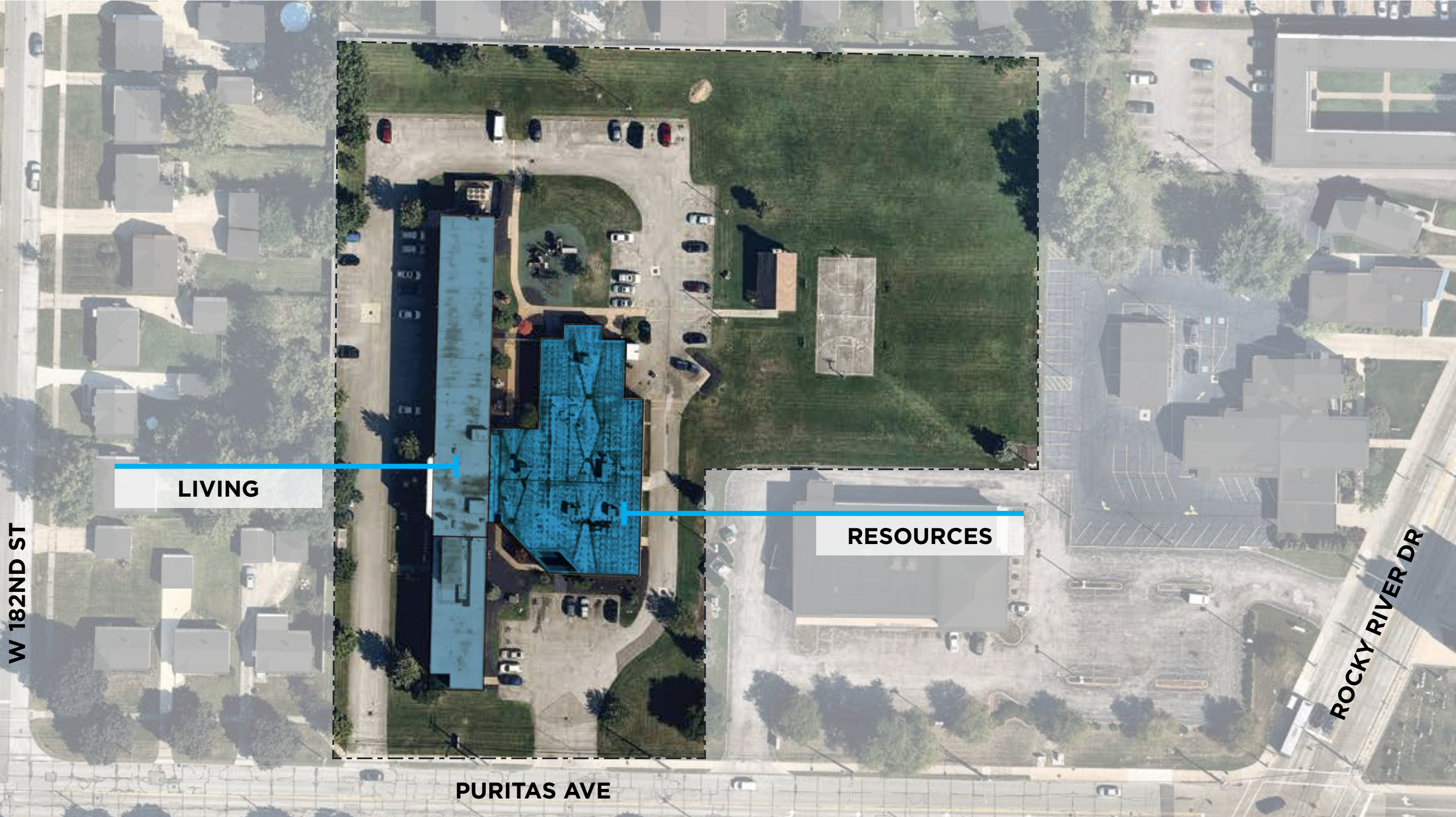
ROCKY RIVER DR

# Laura's Home Expansion

Cleveland Planning Commission - Far West Design Review







**LIVING**

**RESOURCES**

W 182ND ST

PURITAS AVE

ROCKY RIVER DR









## Laura's Home Expansion

Cleveland Planning Commission - Far West Design Review

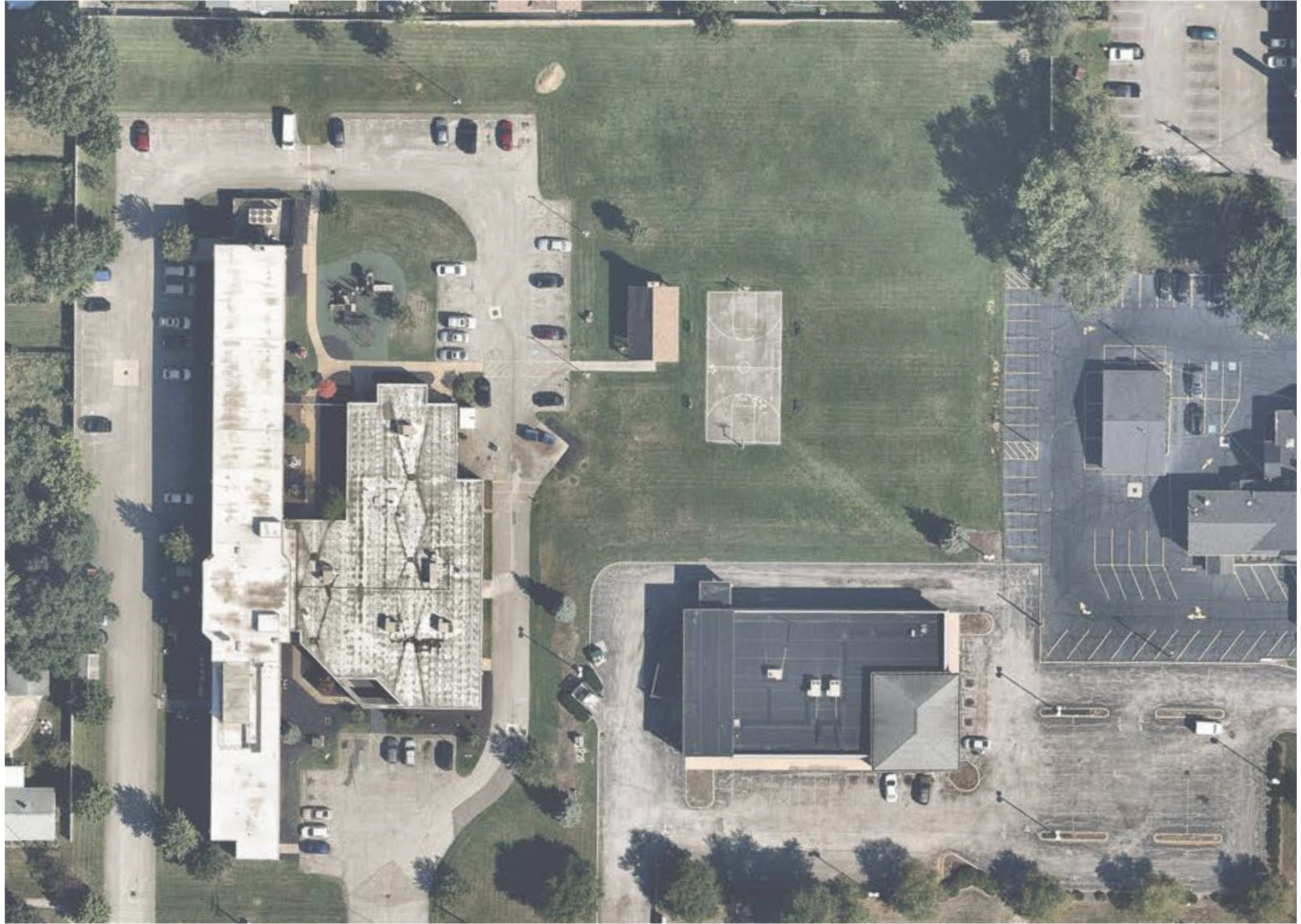








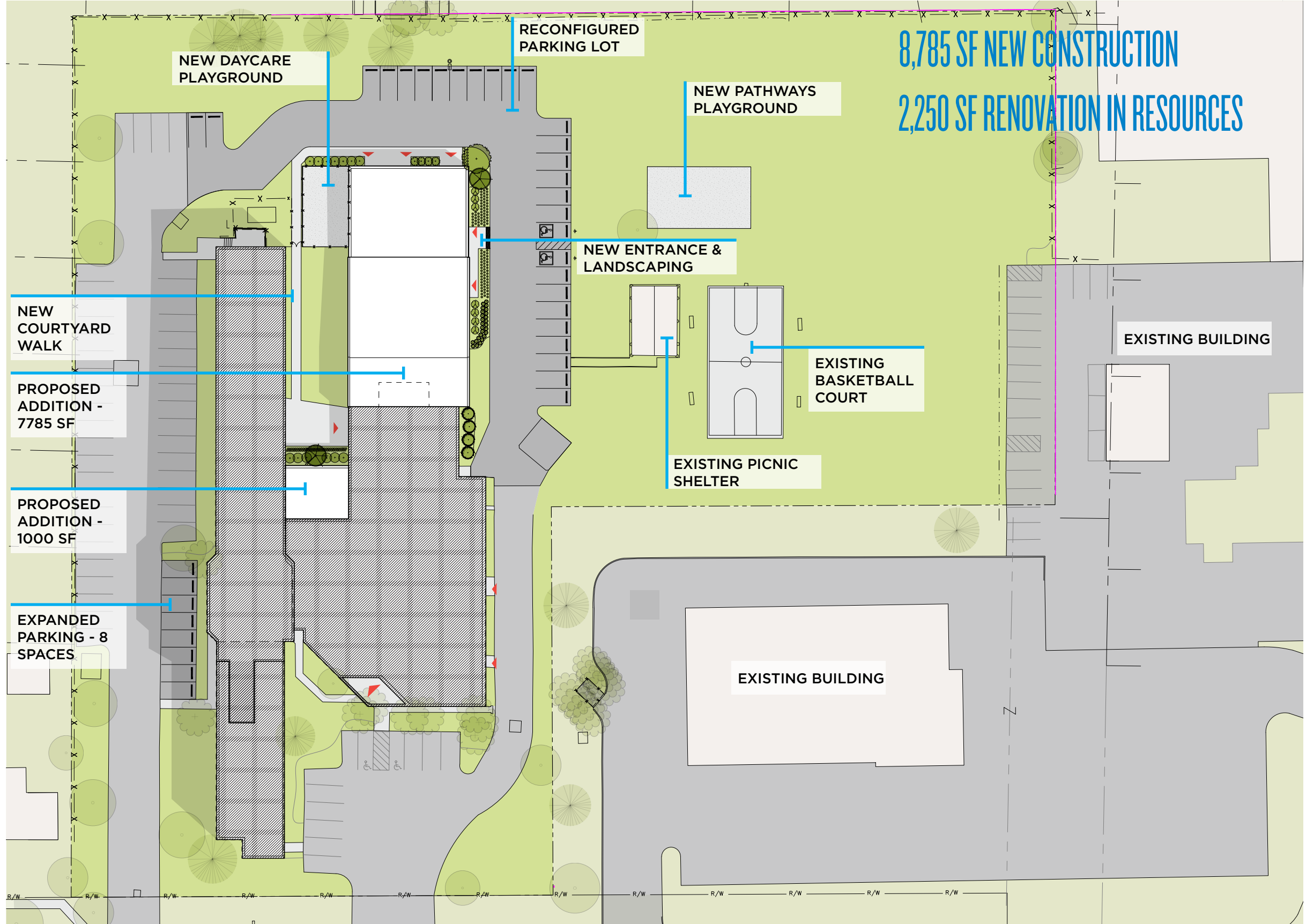




## Laura's Home Expansion

Cleveland Planning Commission - Far West Design Review



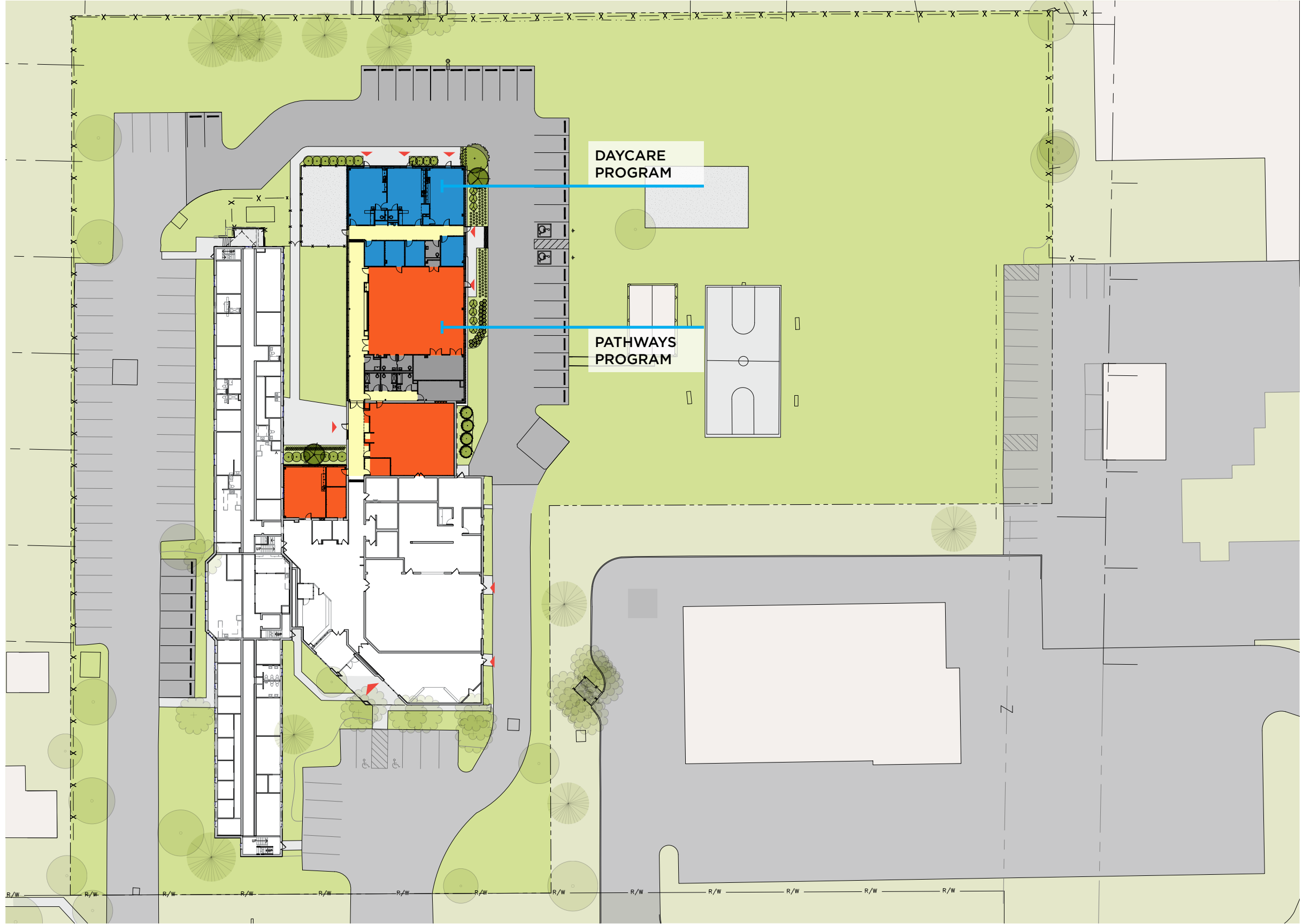


**8,785 SF NEW CONSTRUCTION**  
**2,250 SF RENOVATION IN RESOURCES**



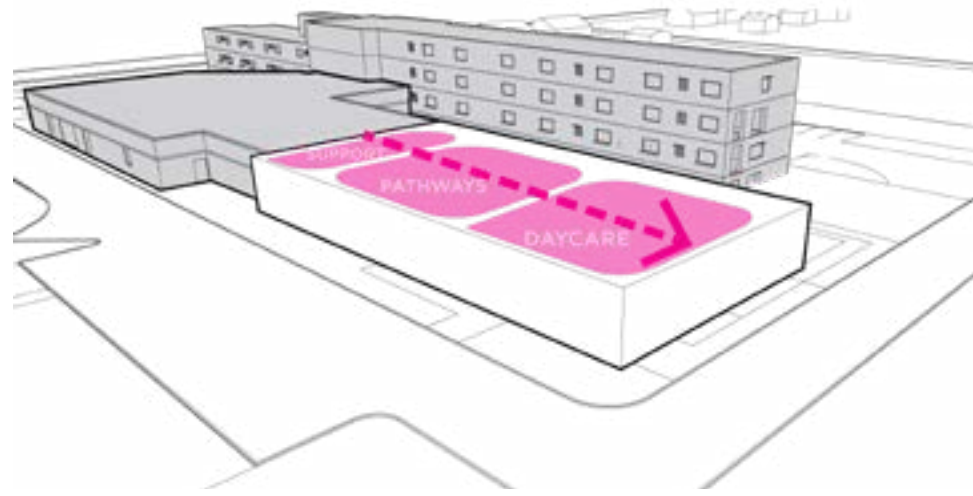




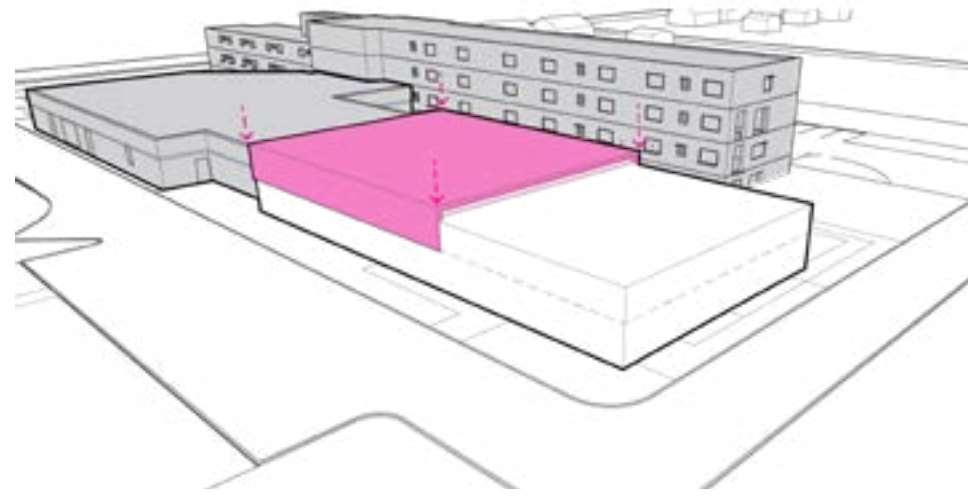




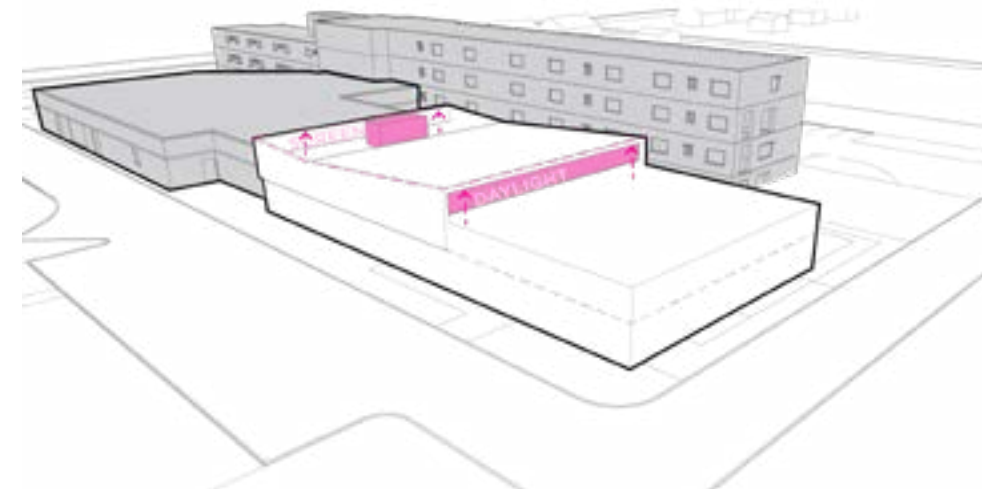




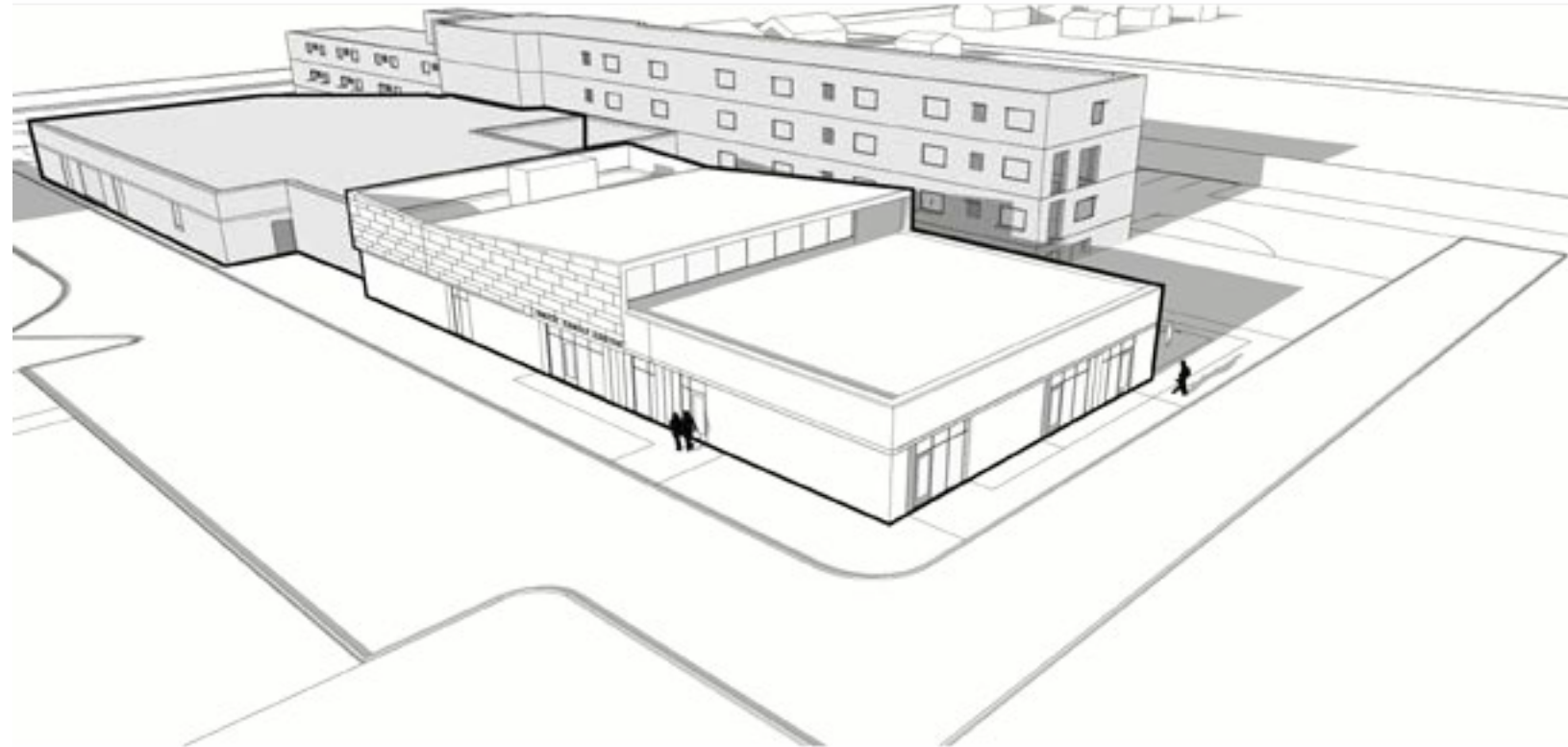
1. EXTRUDE



2. CAP



3. LIFT













TPO ROOFING

WALL MURAL  
[ON EXISTING MASONRY]

METAL PANEL  
TYPE 1

BRICK VENEER  
NORMAN SIZE  
[TO MATCH EXISTING]

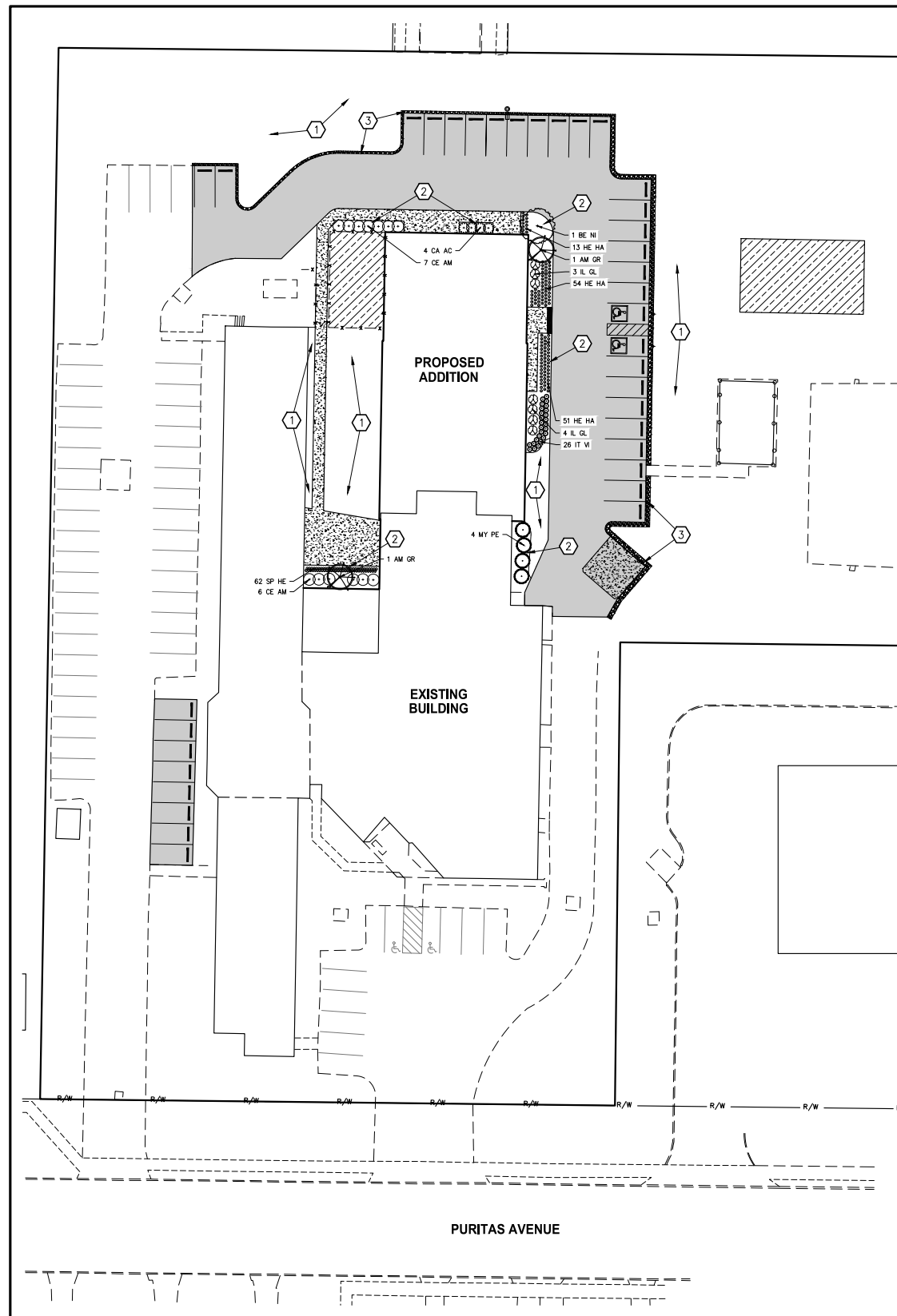
ALUMINUM  
STOREFRONT

METAL PANEL  
TYPE 2

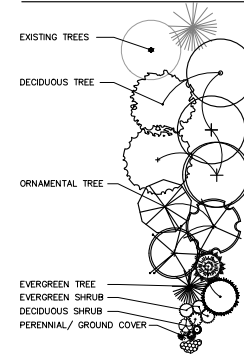
CAST STONE  
[TO MATCH EXISTING]



N:\LAND DEVELOPMENT\Proj\14360\Bibb\1 - Laura's Home\AutoCAD\14360LAND.dwg, 3/8/2021 10:23:52 AM, jbutcher



**PLANT LEGEND**



**KEY NOTES**

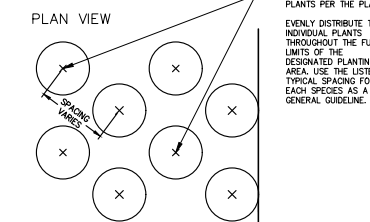
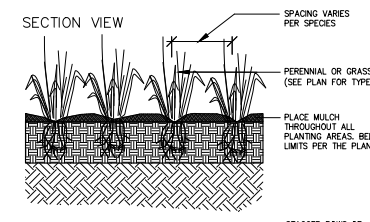
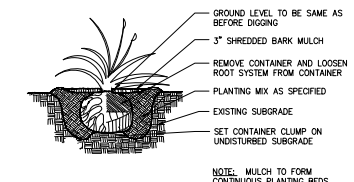
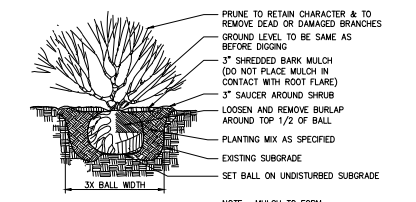
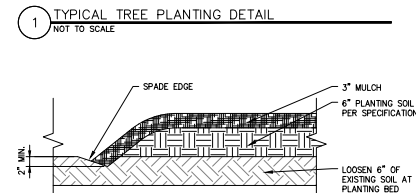
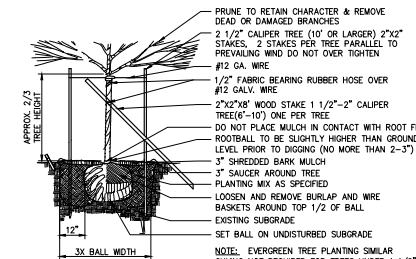
- ① SEED
- ② MULCH
- ③ GRAVEL STRIP; REFER TO CIVIL PLANS

**LANDSCAPE NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND VERIFYING ALL PLANT MATERIAL SHOWN ON THE PLANS. ANY PLANT MATERIAL SUBSTITUTIONS TO BE VERIFIED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
2. HATCHED PLANT AREA QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL HATCHED PLANTING AREAS AT SPACING LISTED IN PLANT LIST SUMMARY.
3. CONTRACTOR TO PROVIDE DOUBLE SHREDDED MULCH PER DETAILS AND SPECIFICATIONS AT ALL PLANTING BEDS. PROVIDE A MIN. 3" DIAMETER MULCH BED AROUND EACH INDIVIDUAL TREE LOCATED IN MANICURED LAWN/SEED AREAS UNLESS TREES ARE INCORPORATED IN A PLANTING BED. MULCH COLOR SHALL BE NATURAL AND NOT DYED, AND MATCH EXISTING BEDS UNLESS OTHERWISE SPECIFIED BY THE OWNER. CONTRACTOR SHALL SUBMIT MULCH SAMPLES TO OWNER FOR APPROVAL PRIOR TO ORDERING.
4. ONCE FINAL GRADE IS ESTABLISHED, ALL PLANTING BEDS SHALL RECEIVE 6" DEPTH OF PLANTING SOIL MIX PER THE SPECIFICATIONS AND DETAILS. ALL SEEDED AREAS TO RECEIVE A MINIMUM OF 2" OF TOPSOIL PER THE SPECIFICATIONS. SALVAGED OR EXISTING TOPSOIL CAN BE RE-USED IF SPECIFICATIONS ARE MET AND IS APPROVED BY OWNER.
5. PLACEMENT OF PLANTING MATERIALS SHALL NOT AFFECT THE EXISTING DRAINAGE PATTERN ON SITE. THIS INCLUDES BUT IS NOT LIMITED TO PLACING PLANT MATERIALS IN OR NEAR SWALES OR CREATING MOUNDS THAT BLOCK THE INTENDED SURFACE DRAINAGE PATTERN.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL PLANT MATERIAL AND SEEDED AREAS UNTIL SUBSTANTIAL COMPLETION OF PROJECT. SLOW RELEASE WATERING BAGS SHOULD BE USED ON ALL TREES.
7. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
12. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED UTILITY ROUTINGS AND LOCATING ALL EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
14. APPLY A PRE-EMERGENT HERBICIDE, PENNETHALIN OR OXADIAZON OR APPROVED SIMILAR, TO TREE, SHRUB, AND GROUND COVER AREAS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS. DO NOT APPLY TO SEEDED AREAS.
15. SEEDING W/ EROSION CONTROL BLANKET TO BE INSTALLED ON SLOPES EXCEEDING 3:1 IMMEDIATELY FOLLOWING COMPLETION OF EARTHWORK ACTIVITIES.

**PLANT LIST - SUMMARY TABLE**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING	QTY.
<b>TREES</b>						
AM GR	AMELANCHER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6' HT.	B&B (CLUMP)	AS SHOWN	2
BE NI	BETULA NIGRA	RIVER BIRCH	8' HT.	B&B (CLUMP)	AS SHOWN	1
CA AC	CALAMAGROSTIS X ACUTIFLORA 'KARL FORESTER'	FEATHER REED GRASS	No. 2	CONT.	36" O.C.	4
IT VI	ITEA VIRGINICA 'LITTLE HENRY'	LITTLE HENRY SWEETSPICE	18" HT.	B&B	24" O.C.	26
CE AM	CEANOTHUS AMERICANUS	NEW JERSEY TEA	No. 3	CONT.	4" O.C.	13
MY PE	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	36" HT.	B&B	6" O.C.	4
SP HE	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSIDE	No. 1	CONT.	12" O.C.	62
HE HA	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	No. 1	CONT.	18" O.C.	118
IL GL	ILEX GLABRA 'COMPACTA'	INKBERRY HOLLY	24" HT.	B&B	36" O.C.	7



① TYPICAL TREE PLANTING DETAIL  
NOT TO SCALE

② LANDSCAPE BED EDGE/SOIL DEPTH (TYP.)  
NOT TO SCALE

③ TYPICAL SHRUB PLANTING DETAIL  
NOT TO SCALE

④ TYPICAL PERENNIAL PLANTING DETAIL  
NOT TO SCALE

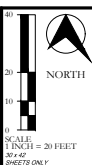
⑤ SHRUB AND PERENNIAL SPACING  
NOT TO SCALE

REV. NO.	DATE	DESCRIPTION
03.15.2021		DESIGN REVIEW SUBMISSION
DRAWN BY	CHECKED BY	JOB NO.
14360-LAND	JMP	BMU
		14360

**NEFF**  
LANDSCAPE ARCHITECTS & ASSOCIATES  
10111 BROADVIEW BLVD., SUITE 100  
CLEVELAND, OHIO 44130  
TEL: 216.291.4300 FAX: 216.291.4301

SHEET NO.  
**1.2.0**

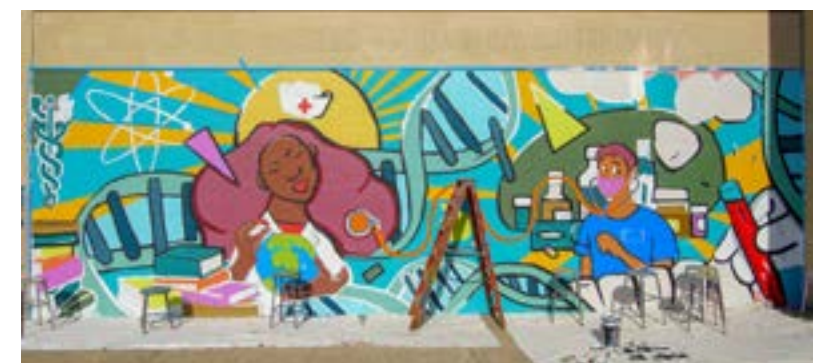
CITY MISSION - LAURA'S HOME RENOVATIONS  
**LANDSCAPE PLAN**  
CITY OF CLEVELAND COUNTY OF CUYAHOGA STATE OF OHIO







WALL MURAL ON EXISTING MASONRY



# Northeast Design Review Case

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March 19, 2021



NE2021-002 - Jerome Lewis Property Fence, Landscaping, and Parking Lot:  
Seeking Final Approval

**Project Address: 789 East 185<sup>th</sup> Street**

Project Representative: Laura Bala, Consultant





# Northeast Design Review District

Design Review Advisory Committee

## Meeting Motion and Report Form

**CITY OF CLEVELAND**

Mayor Frank G. Jackson

**Meeting Location:** Cleveland Public Library - Memorial-Nottingham Branch, 17109 Lake Shore Blvd.

**Case Number:** NE 2021-002

**Meeting Date:** 03/16/2021

**Project Name:** Jerome Lewis

**Project Address:** 789 E. 185th St

**Contact Person:** Berni Gordon

**Architect/Contractor:** Great Lakes Fence

**General Description:** Proposed installation of 67' X 4' of aluminum fencing.

---

**Motion by Design Review Committee:**

**Approved**

**Approve:** Brown, Chew, Neiswander, Reich

**Disapprove:**

**Abstain:**

**Non-Voting Members:**

---

**Motion to approve as presented** with drive over a public ROW to establish a formal parking lot at this location. Committee suggested that they take a second look at the location of the wheelstops to allow for maximum use of the interior sidewalk and clustering of the proposed planting materials.

Existing fence

New fence

13' Sliding Gate

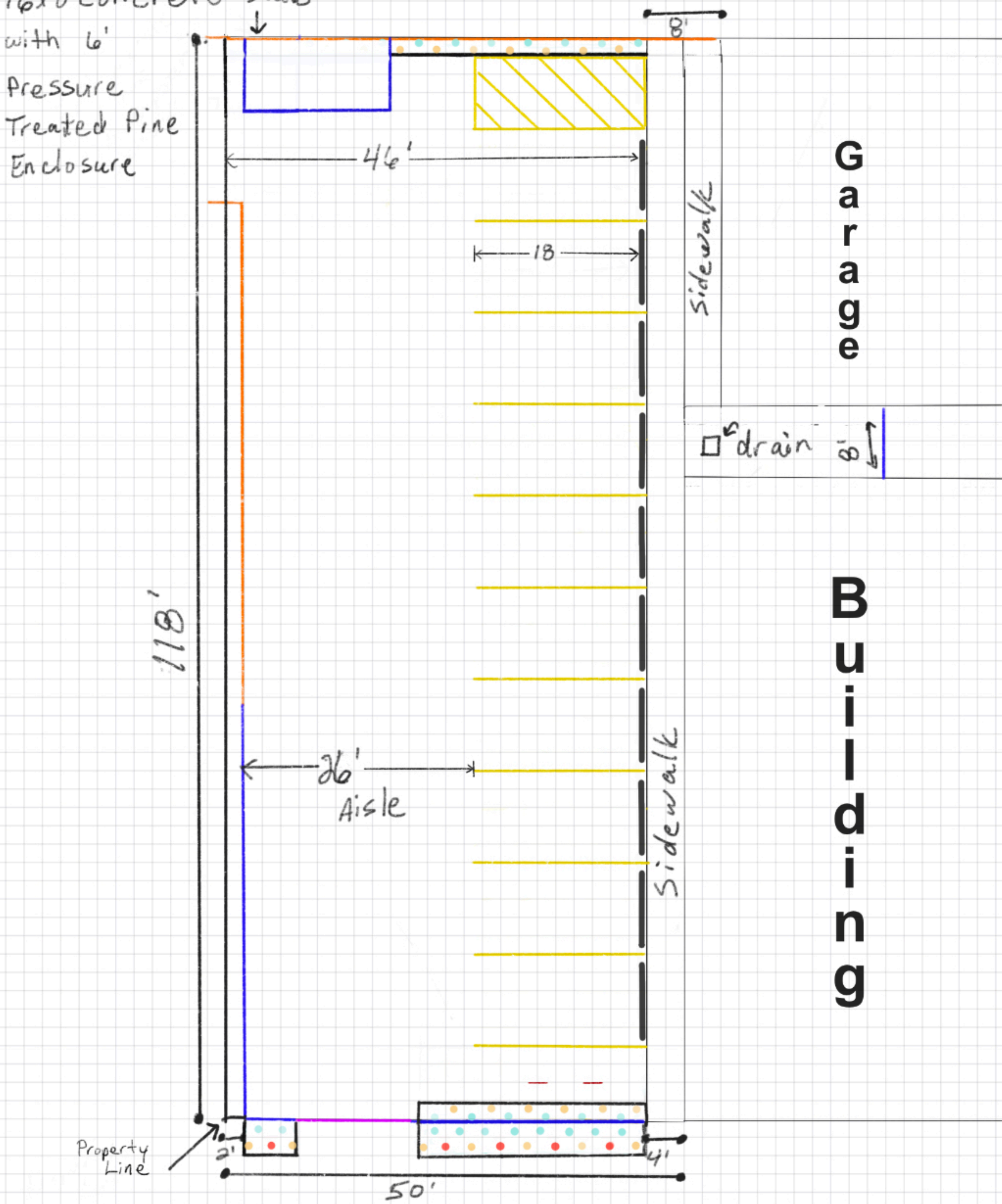
16x8 concrete slab with 6' Pressure Treated Pine Enclosure

Bike Rack

Black Mondo Grass

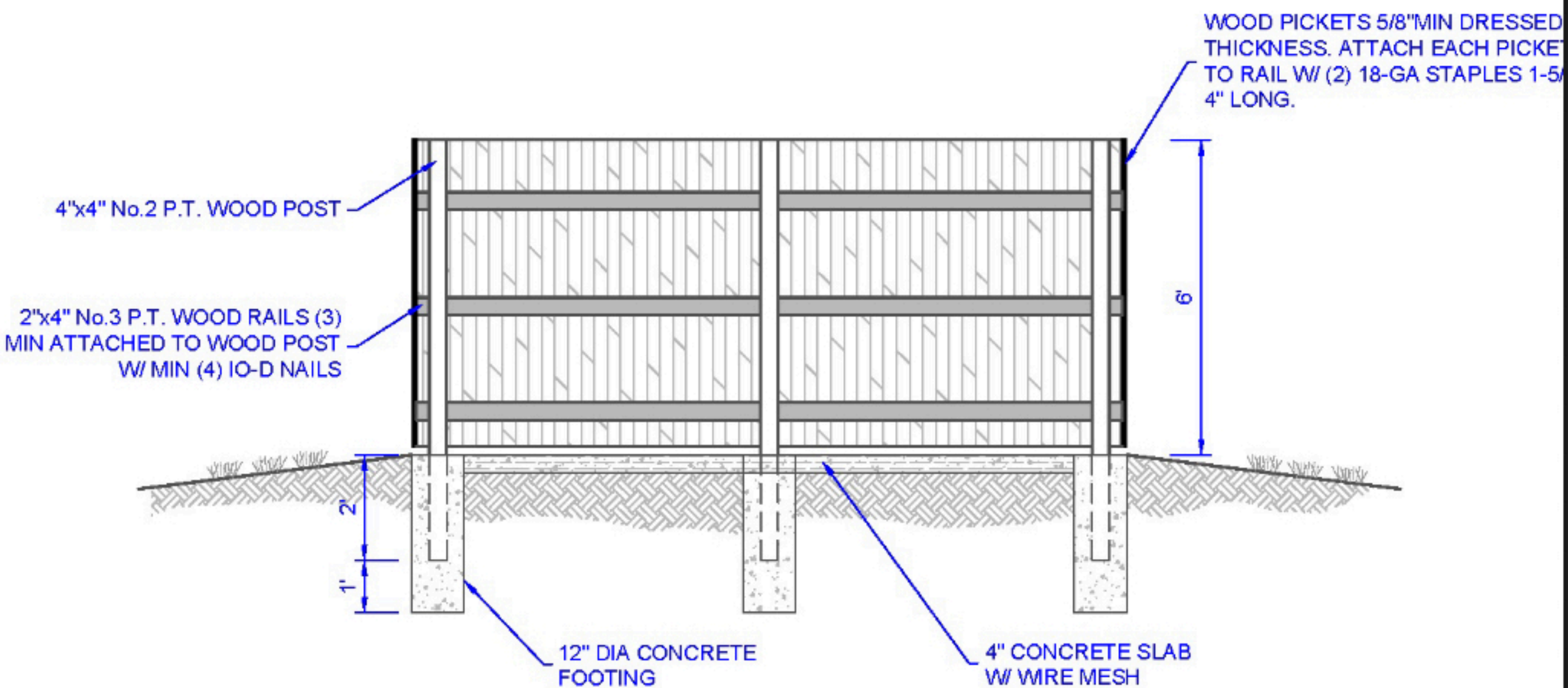
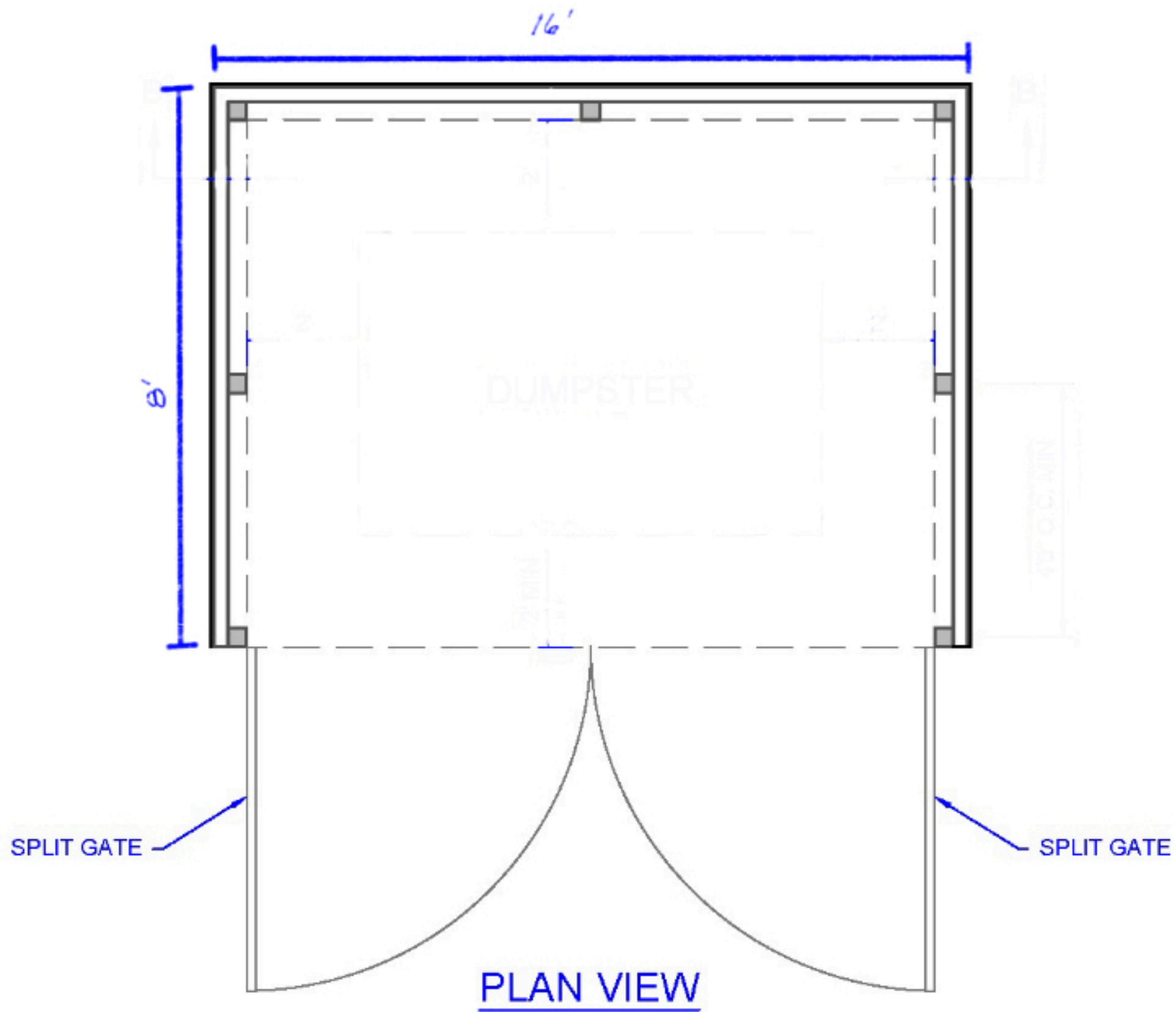
Perennial Reed Grass

Rudbeckia

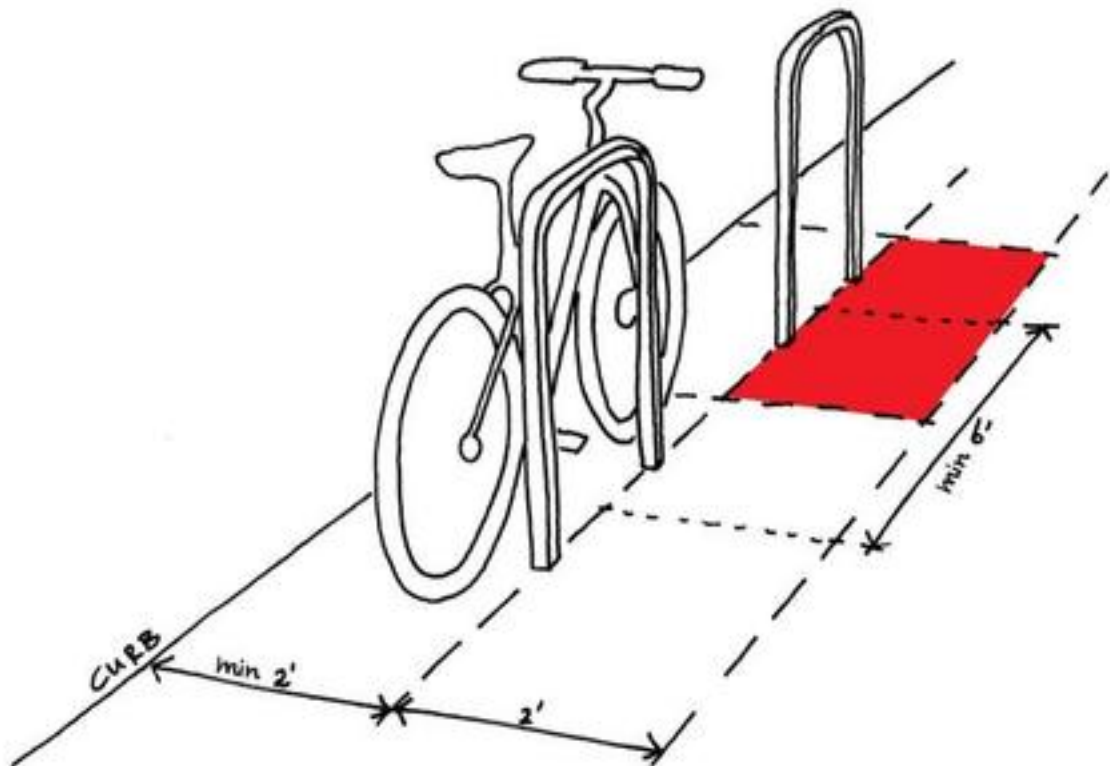




# WOODEN FENCE DUMPSTER ENCLOSURE



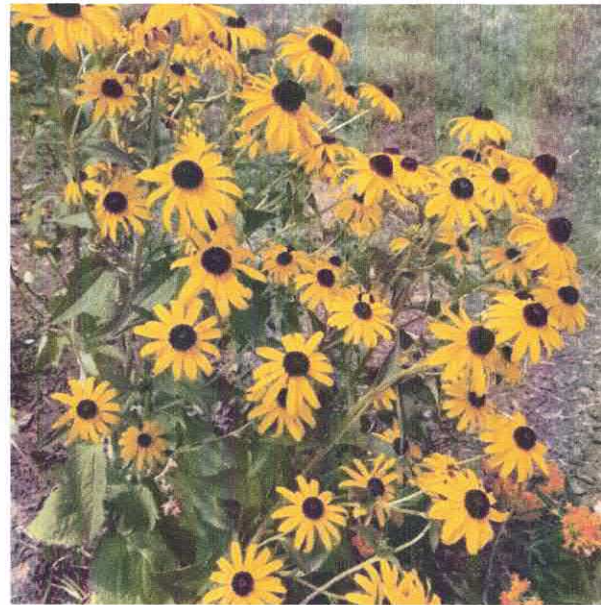
SECTION 0-0







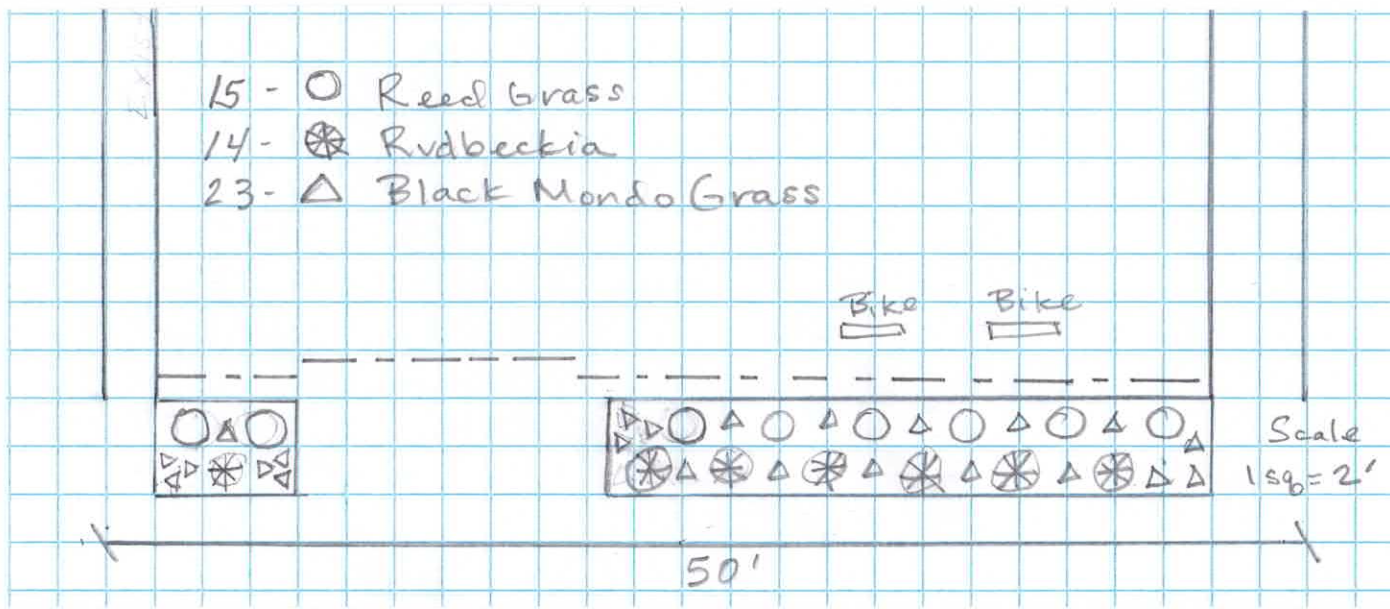
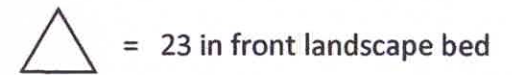
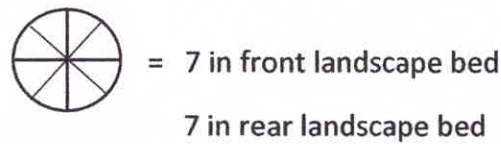
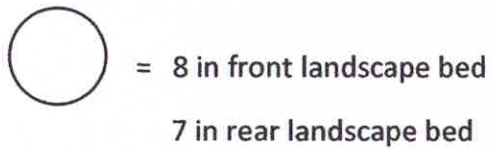
'Karl Foerster' Feather Reed Grass



Rudbeckia Goldstrum



Black Mondo Grass



# Euclid Corridor Design Review Case

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March 19, 2021

C2021-006 - Minute Men Headquarters Addition: Seeking Final Approval

**Project Address: 3740 Carnegie Avenue**

Project Representatives: Greg Ernst, AoDK Architecture

Michael Fant, AoDK Architecture

Dan Gess, Independence Construction





City of Cleveland

Frank G. Jackson, Mayor

City Planning Commission



Cleveland City Hall

601 Lakeside Avenue, Room 501

Cleveland, Ohio 44114

T: 216/664-2210 F: 216/664-3281

www.planning.city.cleveland.oh.us

### Planning Commission/Design Review Application

DATE: 03.11.2021

PROJECT NAME: Headquarters Expansion for Minute Men Staffing Services

PROJECT ADDRESS: 3740 Carnegie Ave. - Cleveland, OH 44115

PROJECT LOCATION (if no address):

**CONTACT PERSON** (for design review): Greg Ernst

**COMPANY:** AoDK Architecture

**PHONE:** 216-771-1920

**EMAIL:** ge@aodkinc.com

**OWNER:**


**ARCHITECT/ CONTRACTOR:**

**PROJECT TYPE:**  New Building  Rehabilitation  Addition  Sign  Fence  Parking  Storefront

**USE TYPE:**  Residential  Commercial  Industrial  Institutional  Mixed-Use

**Review Level:**  Conceptual  Schematic Design  Final Design Development

I, the undersigned, have received a copy of the Cleveland City Planning Commission's "Design Review Applicant Guide" and agree to follow its guidance in proceeding through the design review process for the subject project.

 03.11.2021

Signature and date

\*\*\*\*\*

(For staff use only)

Received by:

Design Review District Name:

Assigned Review Case Number:

03.11.2021

Written Project Summary

Minute Men Staffing Services has an existing 38,066 s.f. 3-story building located at 3740 Carnegie Avenue in Cleveland, OH. The proposed project includes a new 45,000 s.f. 3-story office addition. The total square footage of the entire building will be 83,066 s.f. The addition will contain a new entrance / lobby, new offices, meeting & training rooms, new accessible restrooms, gathering café, kitchen, storage, and exterior courtyards. There will be a 27'-0" setback from the west property line. The site improvements include new paving to the north and south of the addition, new paving on the vacant southeast corner of the property, and the resurfacing / restriping of the existing parking lot that will allow for a total of 382 parking spaces. Site improvements also include new landscaping and fencing to match the existing fence. The height of the addition will be 47'-8" and all of the materials will match or complement the existing building materials.



# MINUTE MEN STAFFING SERVICES HEADQUARTERS EXPANSION

3740 CARNEGIE AVENUE  
CLEVELAND, OHIO 44115

## OWNER

MINUTE MEN STAFFING SERVICES  
3740 CARNEGIE AVENUE  
CLEVELAND, OHIO 44115  
PHONE: 216.452.0100

## ARCHITECT

AODK, INC.  
14394 DETROIT AVENUE  
LAKEWOOD, OHIO 44107  
PHONE: 216.771.1920

## CIVIL

OSBORN ENGINEERING  
1100 SUPERIOR AVENUE STE 300  
CLEVELAND, OH 44114  
PHONE: 216.861.2020

## CONTRACTOR

INDEPENDENCE CONSTRUCTION  
6400 E. SCHAAF ROAD  
INDEPENDENCE, OH 44131  
PHONE: 216.446.3700

## PROJECT DESCRIPTION

MINUTE MEN STAFFING SERVICES HAS AN EXISTING 38,066 S.F. 3-STORY BUILDING LOCATED AT 3740 CARNEGIE AVENUE IN CLEVELAND, OH. THE PROPOSED PROJECT INCLUDES A NEW 45,000 S.F. 3-STORY OFFICE ADDITION. THE TOTAL SQUARE FOOTAGE OF THE ENTIRE BUILDING WILL BE 83,066 S.F. THE ADDITION WILL CONTAIN A NEW ENTRANCE / LOBBY, NEW OFFICES, MEETING & TRAINING ROOMS, NEW ACCESSIBLE RESTROOMS, GATHERING CAFÉ, KITCHEN, STORAGE, AND EXTERIOR COURTYARDS. THERE WILL BE A 27'-0" SETBACK FROM THE WEST PROPERTY LINE. THE SITE IMPROVEMENTS INCLUDE NEW PAVING TO THE NORTH AND SOUTH OF THE ADDITION, NEW PAVING ON THE VACANT SOUTHEAST CORNER OF THE PROPERTY, AND THE RESURFACING / RESTRIPIING OF THE EXISTING PARKING LOT THAT WILL ALLOW FOR A TOTAL OF 390 PARKING SPACES. SITE IMPROVEMENTS ALSO INCLUDE NEW LANDSCAPING AND FENCING TO MATCH THE EXISTING FENCE. THE HEIGHT OF THE ADDITION WILL BE 47'-8" AND ALL OF THE MATERIALS WILL MATCH OR COMPLEMENT THE EXISTING BUILDING MATERIALS.



## GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE CURRENT OBC AND OTHER APPLICABLE FEDERAL, STATE, AND LOCAL CODES
- NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH IN THIS DRAWING SET IMMEDIATELY. DO NOT PROCEED WITH WORK IN AREA IN QUESTION UNTIL DISCREPANCY IS RESOLVED
- CONTRACTOR IS TO VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO BEGINNING WORK & NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THIS DRAWING SET BEFORE WORK BEGINS.
- DIMENSIONS, SIZES, LOCATIONS, DISTANCES ETC. ARE NOT TO BE SCALED FROM DRAWINGS.
- ALL INTERIOR FINISHES TO COMPLY WITH OBC SECTIONS 803, 804 AND 805, WALL AND CEILING FINISHES TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPMENT INDEX OF NOT MORE THAN 450.
- PROVIDE FIRE EXTINGUISHERS OF SIZE, TYPE, NUMBER AND LOCATION PER LOCAL FIRE DEPARTMENT RECOMMENDATIONS. PROVIDE ALLOWANCE FOR (A) ABC TYPE EXTINGUISHERS IN SEMI RECESSED CABINETS, BASIS OF DESIGN STRIKE FIRST CORPORATION OF AMERICA APEX SERIES MODEL #A218 APEXSR20VD W/ COMPATIBLE EXTINGUISHER, WALL MOUNTED FIRE EXTINGUISHERS SHALL BE MOUNTED WITH TOP OF EXTINGUISHERS AT 4'-0" A.F.F. TOP OF FIRE EXTINGUISHER CABINETS SHALL BE MOUNTED WITH TOP OF CABINET 5'-4" A.F.F.
- ALL FURNITURE TO BE PROVIDED BY OWNER, UNLESS OTHERWISE NOTED.
- ALL MISC. WOOD TO BE FIRE RETARDANT TREATED (NON-COMBUSTIBLE) MATERIAL AS REQUIRED PER O.B.C.
- AUTOMATIC FIRE ALARM / DETECTION SYSTEMS SHOP DRAWINGS (PREPARED AND PROVIDED BY A STATE CERTIFIED DESIGNER) IN ACCORDANCE W/ O.B.C. 907.5 WILL BE PROVIDED IN A SEPARATE APPLICATION TO THE CITY OF CLEVELAND.
- ALL STRUCTURAL BUILDING COMPONENTS PREFABRICATED BY OTHERS WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE W/ STRENGTH DESIGN, LOAD AND RESISTANCE FACTOR DESIGN, ALLOWABLE STRESS DESIGN, EMPIRICAL DESIGN OR CONVENTIONAL CONSTRUCTION METHODS FOR ALL COMBINED COMPRESSIVE AND TENSILE FORCES, PREPARED AND PROVIDED BY A STATE CERTIFIED DESIGNER IN ACCORDANCE W/ O.B.C. 1604 WILL BE PROVIDED IN A SEPARATE APPLICATION TO THE CITY OF CLEVELAND.
- PROVIDE INTERIOR GYPSUM BOARD CONTROL JOINTS AS INDICATED OR MAXIMUM 30'-0" O.C.
- ALL FIRE RATED WALLS SHALL EXTEND TO THE UNDERSIDE OF THE STRUCTURE ABOVE WITH FIRE STOP MATERIAL BETWEEN TOP OF WALL AND STRUCTURE. ALL PENETRATIONS THROUGH FIRE RATED WALL (I.E. PIPES, CONDUITS, ETC) SHALL RECEIVE FIRE SEALS, DUCTS PENETRATING FIRE RATED WALLS SHALL RECEIVE FIRE DAMPERS EQUAL TO THE RATING OF THE WALL. CONTRACTOR SHALL MAINTAIN THE FIRE RATING OF WALLS RECEIVING RECESSED EQUIPMENT AND/OR BUILDING ACCESSORIES.
- ALL PENETRATIONS AND RECESSES THROUGH ACOUSTICAL WALLS (CMU OR GYPSUM BOARD) SHALL BE CONSTRUCTED TO MAINTAIN THE SOUND RATING OF THE WALL.
- GENERAL TRADES CONTRACTOR(S) SHALL COORDINATE WITH PLUMBING CONTRACTOR FOR THE EXACT LOCATION OF ACCESS PANELS IN TOILET ROOMS
- CONTROL JOINTS AT INTERIOR CMU WALLS SHALL BE INSTALLED AT A MAXIMUM OF 30'-0" O.C. AND WHERE INDICATED ON DRAWING AT EXTERIOR WALLS.
- ALL FLOOR, CEILING, WALL AND ROOF PENETRATIONS SHALL BE COORDINATED FOR SIZE AND LOCATION WITH DISCIPLINE REQUIRING THE PENETRATION. OPENINGS AROUND PENETRATIONS SHALL BE CLOSED OR SEALED BY THE CONTRACTOR REQUIRING THE PENETRATION.
- CONTRACTORS SHALL FURNISH AND INSTALL WOOD BLOCKING, STIFFENERS, BRACING, BACKING PLATES, AND SUPPORTING BRACKETS, REQUIRED FOR THE PROPER INSTALLATION OF CASEWORK, TOILET ROOM ACCESSORIES, AND TOILET PARTITIONS AS WELL AS WALL MOUNTED FURNISHING AND SUSPENDED MECHANICAL, ELECTRICAL AND/OR MISCELLANEOUS EQUIPMENT.
- FINISH FLOOR ELEVATION SHOWN AT 0.00' SHALL BE EQUIVALENT TO EXISTING ELEVATION 650.20'. ALL VERTICAL ELEVATIONS SHALL BE TRANSPPOSED BASED ON THE ELEVATION 0.00'
- UNLESS OTHERWISE NOTED OR DIMENSIONED ON PLANS, JAMBS OF HOLLOW METAL DOOR FRAMES SHALL BE SET 1/4" INCHES FROM FACE OF ADJACENT WALL (GYPSUM BOARD OR CMU) ON THE HINGE SIDE.
- PROVIDE CORNER REINFORCEMENT AT ALL OUTSIDE GYPSUM BOARD CORNERS AND J-TRIM AT END OF GYPSUM BOARD AT INTERFACE WITH ADJACENT MATERIALS.

## DRAWING INDEX

a0.0 TITLE SHEET

### ARCHITECTURAL

sp2.1 SITE LOCATION MAP & SITE CONTEXT PLAN  
EX1 EXISTING CONDITIONS PLAN  
EX2 EXISTING SITE PHOTOS  
sp2.2 SITE PLAN  
sp2.3 SITE LANDSCAPING PLAN  
sp2.4 SITE LIGHTING PLAN

a2.1 GROUND FLOOR PLAN  
a2.2 SECOND FLOOR PLAN  
a2.3 THIRD FLOOR PLAN  
a2.4 ROOF PLAN  
a3.1 EXTERIOR ELEVATIONS  
a3.2 EXTERIOR ELEVATIONS

r1 EXTERIOR 3D RENDERING  
r2 EXTERIOR 3D RENDERING  
r3 EXTERIOR 3D RENDERING  
r4 EXTERIOR 3D RENDERING  
r5 EXTERIOR 3D RENDERING  
r6 EXTERIOR 3D RENDERING  
r7 EXTERIOR 3D RENDERING

SAMPLES LANDSCAPING & MATERIALS

## PROJECT SITE MAP:



aodk

PRELIMINARY  
NOT FOR CONSTRUCTION

ARCHITECTURE OFFICE: DAVID WEBER

HEADQUARTERS EXPANSION FOR:

MINUTE MEN  
STAFFING SERVICES



PROJECT:  
MINUTE MEN  
3740 CARNEGIE AVE.  
CLEVELAND, OH 44115

PRELIM REVIEW	02.10.2021
PRELIM REVIEW	02.17.2021
PRELIM REVIEW	02.18.2021
PRELIM PRICING	02.24.2021
REVIEW	03.08.2021
REVIEW	03.10.2021
APPROVAL	03.11.2021
CITY PLANNING	03.11.2021

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AUTHORIZATION:

JOB NO.:

2026

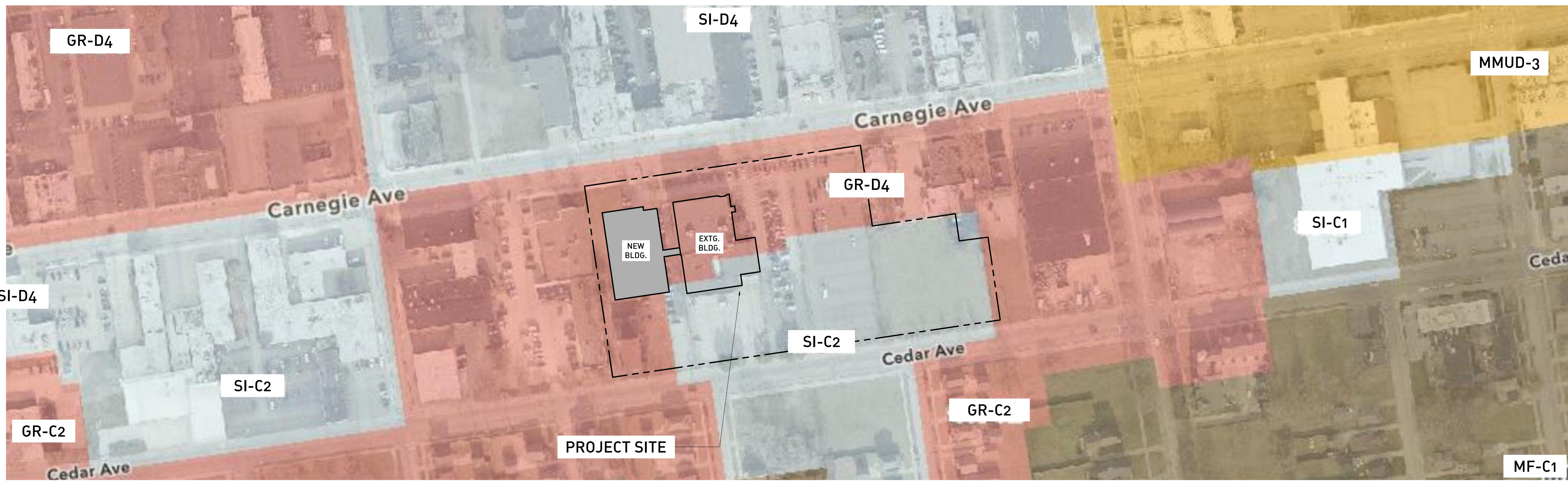
SHEET TITLE:

COVER SHEET

SHEET NO.:

a0.0





1 SITE LOCATION MAP  
SCALE: 1" = 80'-0"  
NORTH



2 SITE CONTEXT PLAN  
SCALE: 1" = 40'-0"  
NORTH

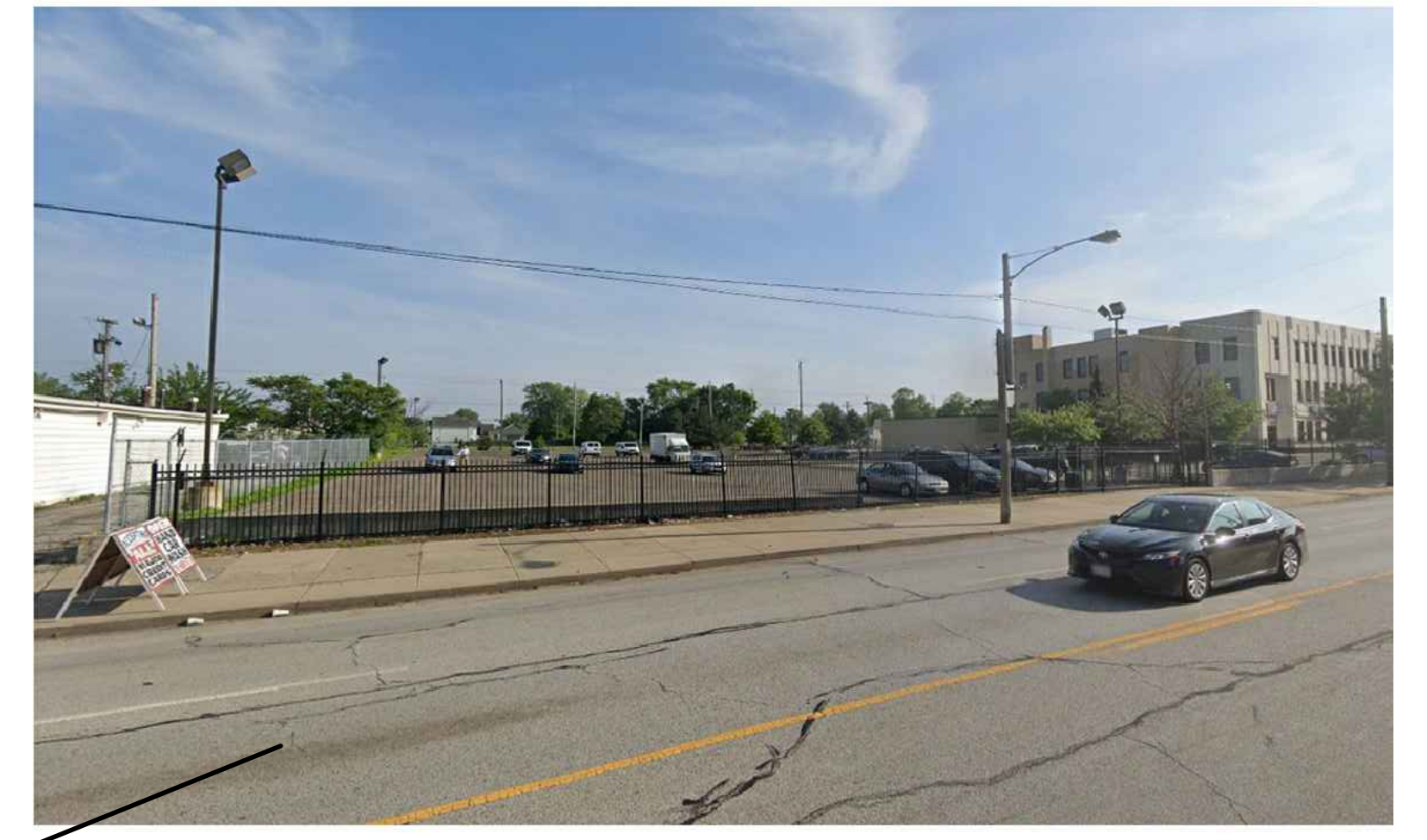
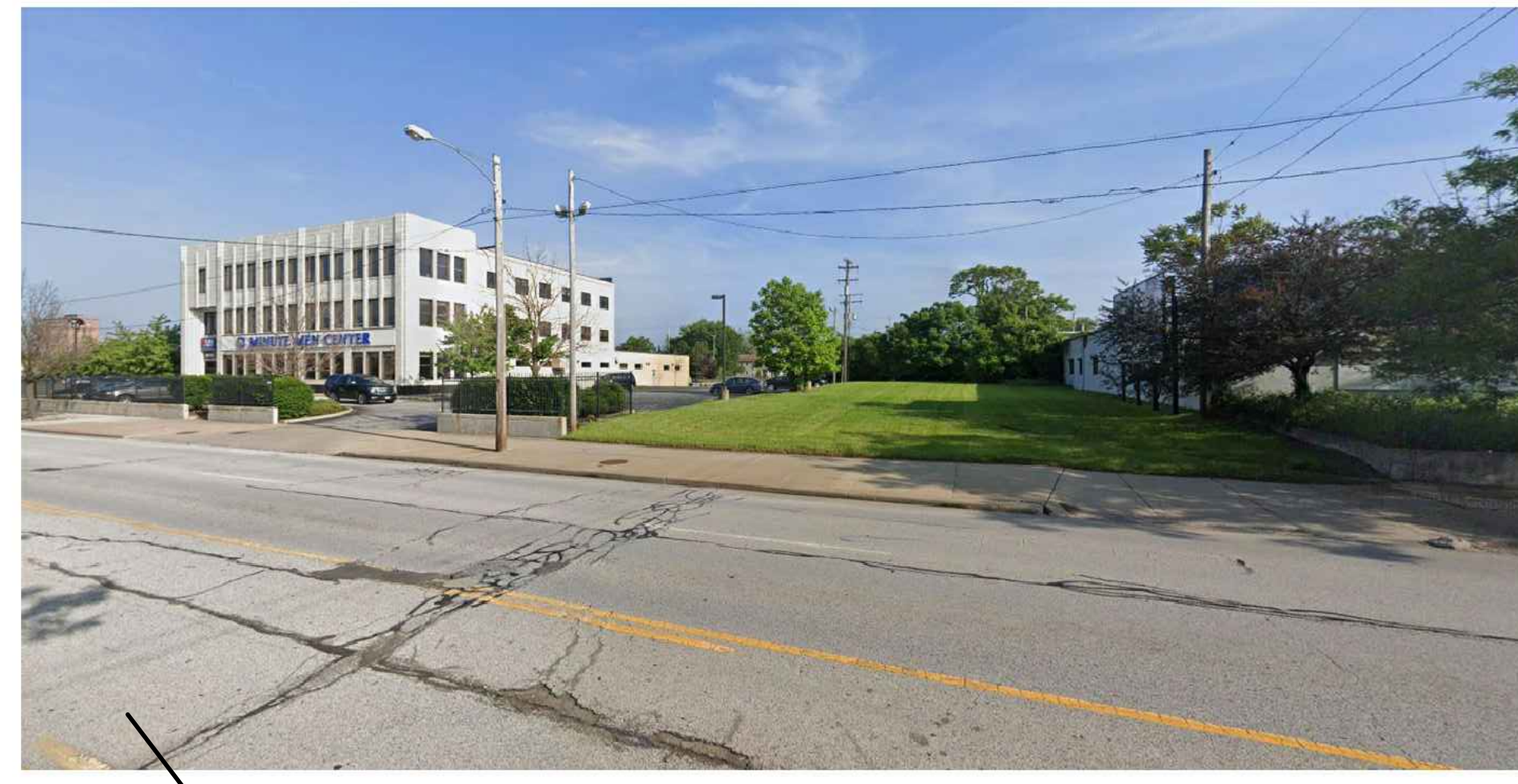
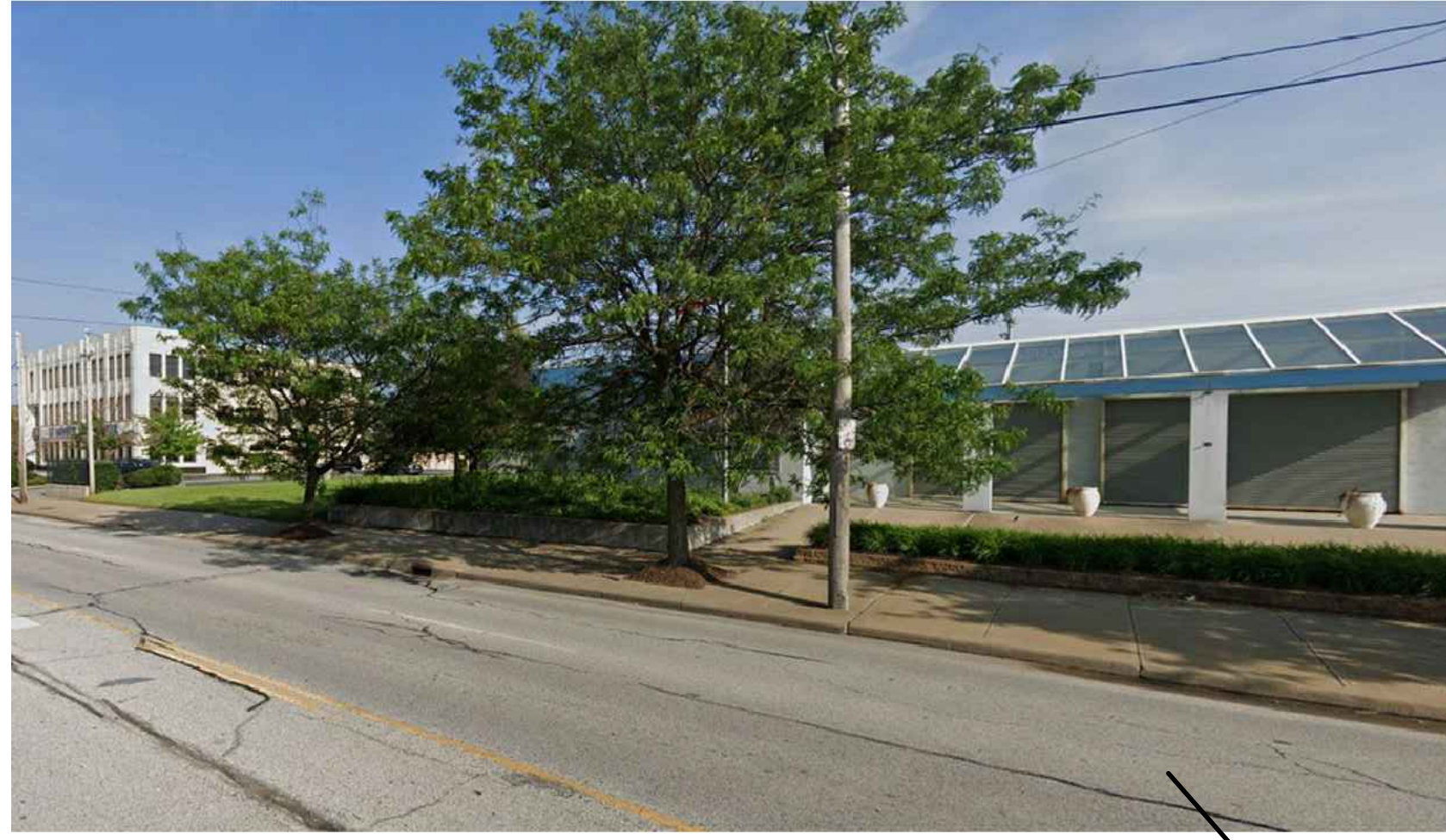
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MINUTE MEN  
3760 CARNEGIE AVE,  
CLEVELAND, OH 44115

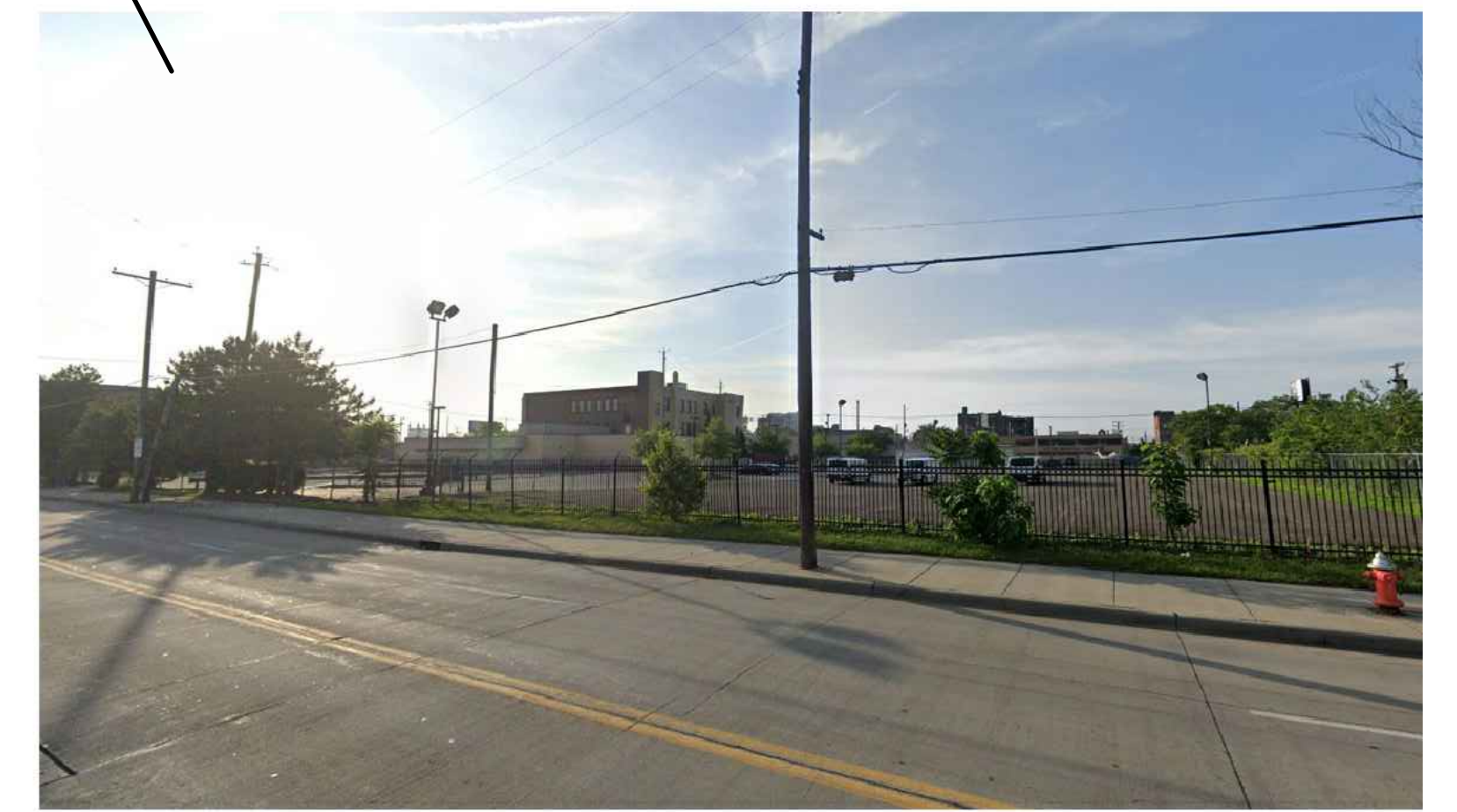
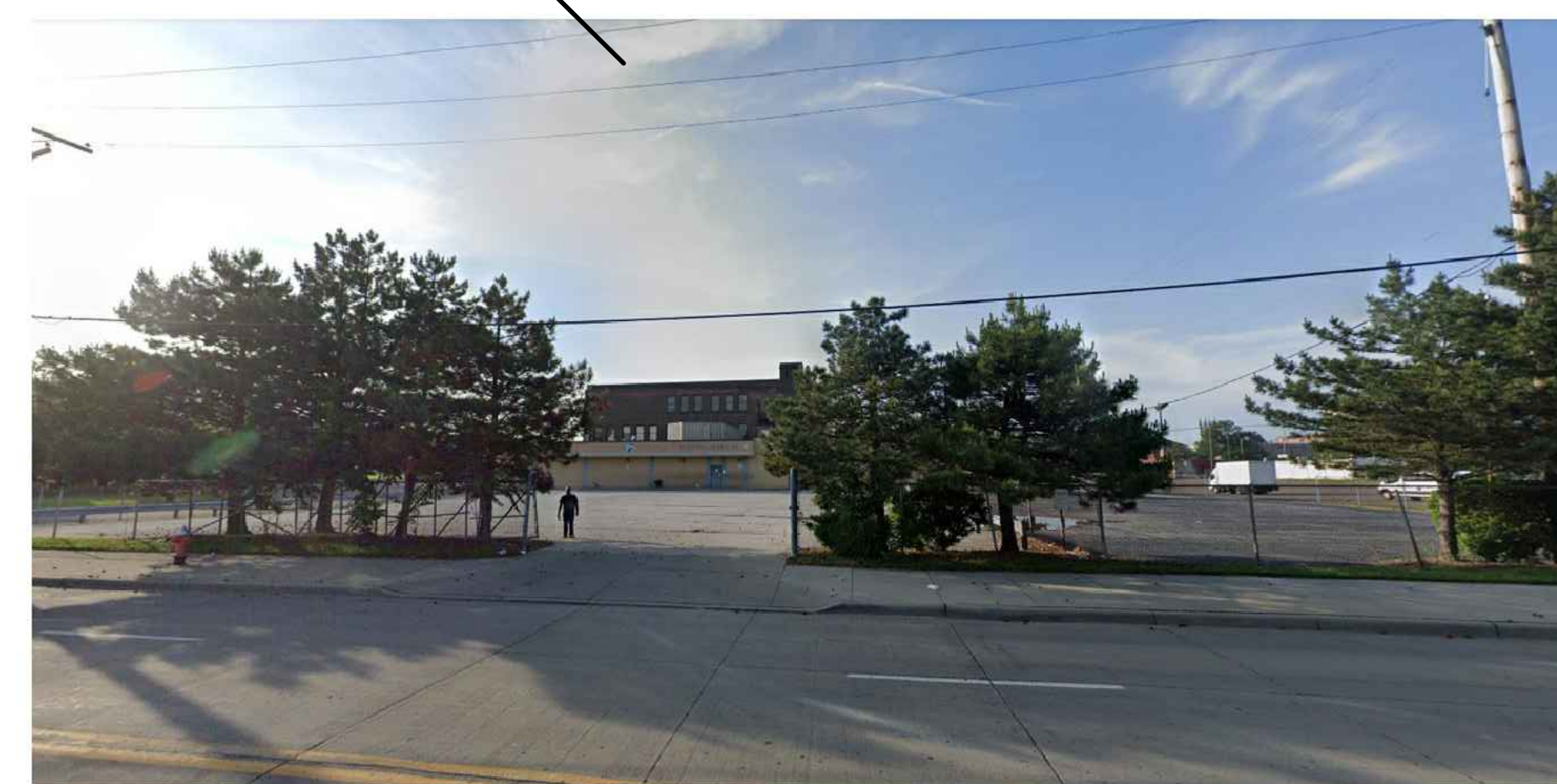
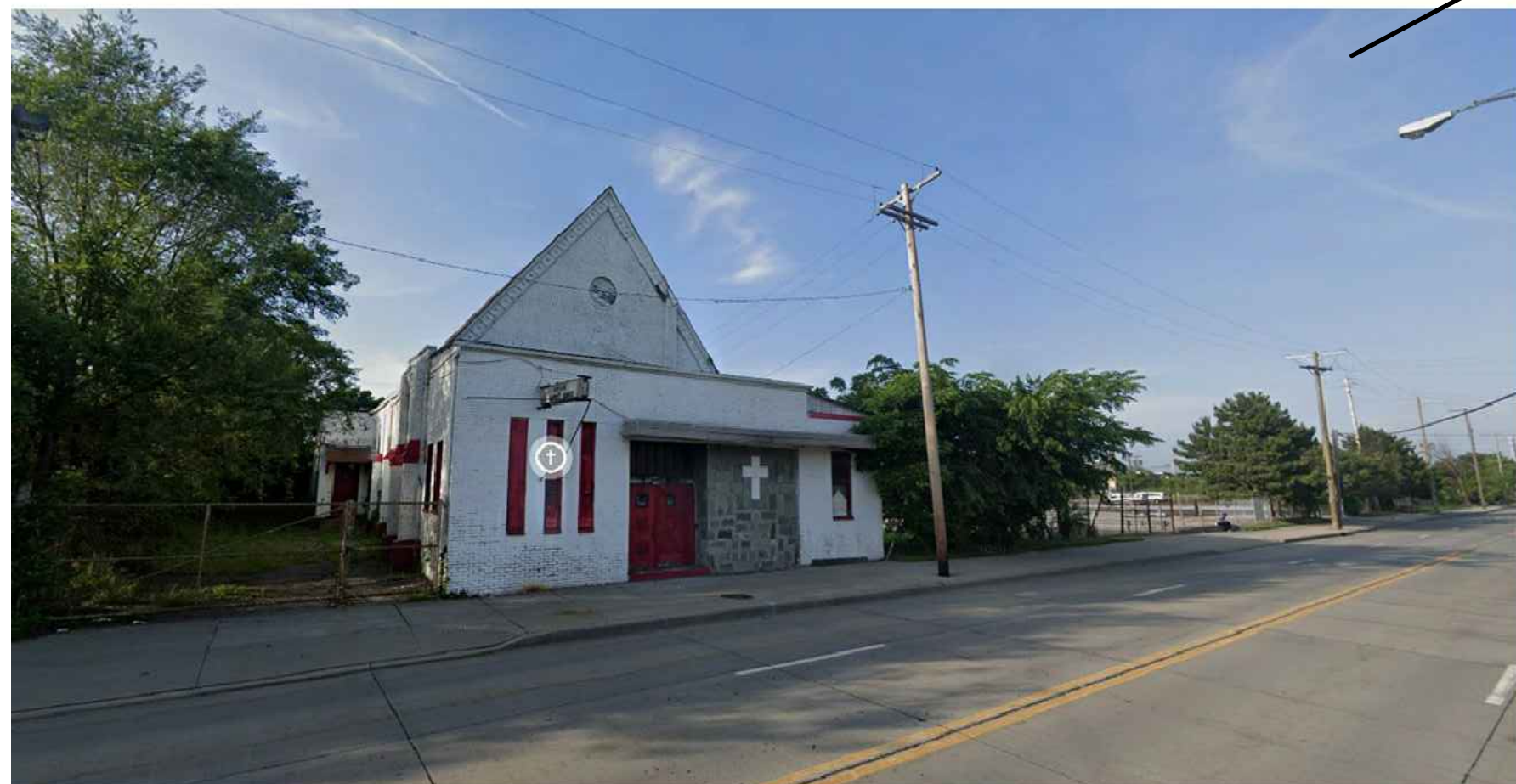
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PRELIM REVIEW	03.17.2021
PRELIM REVIEW	02.18.2021
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REVIEW	03.08.2021
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1  
sp2:1  
**EXISTING SITE PLAN**  
SCALE: NOT TO SCALE  
NORTH



adk

PRELIMINARY  
NOT FOR CONSTRUCTION

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ARCHITECTURE OFFICE | DAVID WEBER

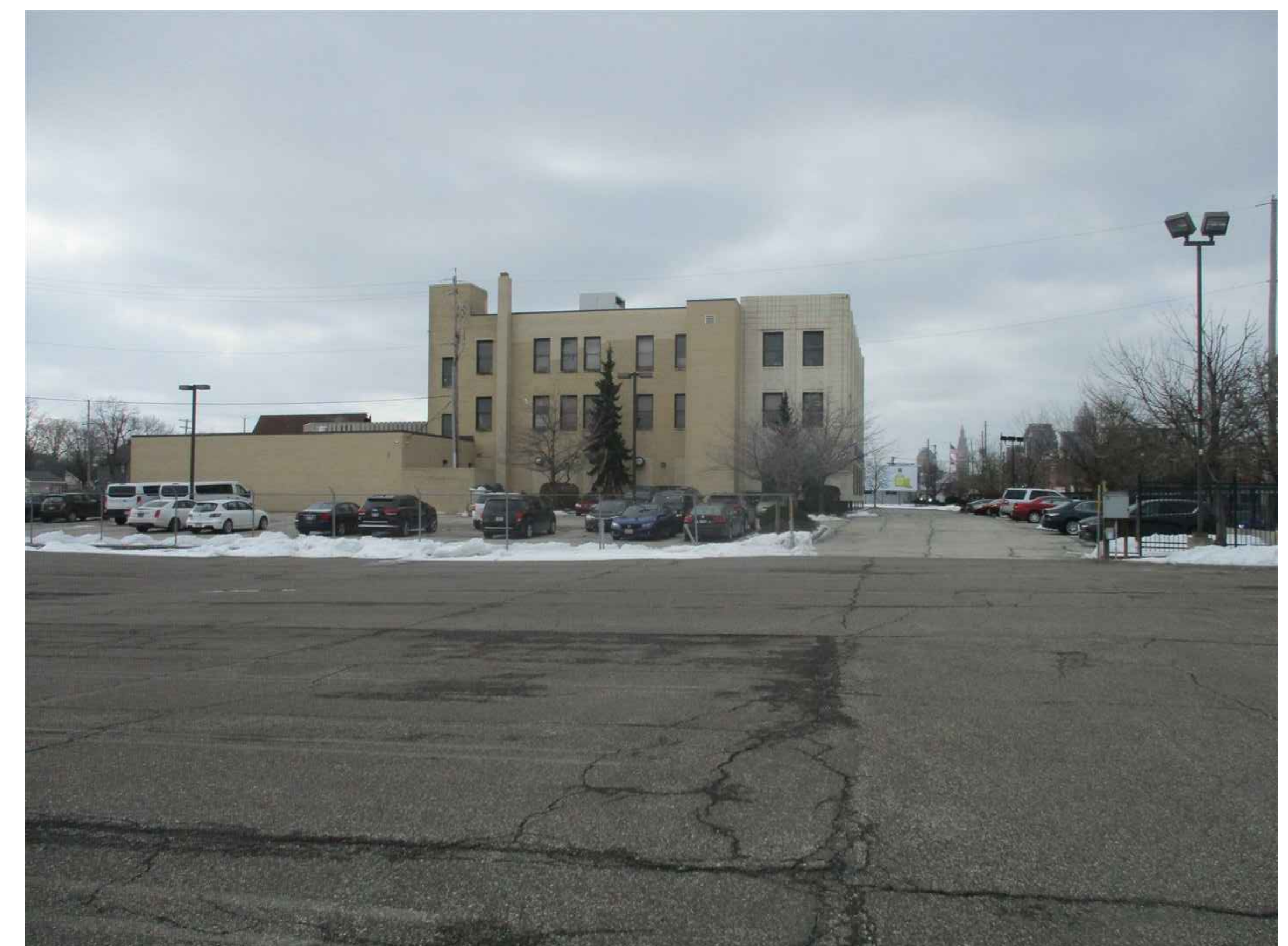
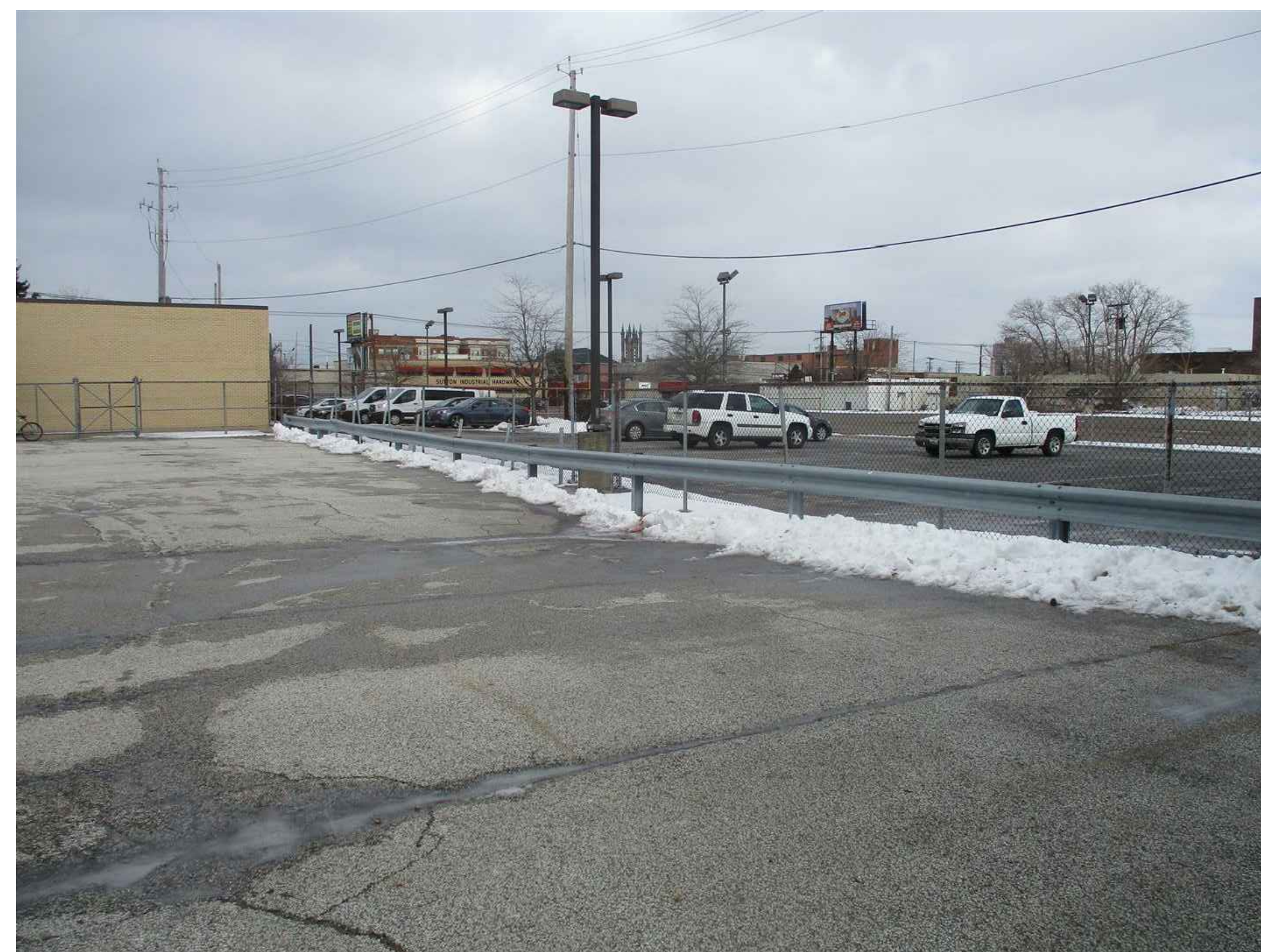
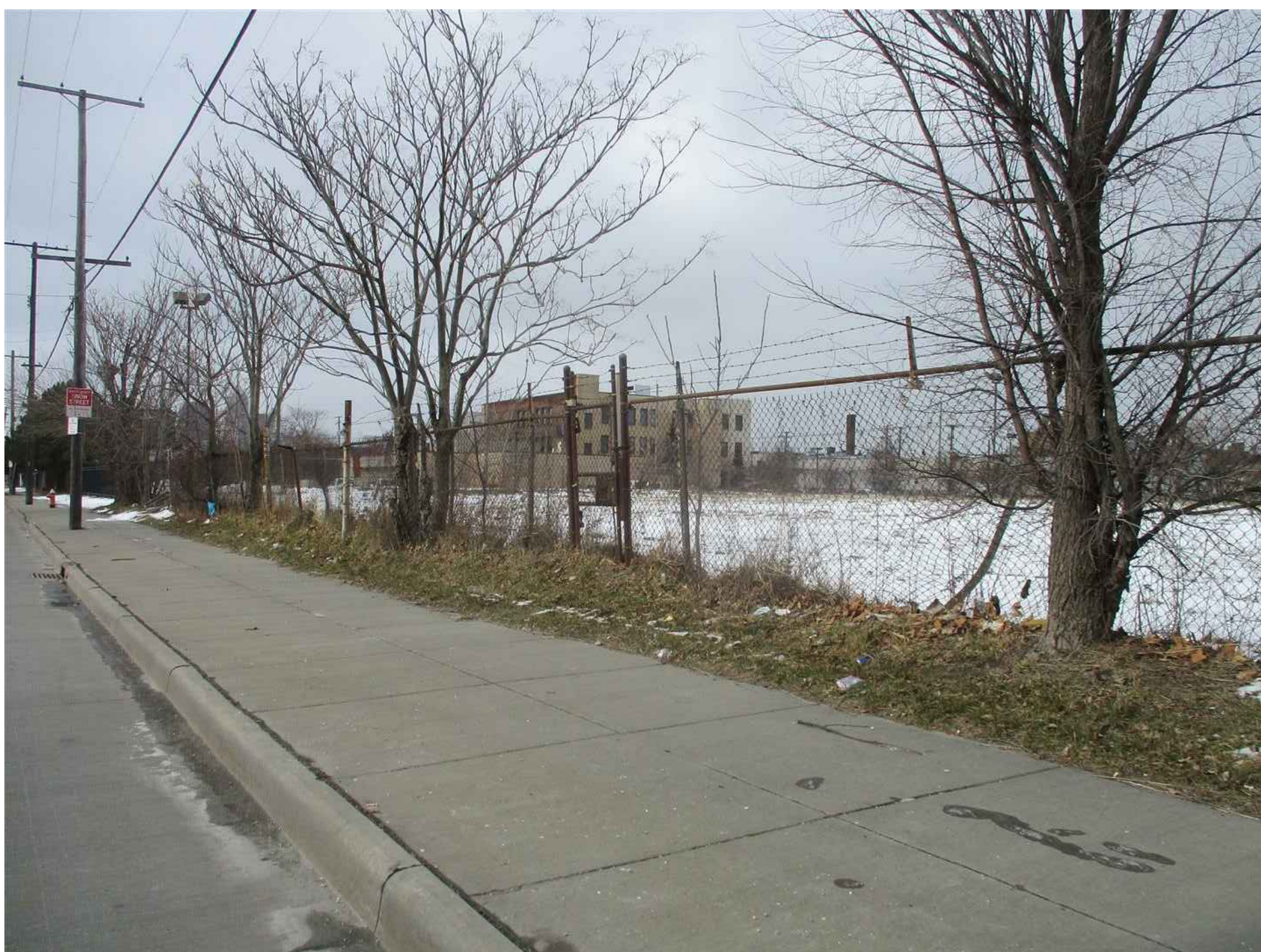
PROJECT TITLE:  
**HEADQUARTERS EXPANSION FOR:  
MINUTE MEN  
STAFFING SERVICES**

PROJECT:	MINUTE MEN	02.10.2021
	3740 CARNEGIE AVE.	03.17.2021
	CLEVELAND, OH 44115	02.18.2021
PRELIM REVIEW		02.24.2021
REVIEW		03.08.2021
APPROVAL		03.10.2021
CITY PLANNING		03.11.2021
		03.12.2021

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SHEET TITLE: **EXISTING CONDITIONS PLAN**  
**EX1**





EXISTING SITE PHOTOS

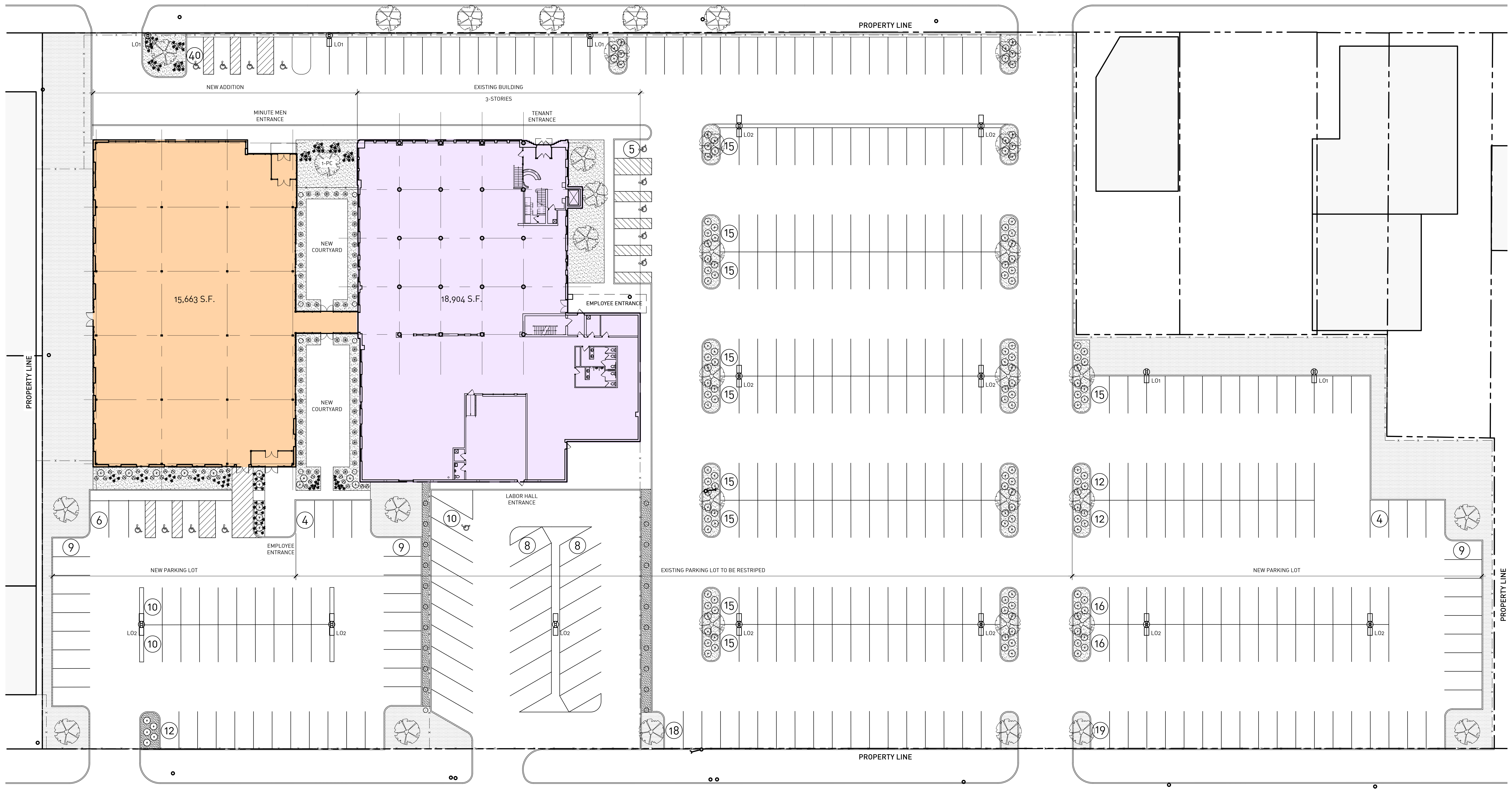
PROJECT:	MINUTE MEN 3740 CARNEGIE AVE. CLEVELAND, OH 44115
PRELIM REVIEW	02.10.2021
PRELIM REVIEW	03.17.2021
PRELIM REVIEW	02.18.2021
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CARNEGIE AVE

CEDAR AVE



15,663 S.F.

18,904 S.F.

356 PARKING SPACES  
 26 LABOR PARKING SPACES  
 382 TOTAL PARKING SPACES

1  
 sp2.2  
**PROPOSED SITE PLAN**  
 SCALE: 1" = 20'-0"  
 NORTH



PRELIMINARY  
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PROJECT TITLE:  
**HEADQUARTERS EXPANSION FOR:  
 MINUTE MEN  
 STAFFING SERVICES**

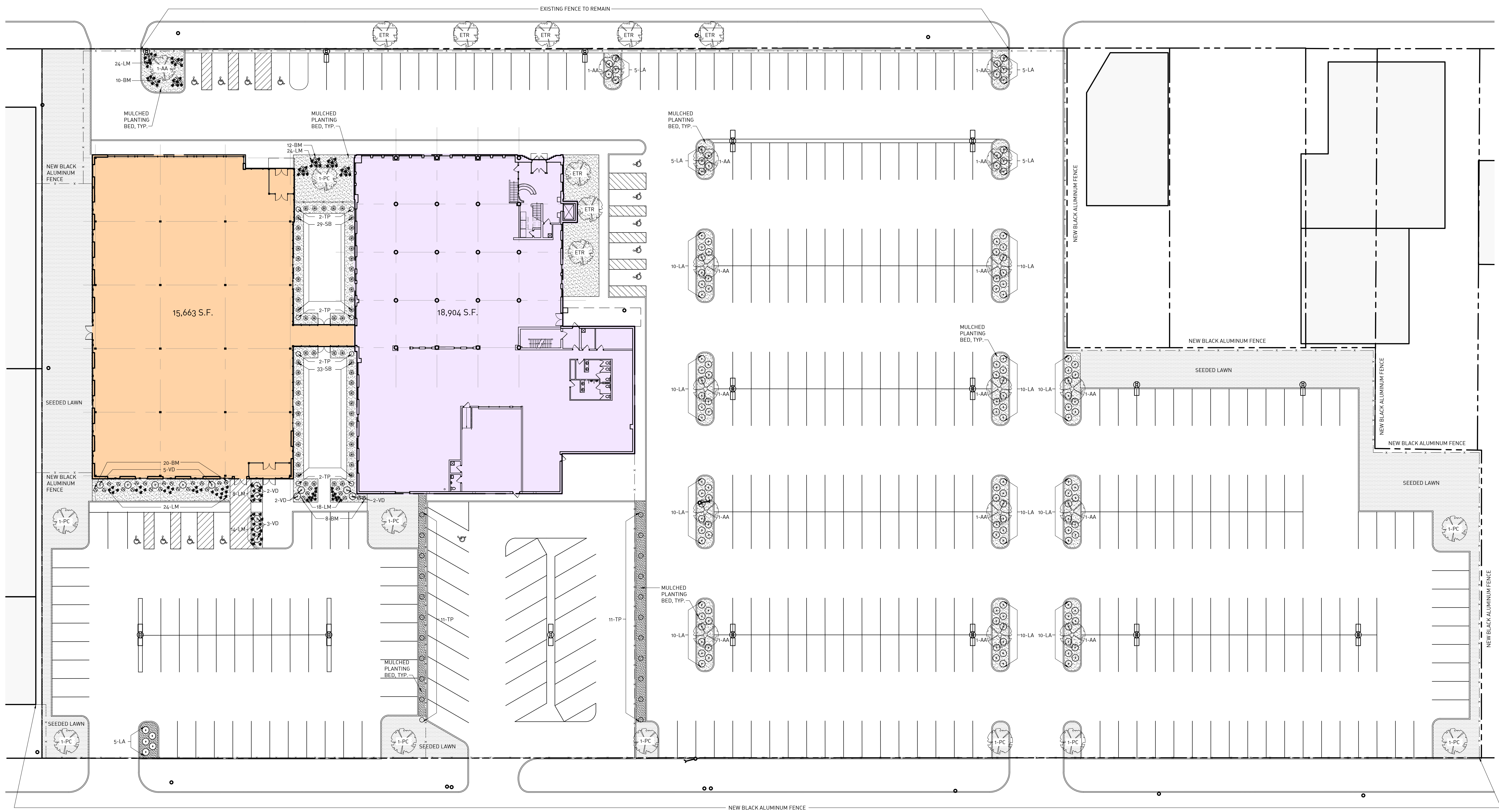
PROJECT:  
 MINUTE MEN  
 3740 CARNEGIE AVE.  
 CLEVELAND, OH 44115

PRELIM REVIEW	02.10.2021
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CITY PLANNING	03.11.2021

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20.26  
 PROPOSED SITE PLAN  
**sp2.2**





PROJECT TITLE: HEADQUARTERS EXPANSION FOR: MINUTE MEN STAFFING SERVICES

PROJECT: MINUTE MEN 3740 CARNEGIE AVE, CLEVELAND, OH 44115

PRELIM REVIEW: 02.10.2021

PRELIM REVIEW: 02.17.2021

PRELIM REVIEW: 02.18.2021

PRELIM PRICING: 02.24.2021

REVIEW: 03.08.2021

APPROVAL: 03.11.2021

CITY PLANNING: 03.11.2021

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20.26

PROPOSED SITE PLAN

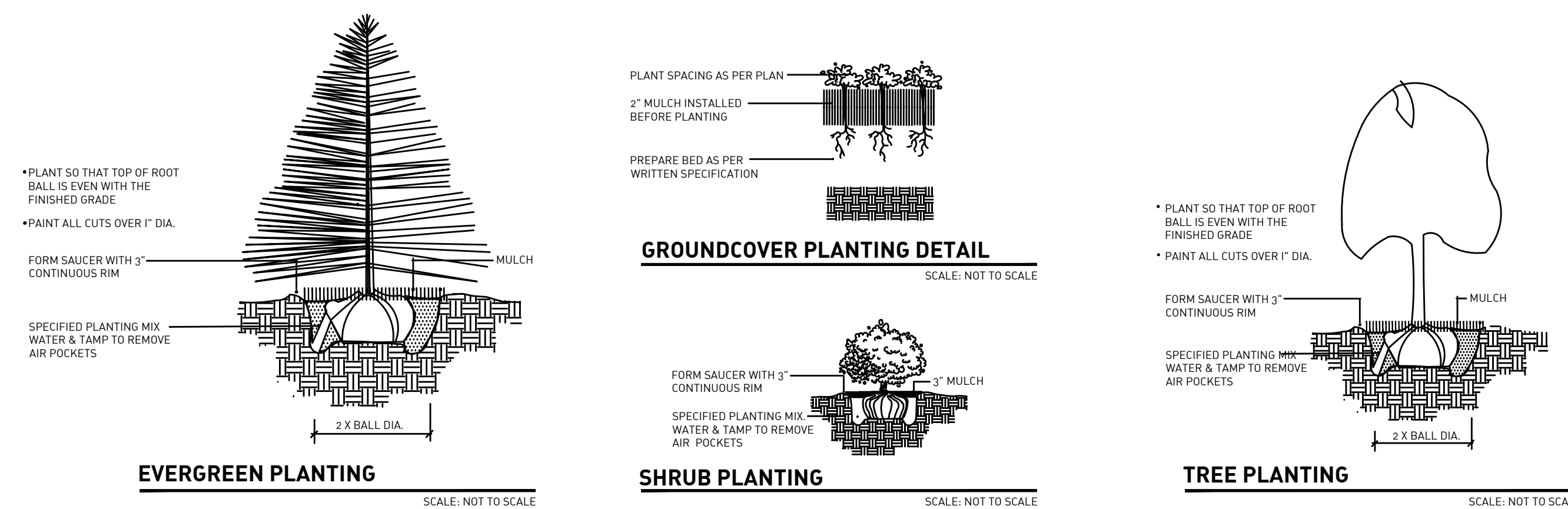
sp2.3

**PLANT LIST**

QTY	SYM	BOTANIC NAME	COMMON NAME	SIZE/REMARKS
16	AA	ACER FREEMANNI AUTUMN BLAZE	AUTUMN BLAZE MAPLE	2 1/2" CAL. B&B @ 40'-0" O.C.
11	PC	PYRUS CALLERYANA 'CLEVELAND SELECT' FLOWERING PEAR TREE	CLEVELAND SELECT PEAR	2 1/2" CAL. B&B
30	TP	THUJA PLICATA	CAN CAN	5' HT. B&B
14	VD	VIBURNUM DENTATUM	ARROWOOD VIBURNUM	5' HT. B&B
50	BM	BUXUS MICROPHYLLA VAR KOREANA X BUXUS SEMPERVIRENS	GREEN VELVET BOXWOOD	30" HT.
62	SB	SPIREA BUMALDA	GOLDFLAME SPIREA	24" HT.
112	LM	PERENNIALS & GROUNDCOVER		#1 CONT.
95	LA	LIRIOPE M. VARIEGATA	VARIEGATED LILY TURF	#1 CONT.
				#2 CONT.

**GENERAL NOTES**

1. ALL PLANT MATERIALS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK PREPARED BY THE AMERICAN ASSOCIATION OF NURSERYMEN LATEST ADDITION.
2. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING WALKS, CURBS, PLANT MATERIAL AND STRUCTURES DURING CONSTRUCTION.
3. ALL MASS PLANTING AREAS SHALL BE PREPARED WITH A 12" LAYER OF TOPSOIL.
4. ALL GROUNDCOVER, PERENNIAL OR ANNUAL PLANTINGS SHALL BE PREPARED WITH A 6" LAYER OF TOPSOIL.
5. ALL PROPOSED PLANTING BEDS ARE TO BE MULCHED WITH 3" INCHES OF DOUBLE SHREDDED HARDWOOD MULCH.
6. ALL SEEDED AREAS SHALL RECEIVE A MINIMUM OF 3" INCHES OF TOPSOIL, FINE GRADED.

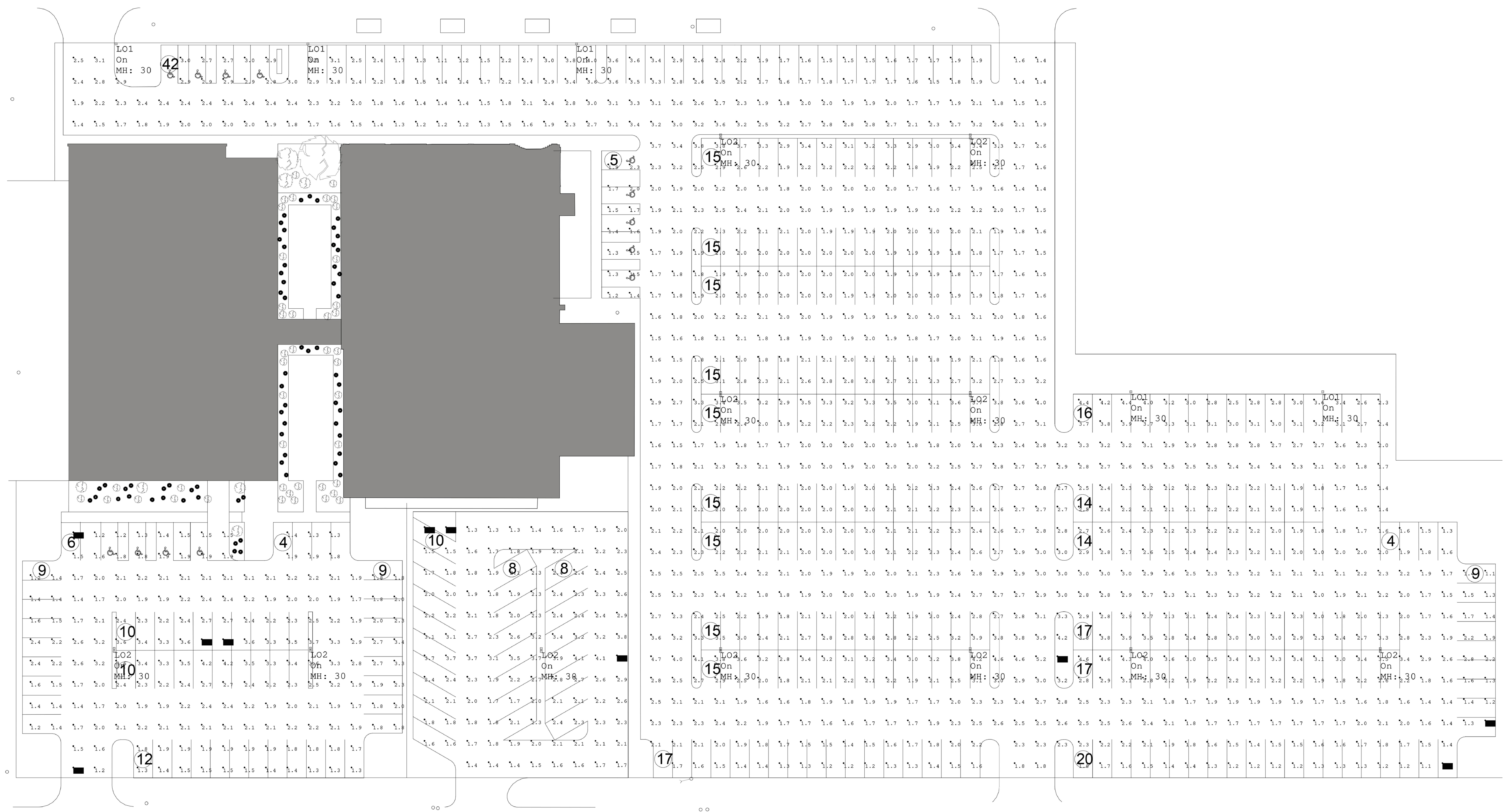






PRELIM REVIEW	02.10.2021
PRELIM REVIEW	02.17.2021
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**GENERAL SHEET NOTES**

- REFER TO THE FOLLOWING SYMBOL, LEGEND, GENERAL DEMOLITION NOTES, AND GENERAL ELECTRICAL NOTES ON DWG. E-001.
- FOR ANY WIRES THAT REMAIN IN JUNCTION BOXES, LABEL THE SOURCE AND CAP WIRES.
- IN AREAS OF DEMOLITION WHERE EXISTING BRANCH CIRCUITS ARE TO BE RE-USED FOR NEW WORK, CAP ALL DISCONNECTED ELECTRICAL CIRCUITRY IN JUNCTION BOXES ABOVE ACCESSIBLE CEILING, WITHIN EXISTING WALLS, ETC. AND MAINTAIN FOR EXTENSION.
- DEMOLITION AND NEW WORK ARE BOTH SHOWN ON THIS DRAWING.

**SHEET KEYNOTES**

- NOT USED
- NOT USED
- DISCONNECT AND REMOVE EXISTING SITE POLE INCLUDING LUMINAIRE(S). EXISTING BASE SHALL REMAIN MAINTAIN AND PROTECT EXISTING CIRCUITING AND MAKE SAFE DURING CONSTRUCTION FOR REUSE. NEW 30' POLE SHALL BE PROVIDED. EXISTING LUMINAIRE SHALL BE PROTECTED, CLEANED, AND WILL BE REINSTALLED ON NEW POLES. FURNISH AND INSTALL EXISTING LUMINAIRE(S) ON NEW POLE. RECONNECT EXISTING CIRCUITING AND CONTROLS AS NECESSARY FOR AN OPERATING LIGHTING SYSTEM.

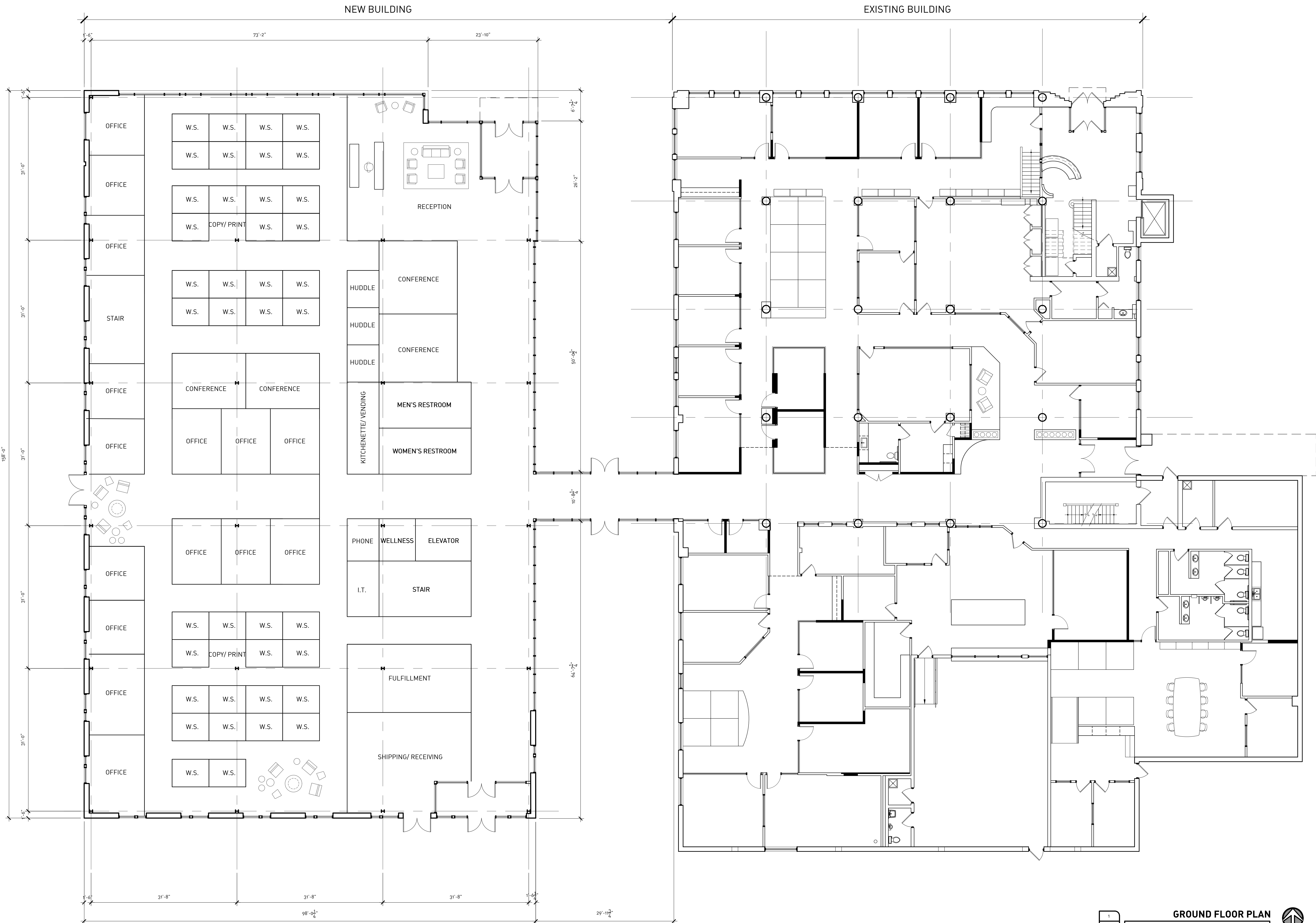
Label	Output	Units	Qty	Watt	Volts	App/Min	Max/Min
EXIST. BARNING LOT	110W/LED	Ft	2,27	2.4	1.1	2.27	0.45
EXIST. BARNING LOT	110W/LED	Ft	2,25	3.3	1.2	1.45	0.25
EXISTING BARNING LOT	110W/LED	Ft	2,14	4.3	1.1	1.45	0.15

Spec	Qty	Label	Attachment	Total Lamp Lumens	CFP	Description
□	11	LO1 - G22P-300-140-D-30-01	300-300	N.A.	6,100	G22P-300-140-D-30-01
□	5	LO2 - G22P-300-140-D-30-01	300-300	N.A.	6,100	G22P-300-140-D-30-01

**PROPOSED SITE LIGHTING PLAN**  
SCALE: 1" = 20'-0"





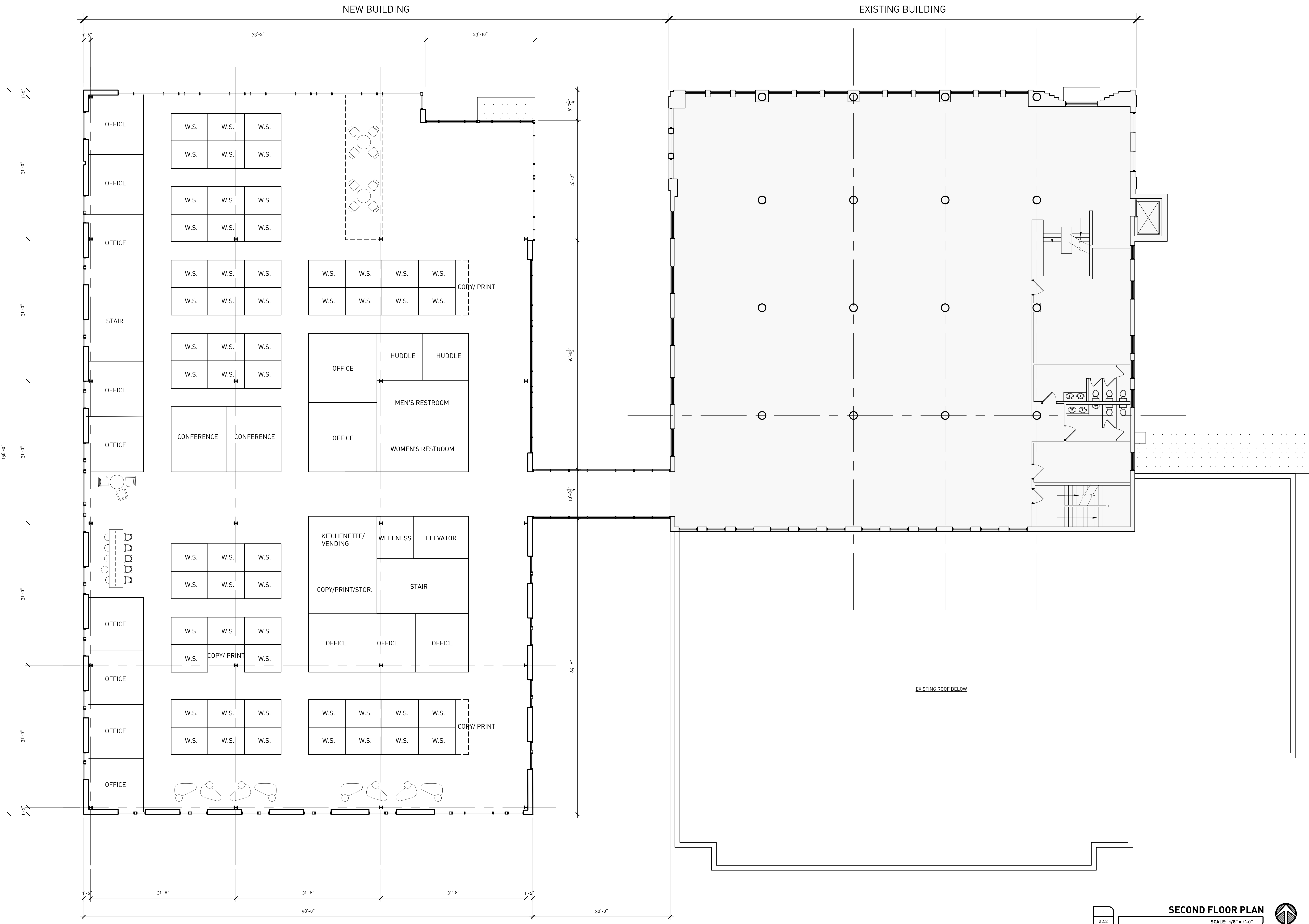


1  
a2.1

**GROUND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

NORTH





1  
02.2

**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

NORTH

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**PRELIMINARY**  
NOT FOR CONSTRUCTION

PROJECT TITLE:  
**HEADQUARTERS EXPANSION FOR:  
MINUTE MEN  
STAFFING SERVICES**

PROJECT:  
MINUTE MEN  
3760 CARNEGIE AVE.  
CLEVELAND, OH 44115

PRELIM REVIEW 02.10.2021  
PRELIM REVIEW 03.17.2021  
PRELIM REVIEW 02.18.2021  
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APPROVAL 03.11.2021  
CITY PLANNING 03.11.2021

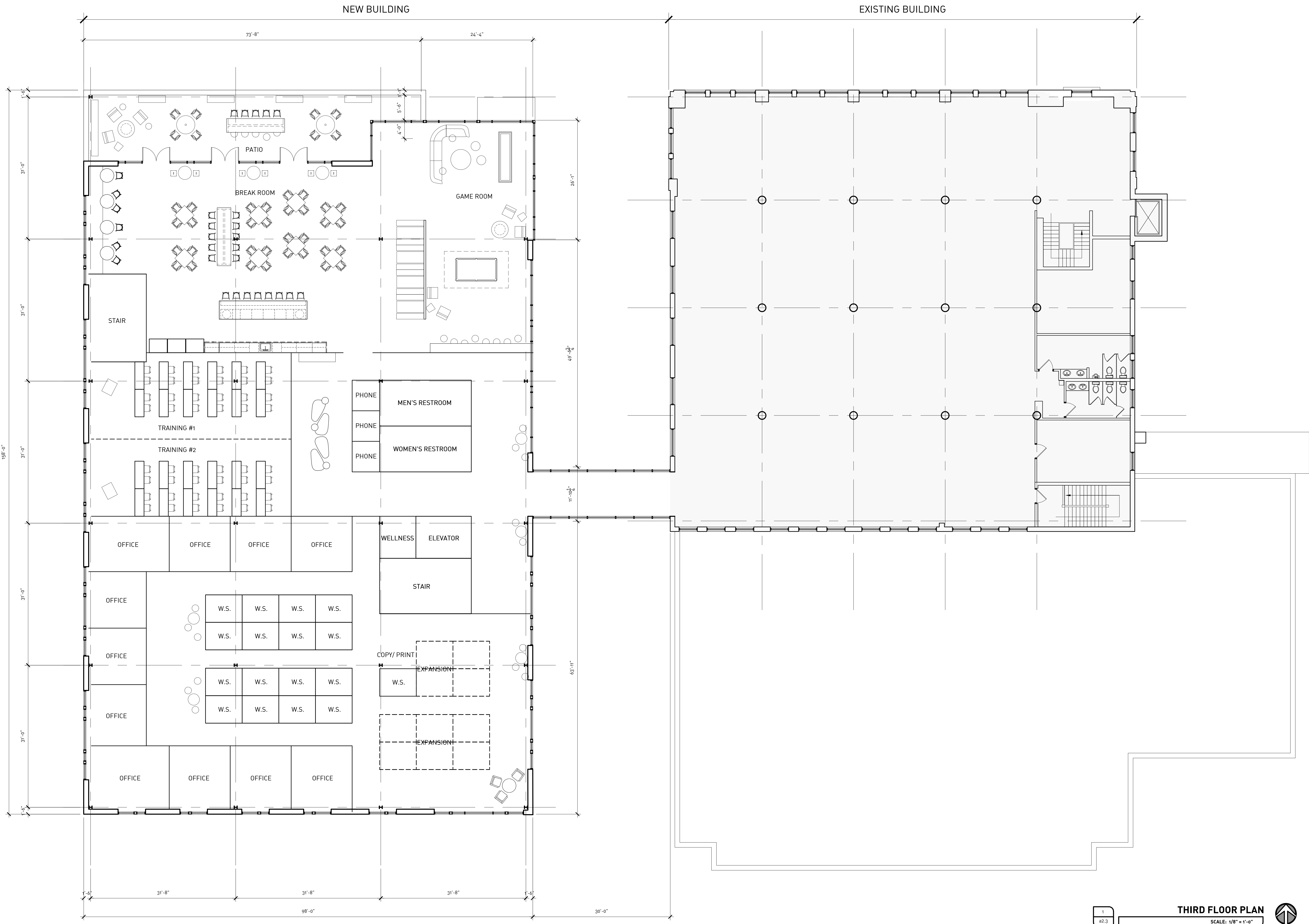
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JOB NO.: 20.26

SHEET TITLE: SECOND FLOOR PLAN

**a2.2**





1  
2.3  
**THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
NORTH

ARCHITECTURE OFFICE: DAVID WEBB

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PROJECT TITLE:  
**HEADQUARTERS EXPANSION FOR:  
MINUTE MEN  
STAFFING SERVICES**

PROJECT:

MINUTE MEN	02.10.2021
3760 CARNEGIE AVE.	02.17.2021
CLEVELAND, OH 44115	02.18.2021
PRELIM REVIEW	02.24.2021
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APPROVED	03.11.2021
CITY PLANNING	03.11.2021

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JOB NO.: 2026  
SHEET TITLE: THIRD FLOOR PLAN  
**a2.3**





1  
22.4

**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

  
NORTH

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ARCHITECTURE OFFICE • DAVID WEBB

**PRELIMINARY**  
NOT FOR CONSTRUCTION

PROJECT TITLE:  
**HEADQUARTERS EXPANSION FOR:  
MINUTE MEN  
STAFFING SERVICES**



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3740 CARNEGIE AVE.  
CLEVELAND, OH 44115

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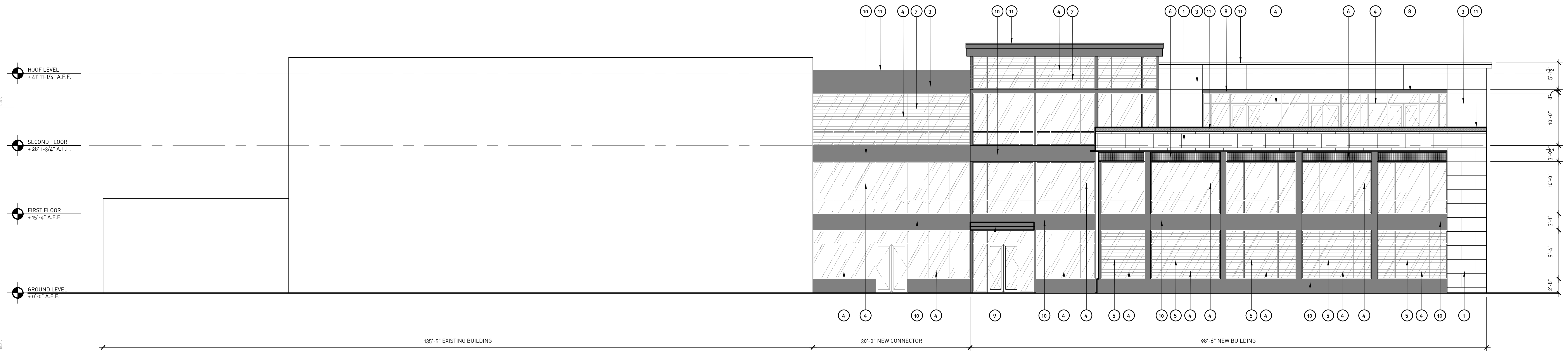
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AUTHORIZATION:  
JOB NO.: 20.26

SHEET TITLE: ROOF PLAN

SHEET NO.: **a2.4**

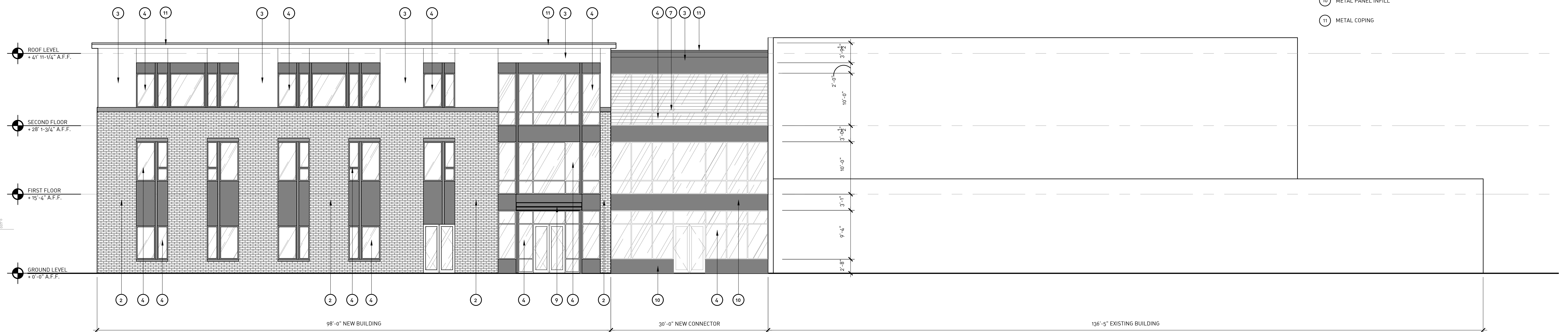




1  
3/16" EXTERIOR ELEVATION - NORTH  
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS LEGEND

- 1 ENGINEERED STONE
- 2 PAINTED BRICK
- 3 INSULATED METAL PANEL
- 4 STOREFRONT
- 5 SECURITY FINS
- 6 "TICKER TAPE" DIGITAL SCREEN
- 7 SUN SCREEN FINS
- 8 PROJECTING SUNSCREEN
- 9 METAL CANOPY
- 10 METAL PANEL INFILL
- 11 METAL COPING



2  
3/16" EXTERIOR ELEVATION - SOUTH  
SCALE: 1/8" = 1'-0"

PROJECT TITLE: HEADQUARTERS EXPANSION FOR:



PROJECT: MINUTE MEN  
3760 CARNEGIE AVE.  
CLEVELAND, OH 44115

PRELIM REVIEW	02.10.2021
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AUTHORIZATION: 20.26  
JOB NO.:  
SHEET TITLE: EXTERIOR ELEVATIONS - NORTH & SOUTH

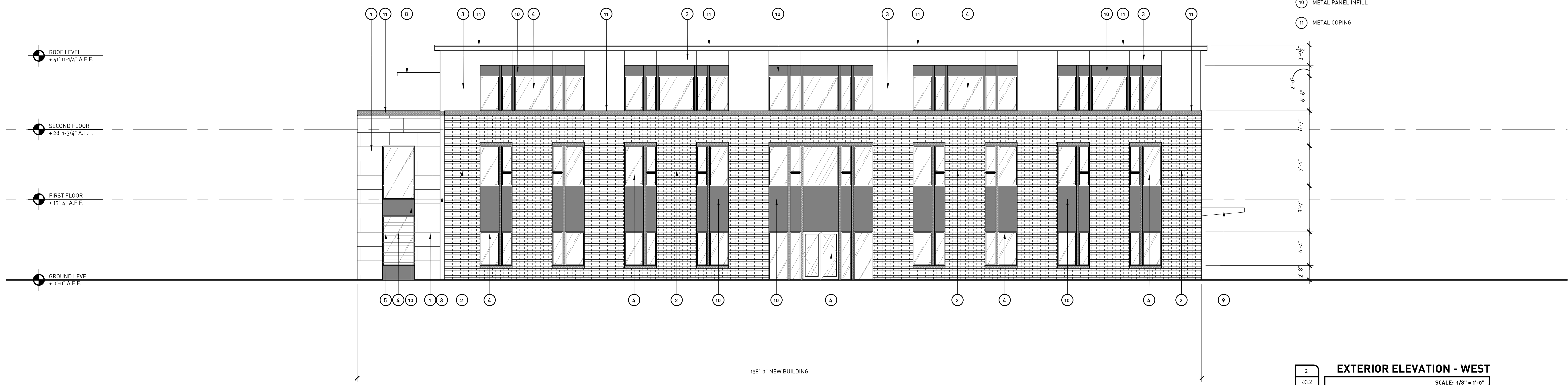




1 EXTERIOR ELEVATION - EAST  
83.2 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS LEGEND

- 1 ENGINEERED STONE
- 2 PAINTED BRICK
- 3 INSULATED METAL PANEL
- 4 STOREFRONT
- 5 SECURITY FINS
- 6 "TICKER TAPE" DIGITAL SCREEN
- 7 SUN SCREEN FINS
- 8 PROJECTING SUNSCREEN
- 9 METAL CANOPY
- 10 METAL PANEL INFILL
- 11 METAL COPING



2 EXTERIOR ELEVATION - WEST  
83.2 SCALE: 1/8" = 1'-0"

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SHEET TITLE: JOB NO.: 20.26  
EXTERIOR ELEVATIONS - EAST & WEST





HEADQUARTERS EXPANSION FOR:

# MINUTE MEN STAFFING SERVICES







HEADQUARTERS EXPANSION FOR:

# MINUTE MEN STAFFING SERVICES







HEADQUARTERS EXPANSION FOR:

# MINUTE MEN STAFFING SERVICES





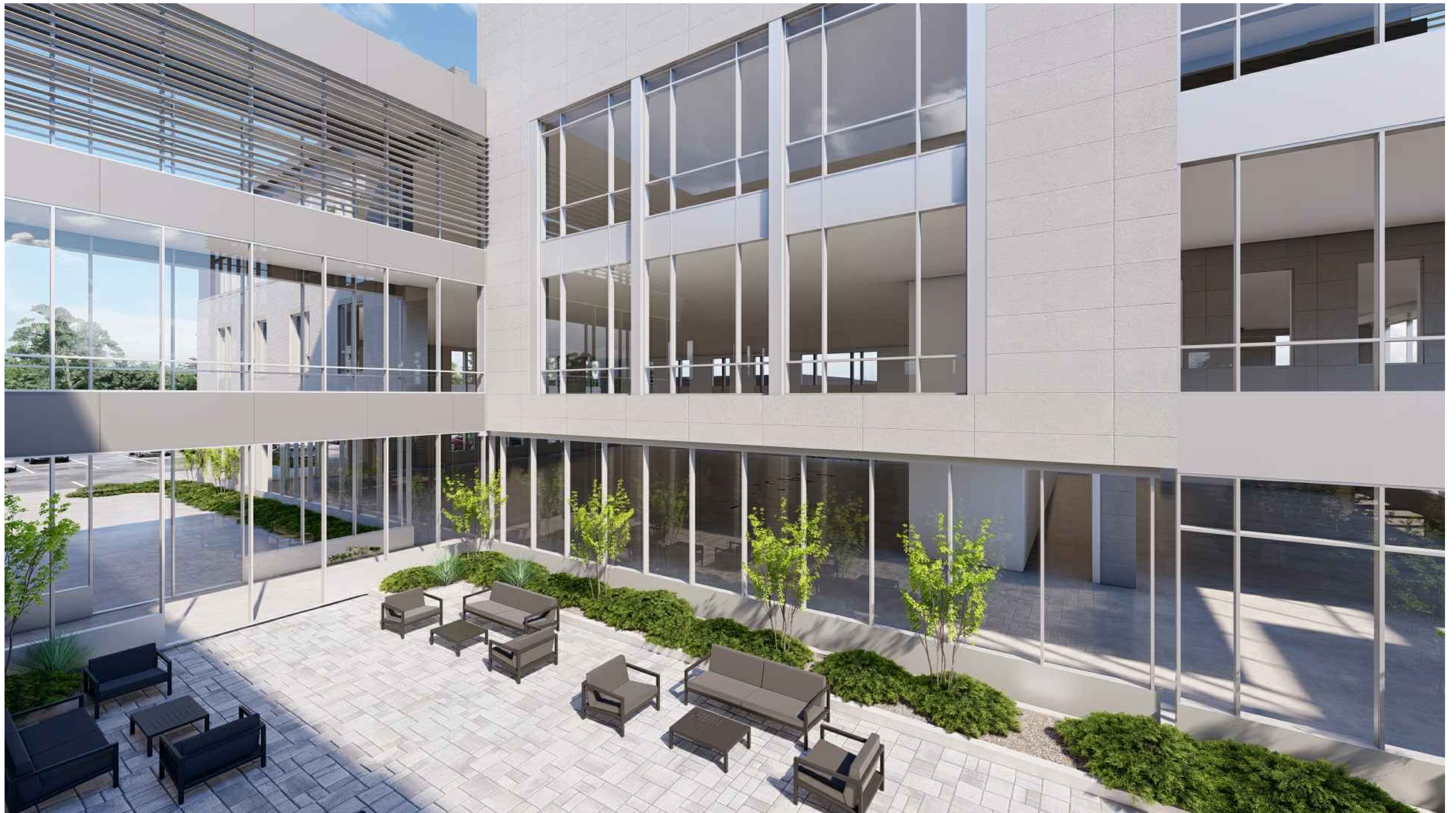


HEADQUARTERS EXPANSION FOR:

# MINUTE MEN STAFFING SERVICES







HEADQUARTERS EXPANSION FOR:

# MINUTE MEN STAFFING SERVICES







HEADQUARTERS EXPANSION FOR:

# MINUTE MEN STAFFING SERVICES





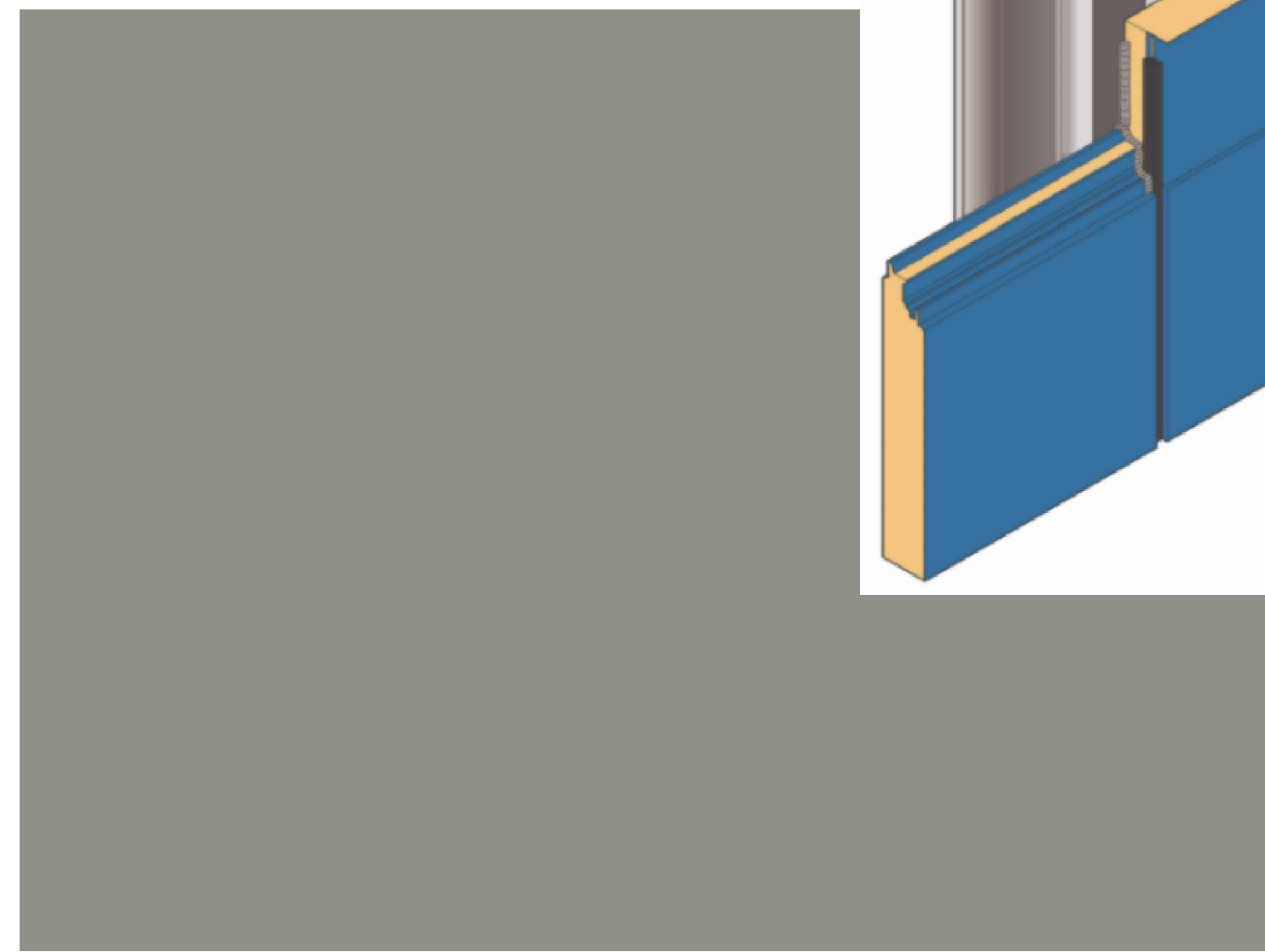


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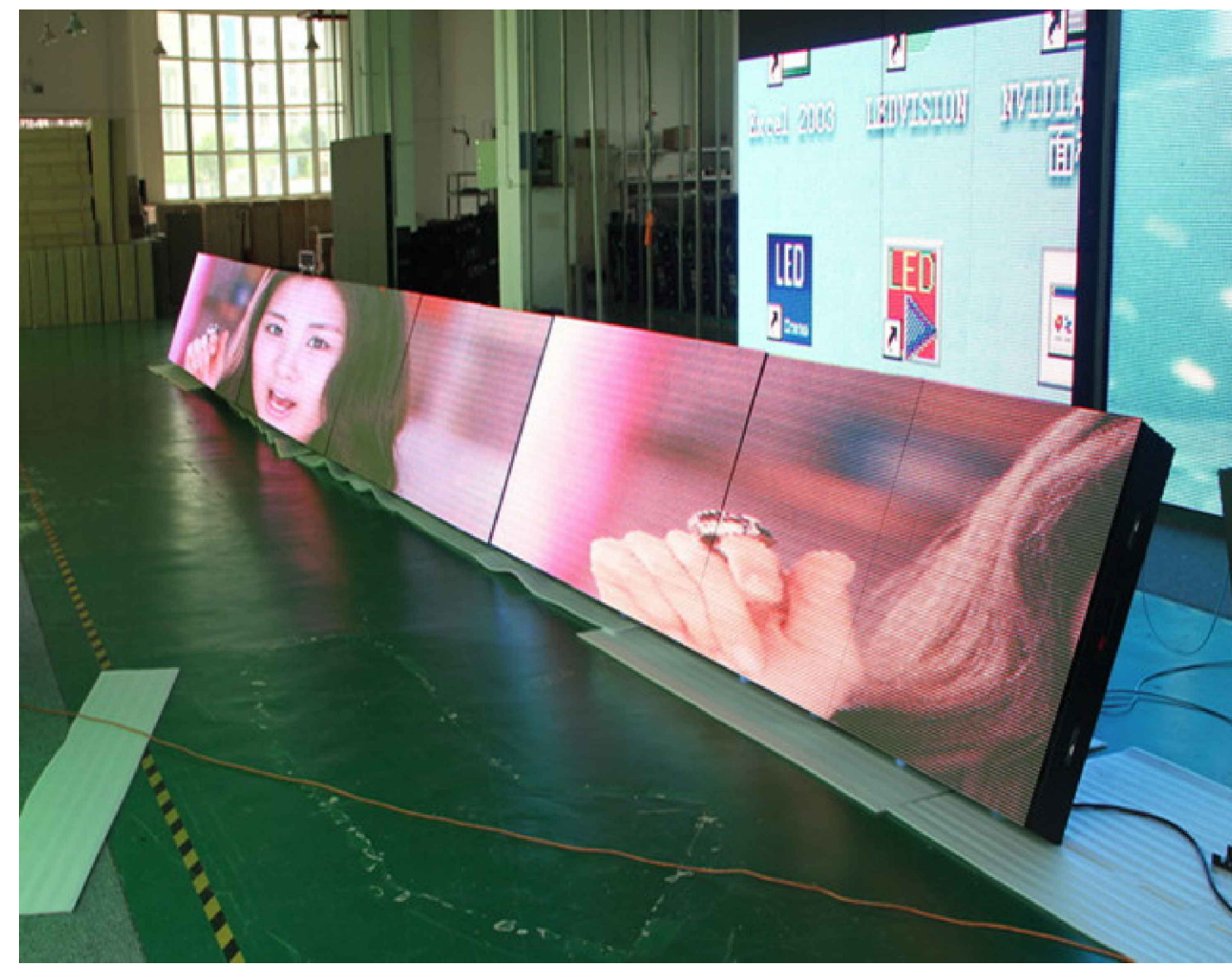
# MINUTE MEN STAFFING SERVICES







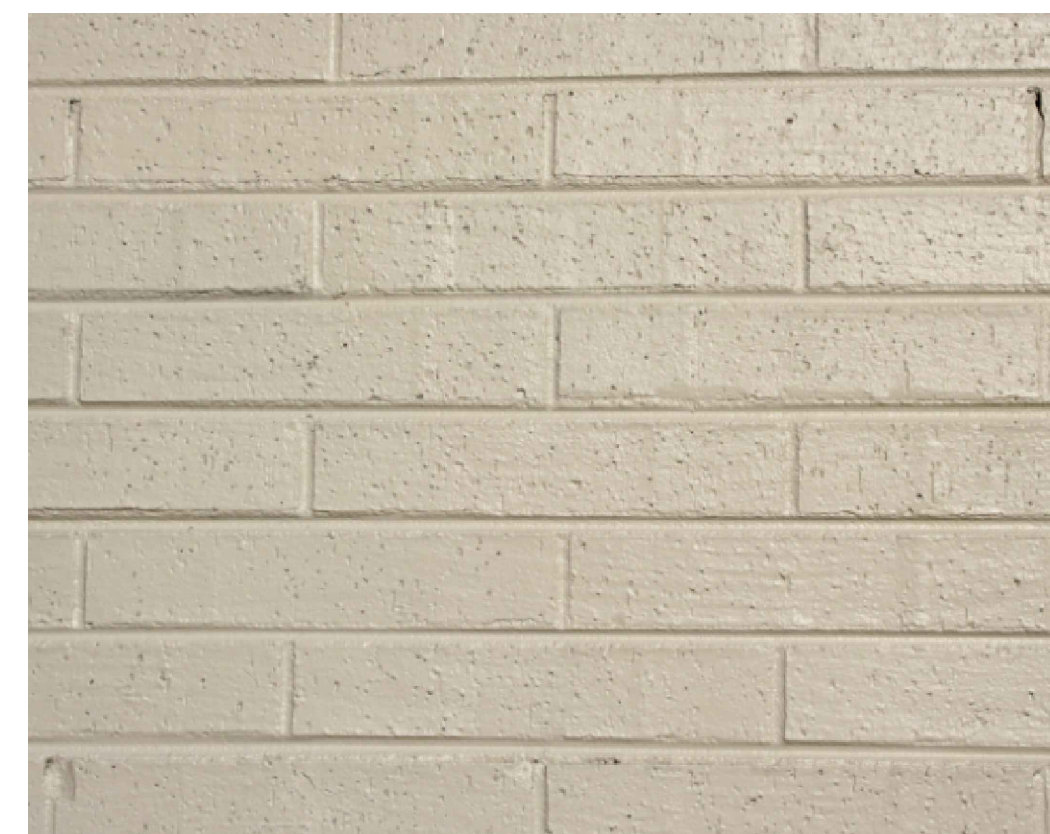
INSULATED METAL PANEL



"TICKER TAPE" DIGITAL SCREEN



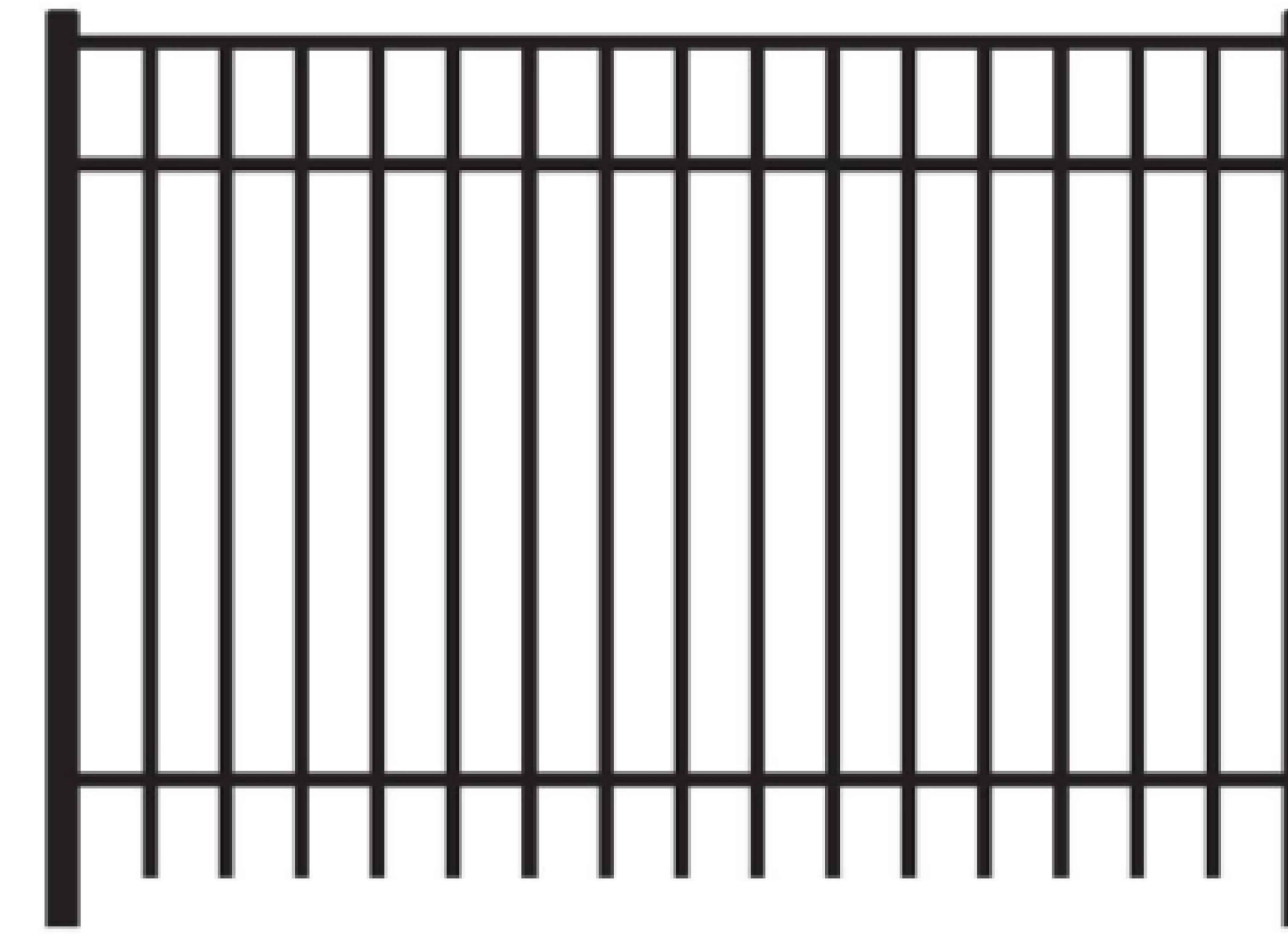
ENGINEERED STONE



PAINTED FACE BRICK



CLEAR ANODIZED ALUMINUM STOREFRONT FRAMING



6'-0" HIGH BLACK ALUMINUM FENCE



AA - AUTUMN BLAZE MAPLE



PC - CLEVELAND SELECT PEAR



LA - BLUE DUNE LIME GRASS



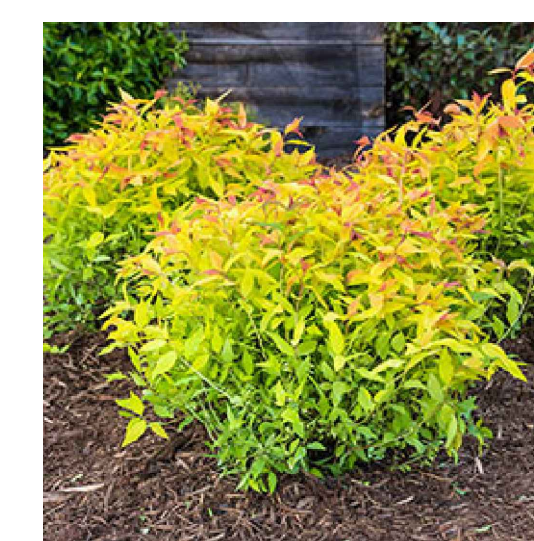
VD - ARROWOOD VIBURNUM



TP- CAN CAN



L01 / L02 - GLEON-SA4B-740-U-SL4-HS



SB - GOLDFLAME SPIREA



LM - VARIEGATED LILY TURF



BM - GREEN VELVET BOXWOOD



# Downtown | Flats Design Review Case

---



March 19, 2021

DF2021-004 - NFL Draft Promotional Signage: Seeking Final Approval

**Project Location: Various Locations throughout Downtown**

Project Representative: Mike Mulhall, Greater Cleveland Sports Commission



# 2021 NFL Draft Signage Plan

*Cleveland*





# Agenda

- **Introductions** – Hannah Belsito, Destination Cleveland
- **NFL Draft Overview and Welcome Signage** – Mike Mulhall, Greater Cleveland Sports Commission
- **Around Town** – Daphne Wood, NFL
- **Advertising** – Mike Mulhall, Greater Cleveland Sports Commission
- **CLE Sports Trivia Projections** – Alex Harnocz, Destination Cleveland
- **Voices of CLE Murals** – Heather Holmes, Downtown Cleveland Alliance



# NFL Draft Overview

Mike Mulhall, Greater Cleveland Sports Commission





# NFL Welcome Signage

Mike Mulhall, Greater Cleveland Sports  
Commission



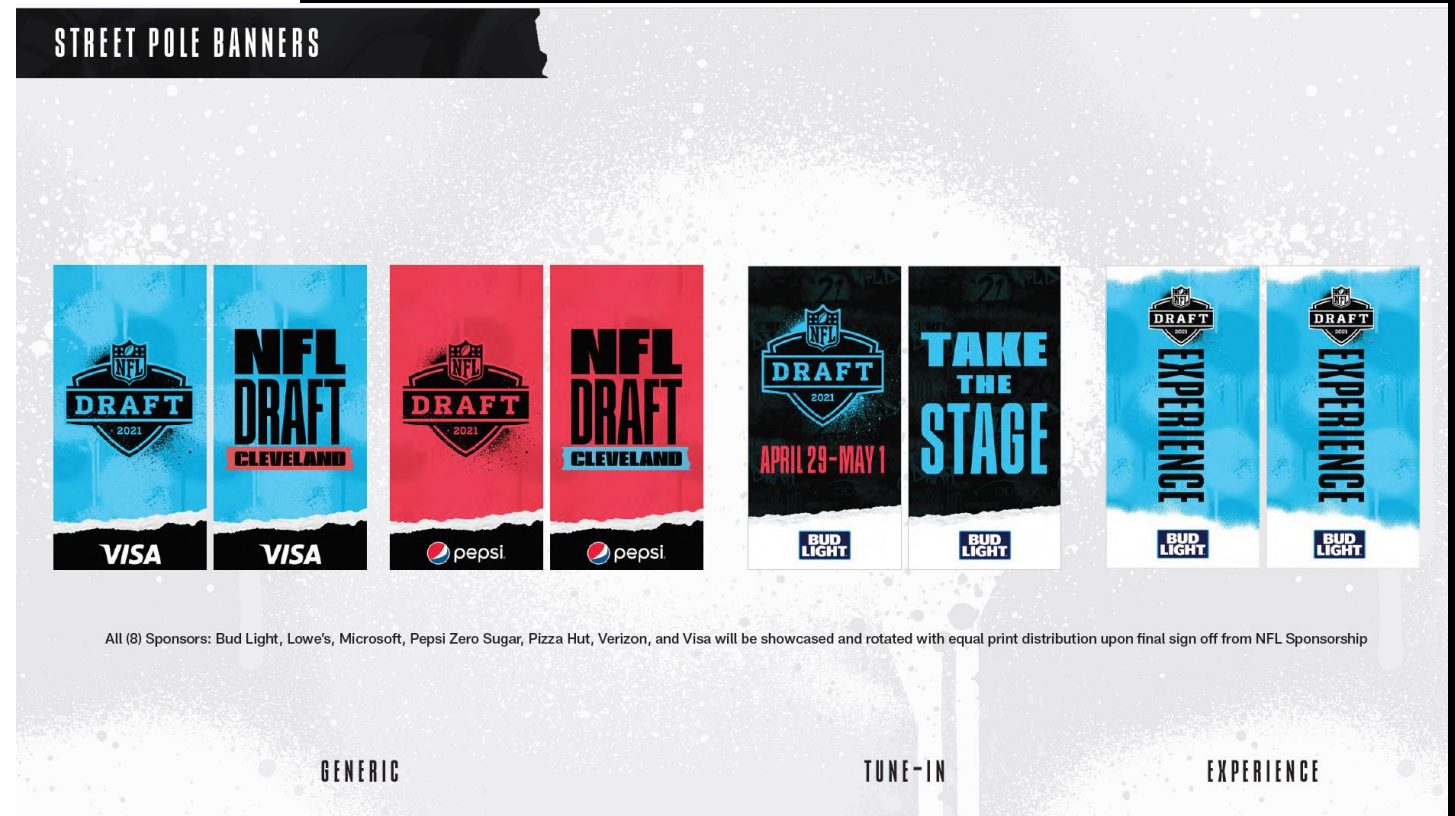
*Cleveland*





# Downtown pole banners

- Locations:
  - W. 3<sup>rd</sup>, W. 6<sup>th</sup>, Hope Memorial Bridge, W. St. Clair, Euclid Ave., Convention Center, Public Square, E. 9th
- Timeline:
  - April 2 – May 2, 2021





STREET POLE BANNERS



TEAM SPECIFIC - AFC

STREET POLE BANNERS



TEAM SPECIFIC - NFC

++++  
LET'S ROCK  
THE CLOCK  
++++



# Euclid Trolley

- Locations:
  - Throughout Downtown
- Timeline:
  - April-May 2021





# Jack Cleveland Casino

- Location:
  - Prospect & Ontario, Downtown
- Timeline:
  - April-May 2021





# Rock Hall the “O”

- Location:
  - Rock ‘n Roll Hall of Fame, Downtown
- Timeline:
  - April-May 2021





# Euclid Arcade

- Location:
  - Hyatt Hotel between Euclid & Superior, Downtown
- Timeline:
  - April-May 2021





# Around Town

Daphne Wood, NFL



*Cleveland*





# Cleveland script sign Activations

- Locations:
  - Tremont: 1507 Abbey Ave.
  - Edgewater, Edgewater Park: 6500 Cleveland Memorial Shoreway
  - Downtown, North Coast Harbor: E. 9<sup>th</sup> Street
  - Collinwood, Euclid Beach: 16301 Lakeshore Blvd.
  - The Flats, The Foundry: 1831 Columbus Rd.
- Timeline:
  - April-May 2021





# E, 4<sup>th</sup> Street Activations

- Locations:
  - E. 4<sup>th</sup> Street
- Timeline:
  - April-May 2021





# William G. Mather

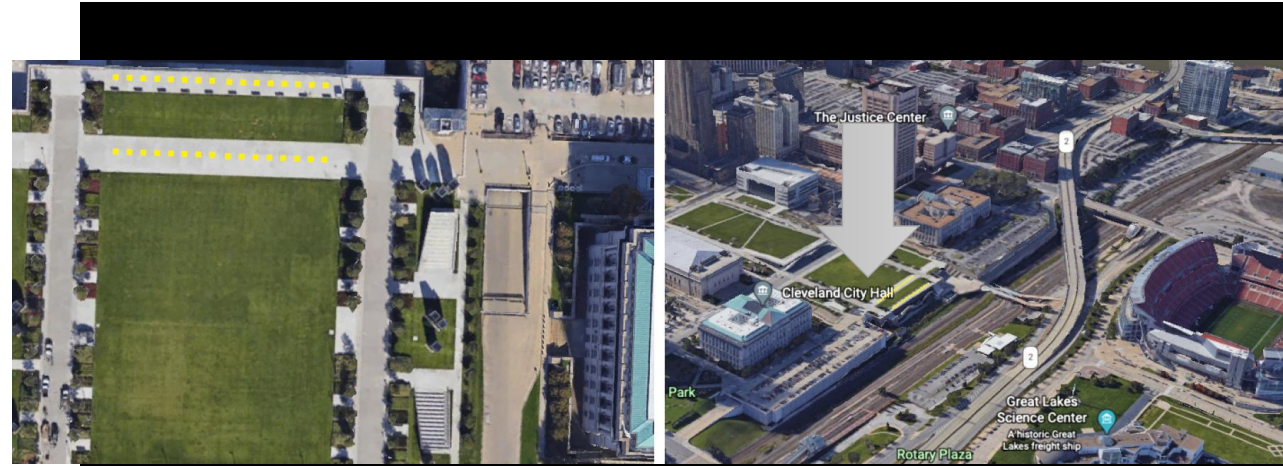
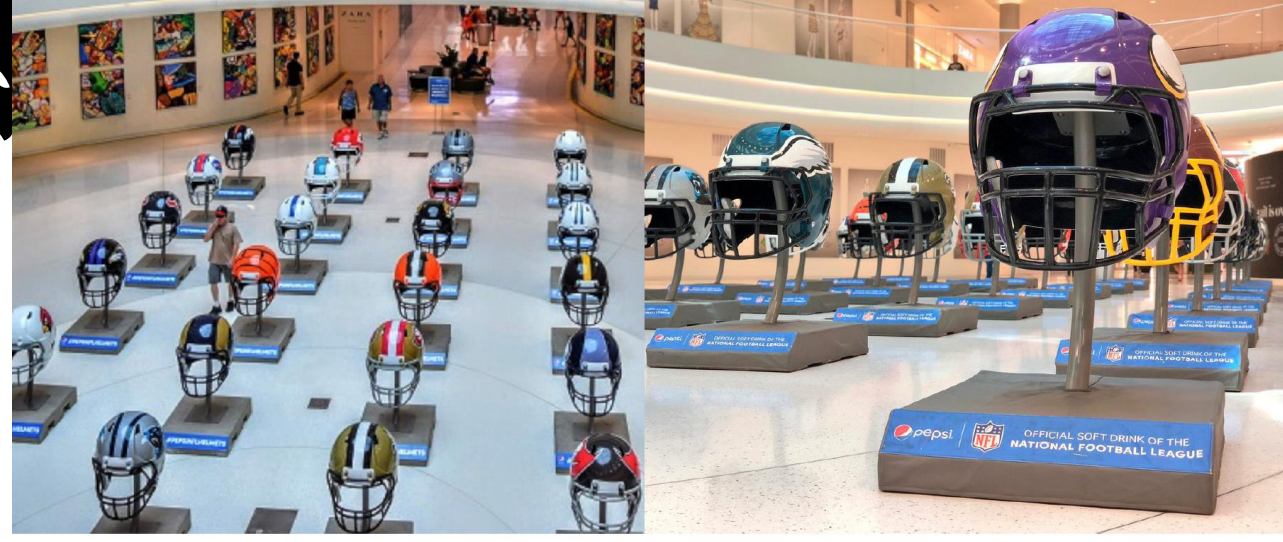
- Locations:
  - North Coast Harbor
- Timeline:
  - April-May 2021





# NFL Helmet Activation

- Locations:
  - Mall C – April 2-April 28
  - NFL Fan Experience – April 28-May 2
- Dimensions:
  - 5'X5'
  - 20 x 20 space needs allocated
- Quantity: 32





# A warm & Clean Committed welcome

Mike Mulhall, Greater Cleveland  
Sports Commission



*Cleveland*





# AIRPORT: A WARM WELCOME

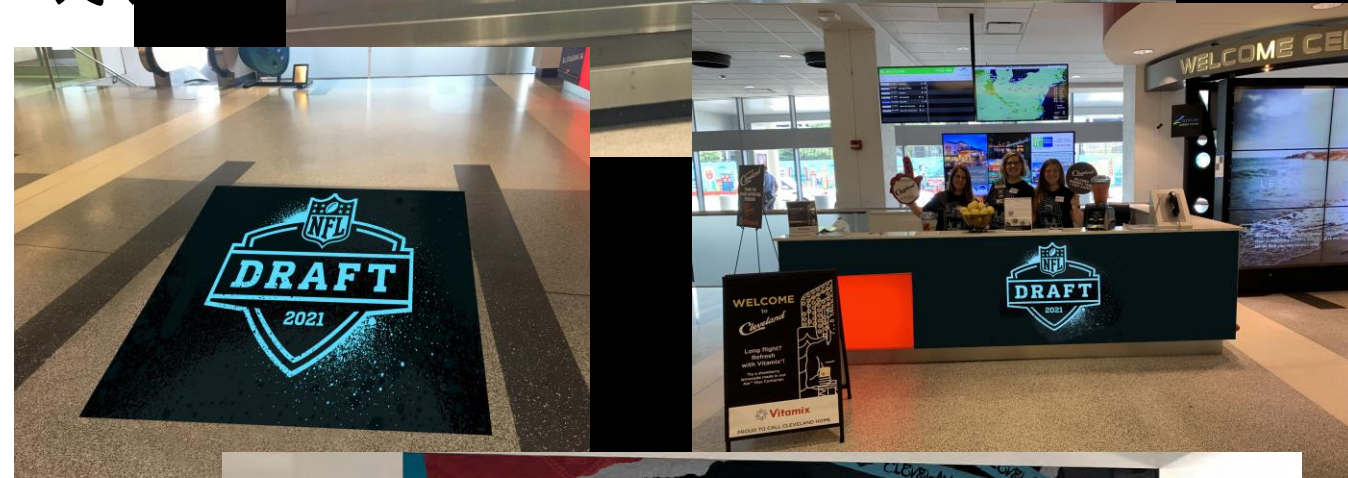
- Location: Concourse + baggage claim
- Signage: Cleveland-branded welcome messaging to accompany NFL Draft-specific displays
- Engagement opportunities
  - Info booths hosted by Cleveland Browns (staff/mascots) and Rock Hall
  - Promotion of clean/safe practices through CLEAN COMMITTED + TACKL programs
  - Guest data capture via iPad and vending machine kiosks at arrival/departure
  - Live entertainment: DJs, roaming musicians
  - Volunteer greeters and wayfinders





# Cleveland Airport

- Locations:
  - Baggage Claim boards
  - Floor clings
  - Welcome desk
  - Cleveland script sign
- Timeline:
  - April-May 2021





# Burke Lakefront Airport

- Locations:
  - Windows and concourses at Burke
- Timeline:
  - April - May





# RTA Entrances/Exits

- Locations:
  - Tower City Façade Banner/RTA/Lamar
  - Backlit Tower City Kiosk/RTA/Lamar
- Timeline:
  - April-May 2021





# CLEAN COMMITTED

- Locations:
  - Various partner locations & throughout the region
- Timeline:
  - Ongoing

## CLEAN COMMITTED

*We commit to employ safe practices.*

As a business in the hospitality and travel & tourism industries, we are Clean Committed.

To help minimize the spread of COVID-19, we have voluntarily agreed to take a consistent approach to safety as summarized by Destination Cleveland, in partnership with Cuyahoga County, the City of Cleveland and our region's healthcare experts at the Cuyahoga County Board of Health, Cleveland Clinic, The MetroHealth System and University Hospitals.

The Clean Committed approach includes\*:

- KEEPING OUR ENVIRONMENT CLEAN AND DISINFECTED**
  - Enhanced cleaning and sanitation, including cleaning merchandise before stocking.
  - Modified hours as needed for additional cleaning.
- MAINTAINING PHYSICAL DISTANCE**
  - Capacity limits and updated floor plans to create at least 6 ft. all around.
  - Staggered entry of customers/guests.
- LIMITING PHYSICAL CONTACT**
  - Installation of physical barriers between employees/customers where possible.
  - Touchless solutions to limit staff contact where practical.
- HELP PREVENT THE SPREAD OF GERMS**
  - For employees: Requiring face coverings at all times (per state/local guidelines) and more frequent hand washing. Reviewing ADA requests for not wearing masks.
  - Conducting daily health assessments to determine if employees are "fit for duty."
  - Asking employees who have symptoms to stay home and follow CDC-recommended steps.
- ASKING CUSTOMERS TO EMPLOY SAFE PRACTICES**
  - Request that clients/customers wear face coverings.
  - Encouraging hand hygiene with washing facilities and sanitizer in high-contact places.

CLEAN COMMITTED was developed in consultation with the healthcare experts listed above. Appropriate responses to COVID-19 continue to evolve as we learn more about the virus and the best techniques to address risks. We are committed to staying informed and to implement any additional state, local and industry specific requirements. For more information about CLEAN COMMITTED, visit [CLEANCOMMITTED.COM/LEGAL](http://CLEANCOMMITTED.COM/LEGAL). ©2020 Destination Cleveland.

\*As practical and applicable

Join in at [CLEANCOMMITTED.COM](http://CLEANCOMMITTED.COM)

Cleveland Clinic | MetroHealth | University Hospitals



# Advertising

Mike Mulhall, Greater Cleveland  
Sports Commission



*Cleveland*





# Building Billboards

- Locations:
  - Lamar Billboard: Rt. 2 & W. 44<sup>th</sup>
- Timeline:
  - April-May 2021





# Sidewalk Kiosks

- Locations:
  - Downtown & surrounding neighborhoods
- Timeline:
  - April-May 2021





# RTA Bus Shelters

- Locations:
  - Downtown
- Timeline:
  - April- May





# High Traffic Billboards

- Locations:
  - Various
- Timeline:
  - April -May





# Partner digital billboards

- Locations:
  - E. 9<sup>th</sup> & Prospect/Adcorp of America
- Timeline:
  - April-May





# CLE Sports Trivia Projections

Alex Harnocz, Destination Cleveland



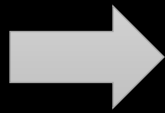
*Cleveland*





# CLE Sports Trivia Lighting Projection Designs

**WHAT  
WERE**  
THE  
**BROWNS**  
NAMED AFTER?



UNIFORM COLOR  
COACH PAUL BROWN  
A UNIVERSITY  
RB JIM BROWN



UNIFORM COLOR  
COACH PAUL BROWN  
A UNIVERSITY  
RB JIM BROWN



SEE STORIES  
COME TO LIFE AT  
**ROCK**  
THECLOCK  
CLE.COM

Slide content cycles through  
Cleveland sports history trivia

++++  
LET'S ROCK  
THE CLOCK  
++++



# Lighting Projections

- Location:
  - Hampton Inn – E. 9th
- Timeline:
  - April-May
  - Thu-Sat 8PM-Midnight





# Lighting Projections

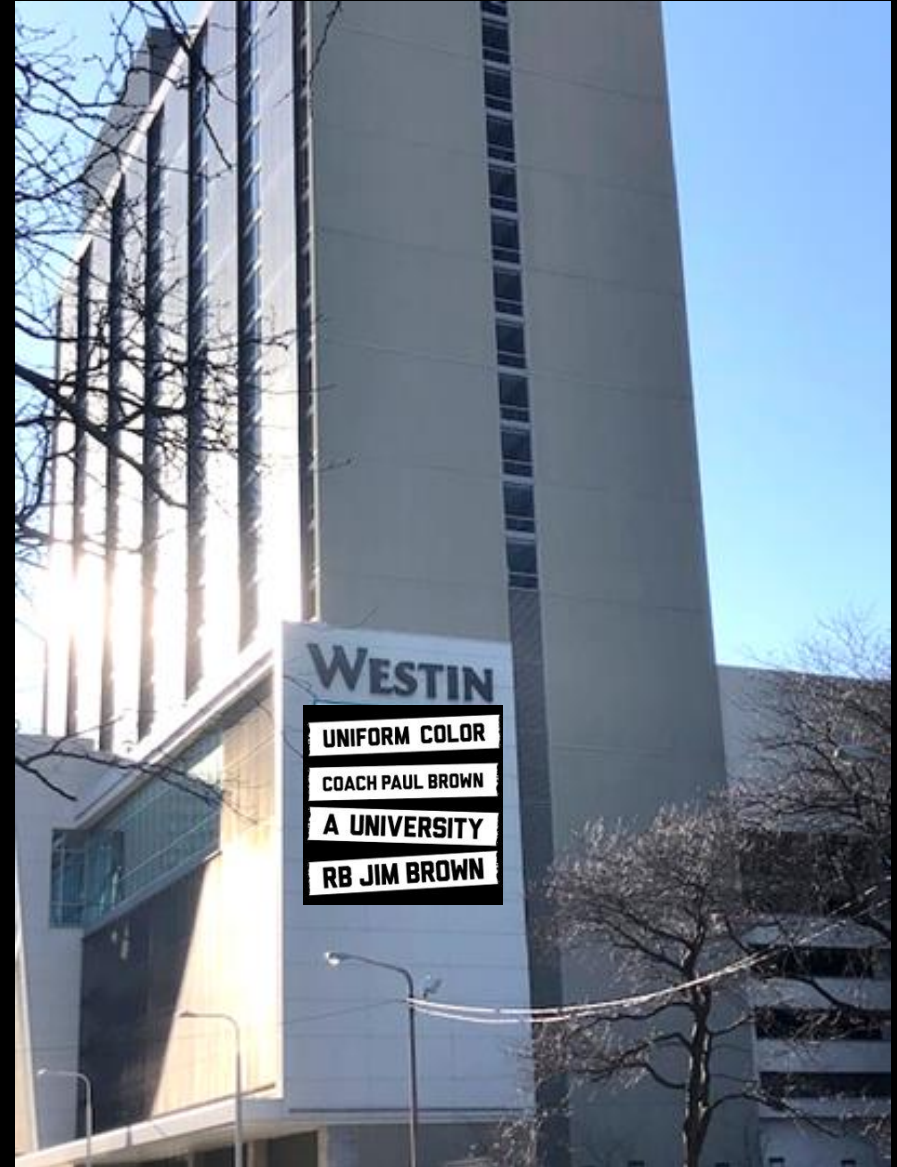
- Projection equipment is mobile
- Mounted in a pickup truck w/ small generator
- Ideal distance 65' from surface





# Lighting Projections

- Location:
  - Westin – St. Clair Ave
- Timeline:
  - April-May
  - Thu-Sat 8PM-Midnight





# Lighting Projections

- Location:
  - 55 Public Square Garage
- Timeline:
  - April - May
  - Thu-Sat 8PM-Midnight





# Great Lakes Science Center

- Locations:
  - North Coast Harbor
- Timeline:
  - April-May 2021





# Public Square

- Locations:
  - Terminal Tower Light Projection
- Timeline:
  - April-May 2021





# Mobile Light / Video

- Locations:
  - West 3rd under Main Avenue Bridge
- Timeline: Thursday – Saturday
- Same rotating trivia content as projections





# Voices of CLE Murals

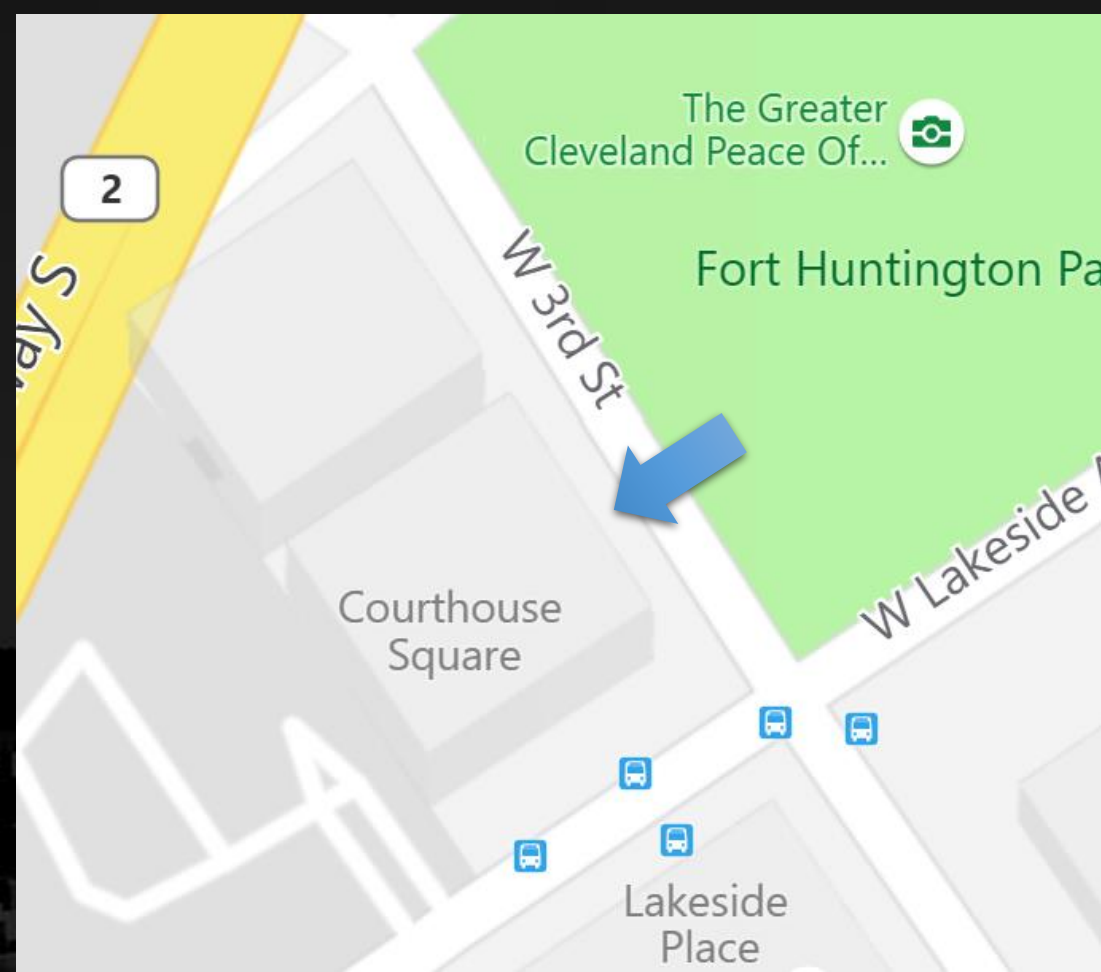
Heather Holmes, Downtown Cleveland  
Alliance



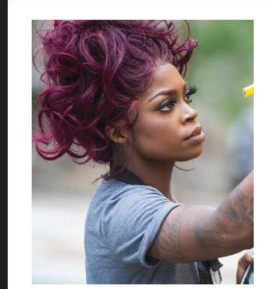
*Cleveland*







**310 W Lakeside Ave**  
**East Façade**  
**Ground Floor Windows**  
**Artist: Stina Aleah**



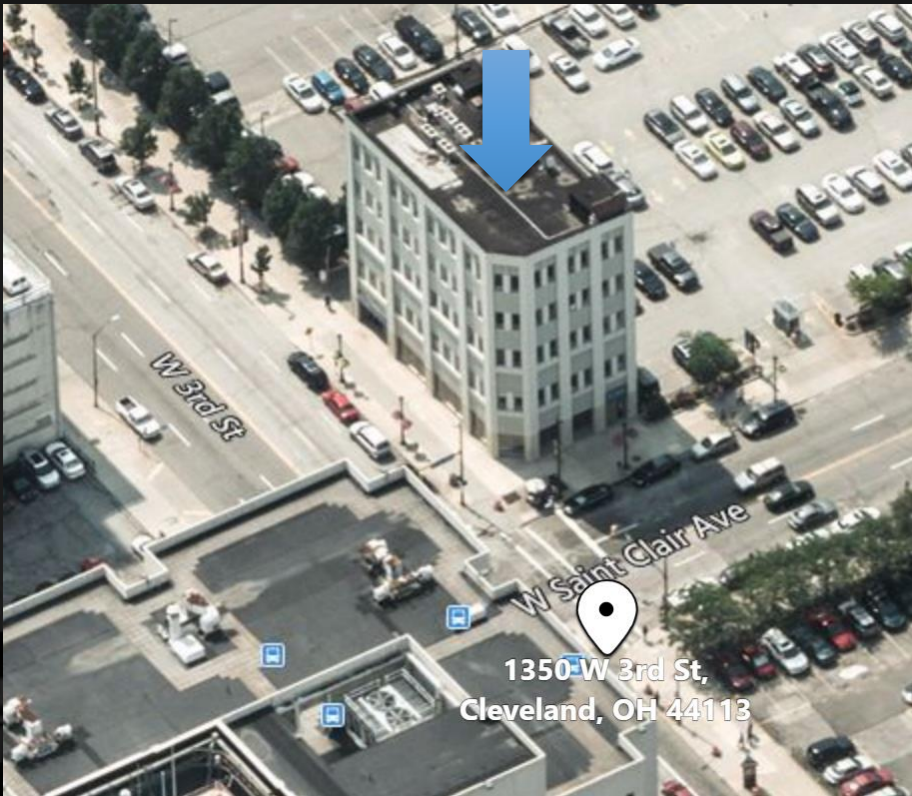
© Stina Aleah



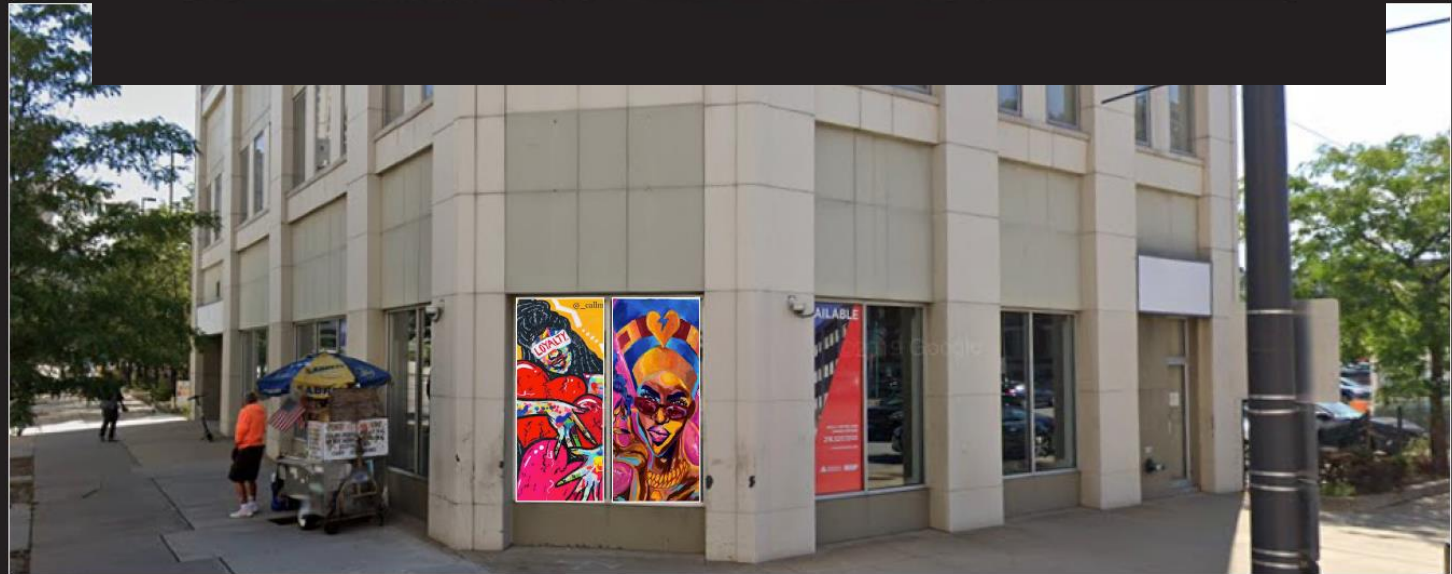
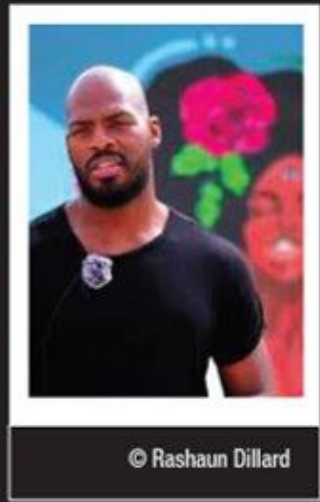
#VoicesofCLE PUBLIC ART PROJECT



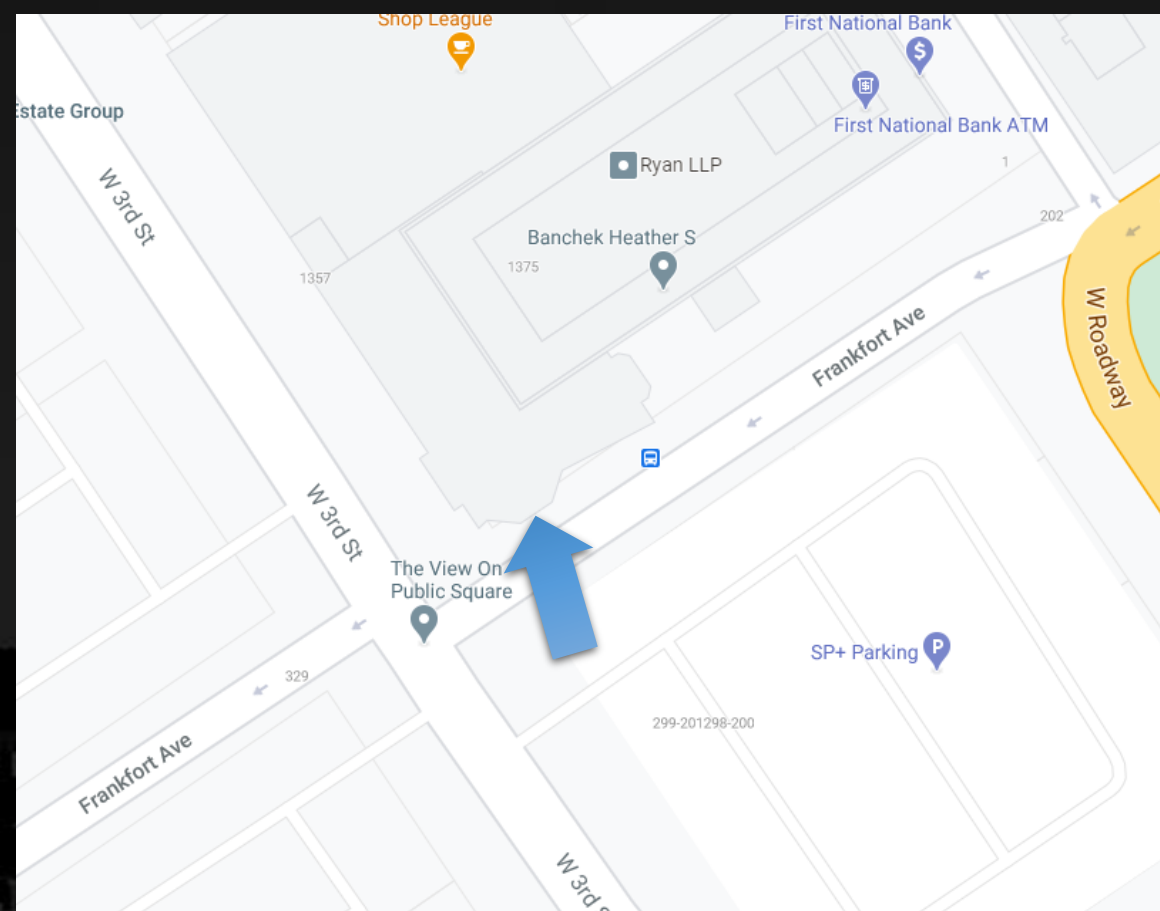




**1350 W 3<sup>rd</sup> Street**  
**North & East Facades**  
**First Floor Windows**  
**Artist: Rashaun Dillard**







© Isaiah Starbeing Williams



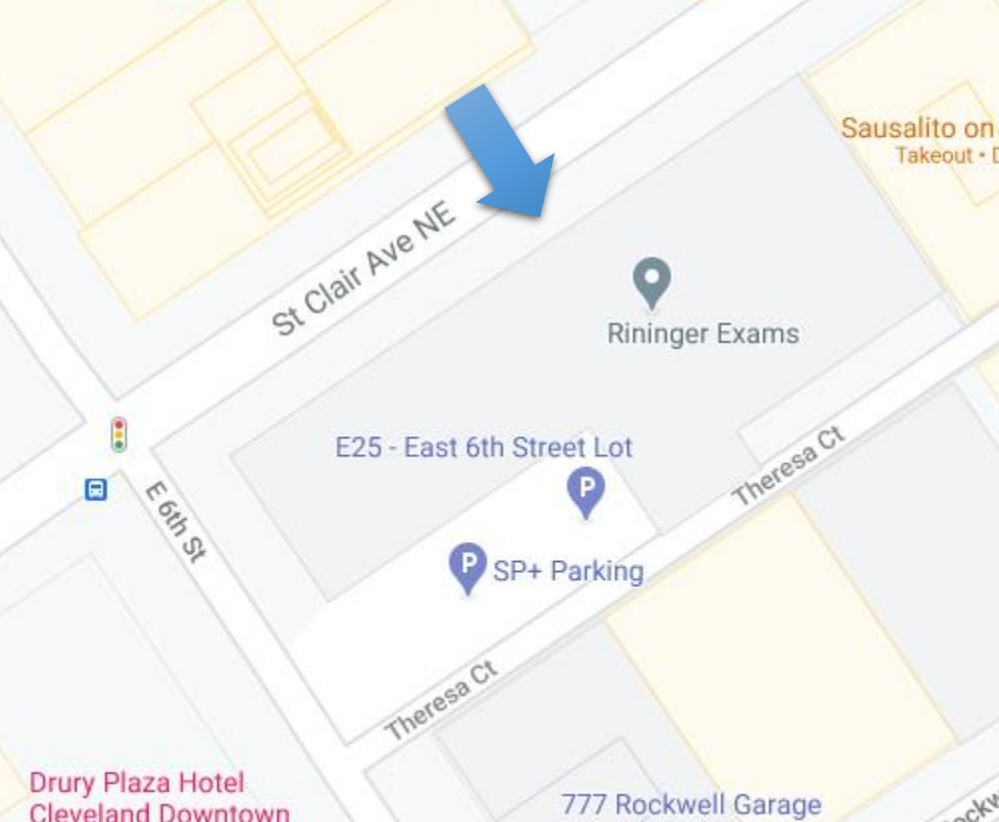
#VoicesofCLE PUBLIC ART PROJECT

**55 Public Square  
North and West Façades  
First-Floor Windows  
Artist: Isaiah Starbeing Williams**

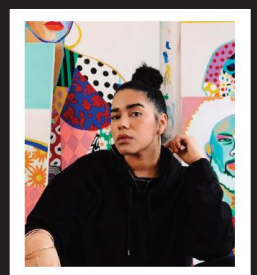




The Westin  
Cleveland Downtown  
4.4 ★ (2197)  
4-star hotel



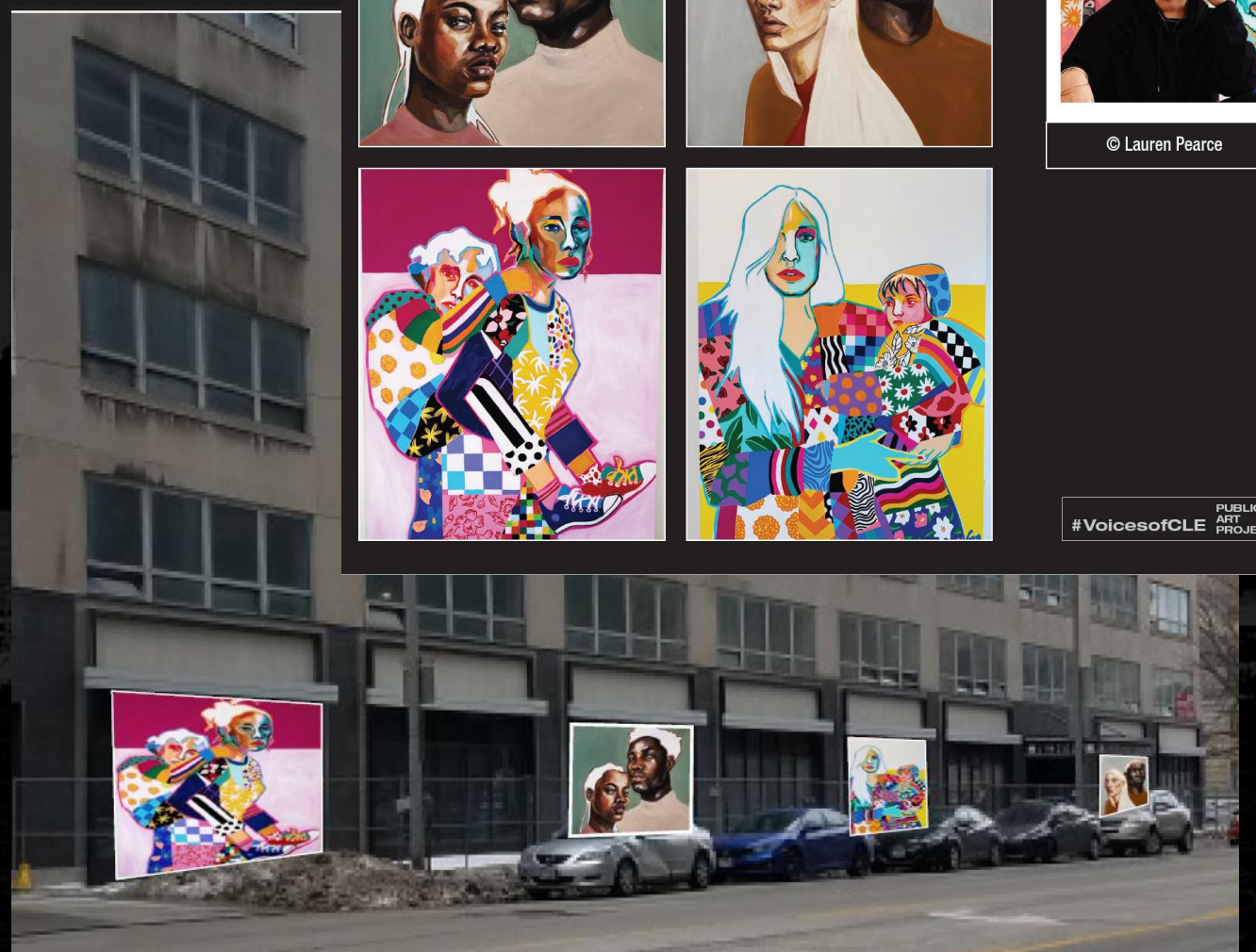
**Lincoln Building**  
**North Façade**  
**First-Floor Windows**  
**Artist: Lauren Pearce**



© Lauren Pearce

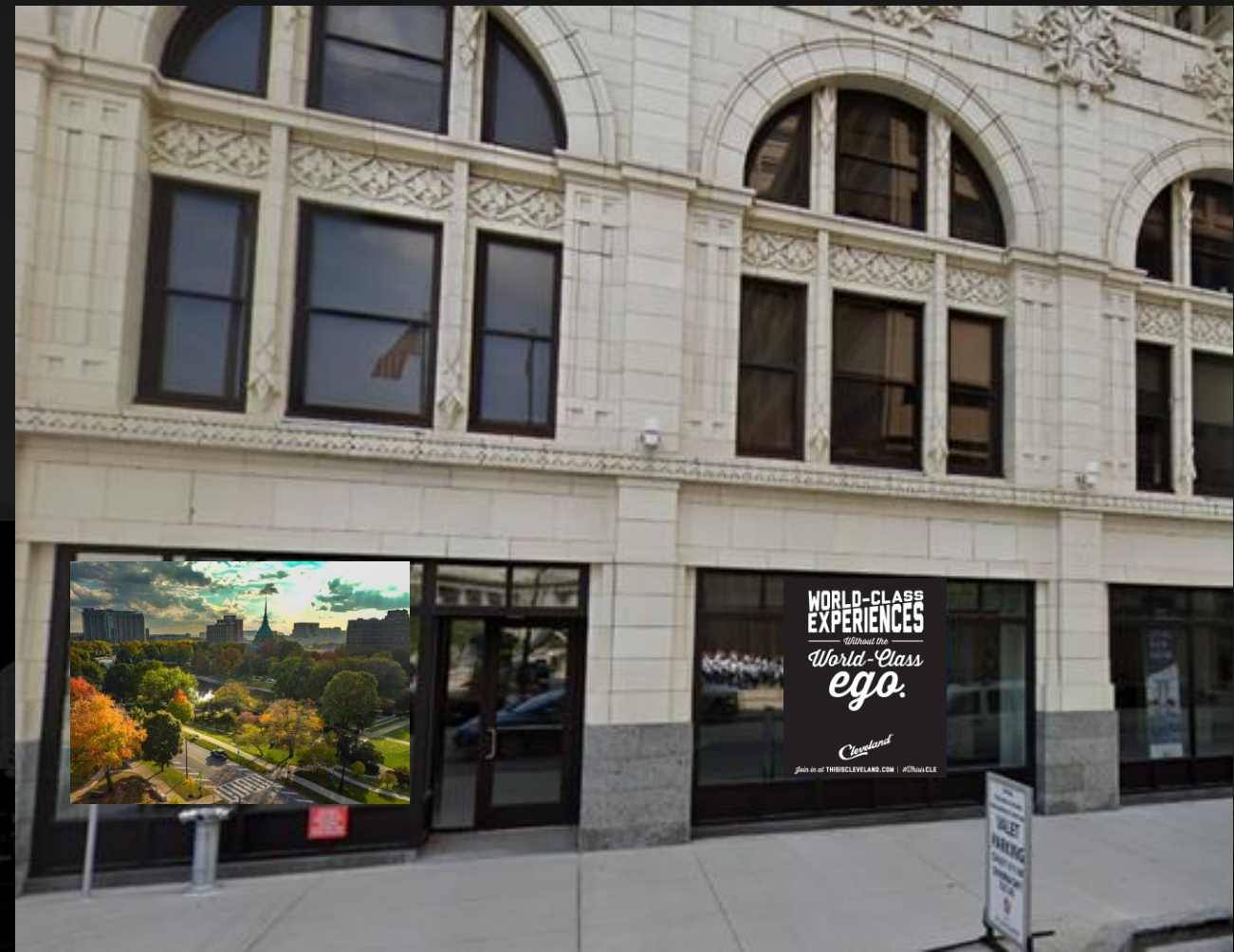
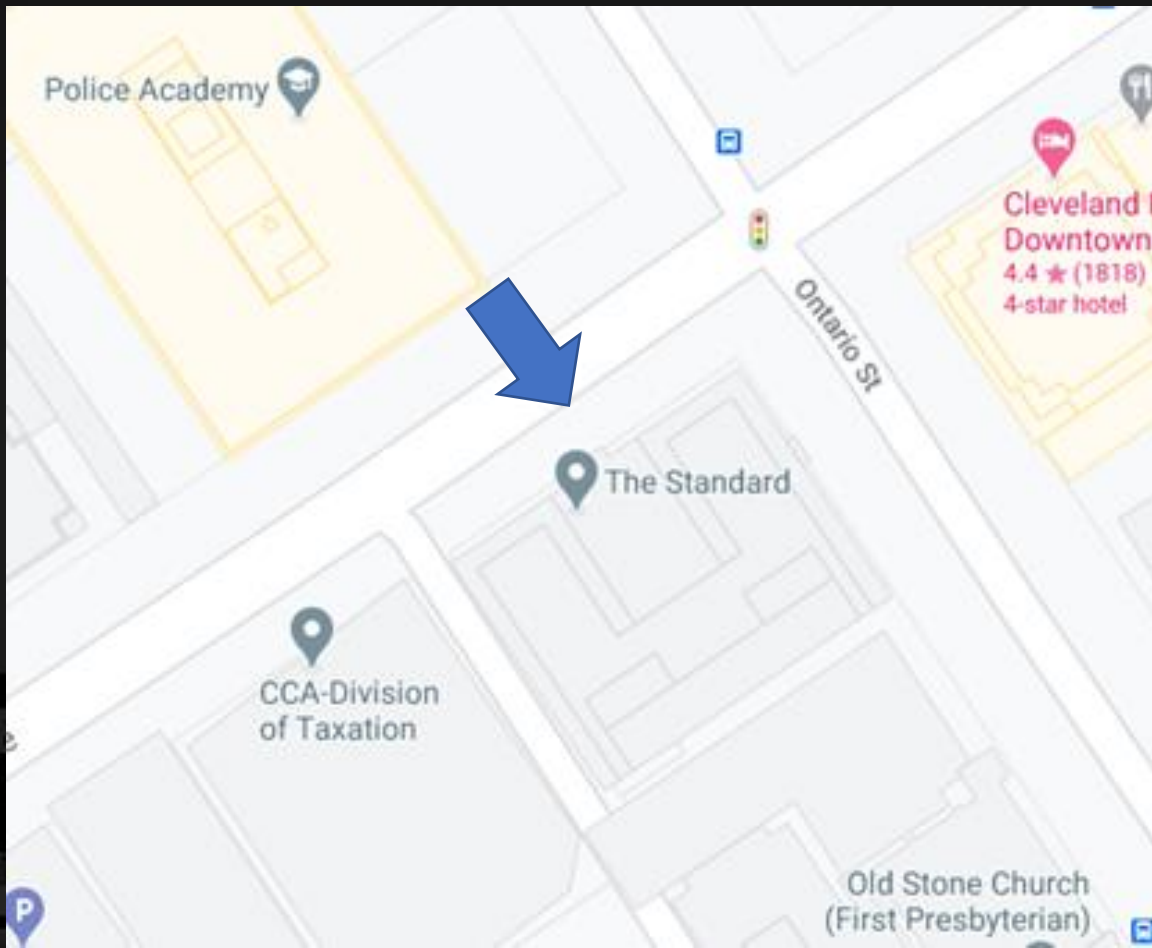


#VoicesofCLE PUBLIC ART PROJECT



*Cleveland*

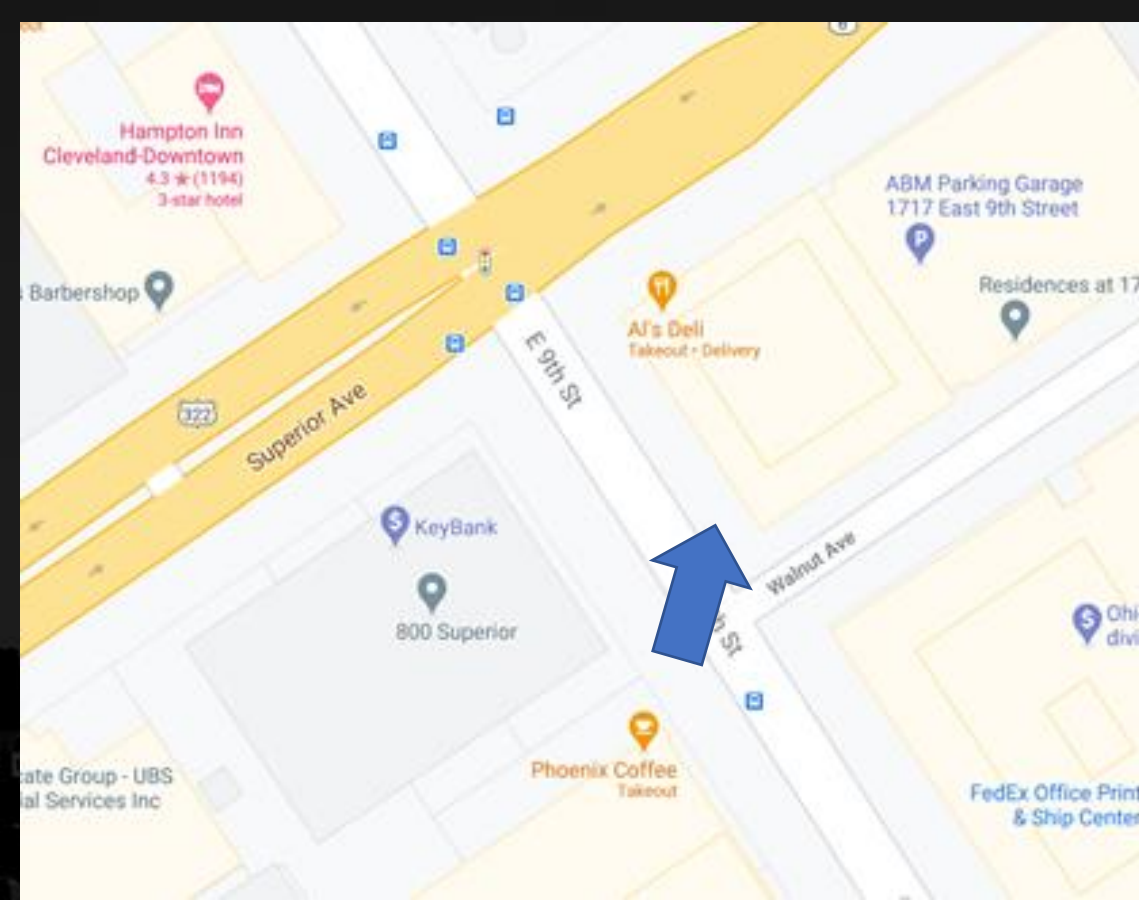




**Standard Building  
North Façade  
First-Floor Windows  
Backup Location / Destination Cleveland Content**







**1717 East 9<sup>th</sup> Street**  
**West Façade**  
**First-Floor Windows**  
**Backup Location / Destination Cleveland Content**





Let's Rock the Clock!



++++  
LET'S ROCK  
THE CLOCK  
++++





# Cleveland City Planning Commission

## Special Presentations

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March 19, 2021





**NOTHING SCHEDULED TODAY**



# Cleveland City Planning Commission

## DRAC New Member Nominations

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March 19, 2021



# East Design Review New Member Nomination

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March 19, 2021



**Samira Malone, MidTown Cleveland**

**Marlane Weslian, Retired**



# Cleveland City Planning Commission

## Director's Report

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March 19, 2021



# Cleveland City Planning Commission

## Adjournment

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March 19, 2021